



## Exhibit APP 2.1

CITY OF BEAVERTON  
Planning Division  
Community Development Department  
Tel: 503-526-2420  
[www.beavertonoregon.gov](http://www.beavertonoregon.gov)

### MEMORANDUM

City of Beaverton  
Community Development Department

**To:** Interested Parties  
**From:** City of Beaverton Planning Division  
**Date:** March 9, 2023  
**Subject:** DR2022-0098 / PD2022-0003 / SDM2022-0004 Organic Milk Exchange

Please find attached the Notice of Decision for **DR2022-0098 / / PD2022-0003 / SDM2022-0004 Organic Milk Exchange**. Pursuant to Section 50.40.11.E of the Beaverton Development Code, the decision for DR2022-0098 / SDM2022-0004 Organic Milk Exchange is final, unless appealed within twelve (12) calendar days following the date of the decision. The procedures for appeal of a Type 2 Decision are specified in Section 50.65 of the Beaverton Development Code. The appeal shall include the following in order for it to be accepted by the Director:

- The case file number designated by the City.
- The name and signature of each appellant.
- Reference to the written evidence provided to the decision making authority by the appellant that is contrary to the decision.
- If multiple people sign and file a single appeal, the appeal shall include verifiable evidence that each appellant provided written testimony to the decision making authority and that the decision being appealed was contrary to such testimony. The appeal shall designate one person as the contact representative for all pre-appeal hearing contact with the City. All contact with the City regarding the appeal, including notice, shall be through this contact representative.
- The specific approval criteria, condition, or both being appealed, the reasons why a finding, condition, or both is in error as a matter of fact, law or both, and the evidence relied on to allege the error.
- The appeal fee of \$250.00, as established by resolution of the City Council.

**The appeal closing date for DR2022-0098 / PD2022-0003 / SDM2022-0004 Organic Milk Exchange is 4:30 p.m., March 21, 2023.**

The complete case file including findings, conclusions, and conditions of approval, if any, are available for review. The case file may be reviewed by contacting the project planner, Aaron Harris at [aharris@beavertonoregon.gov](mailto:aharris@beavertonoregon.gov).

NOTE: The City of Beaverton Community Development Department customer service center is now open to the public Monday through Thursday from 8:30am – 4:30pm. Accessibility

## Exhibit APP 2.1

information: This information can be made available in large print or audio tape upon request. Assistive listening devices, sign language interpreters, or qualified bilingual interpreters can be made available at any public meeting or program with 72 hours advance notice. To request these services, please contact Aaron Harris at 711-503-616-8453 or [aharris@beavertonoregon.gov](mailto:aharris@beavertonoregon.gov).



# Exhibit APP 2.1

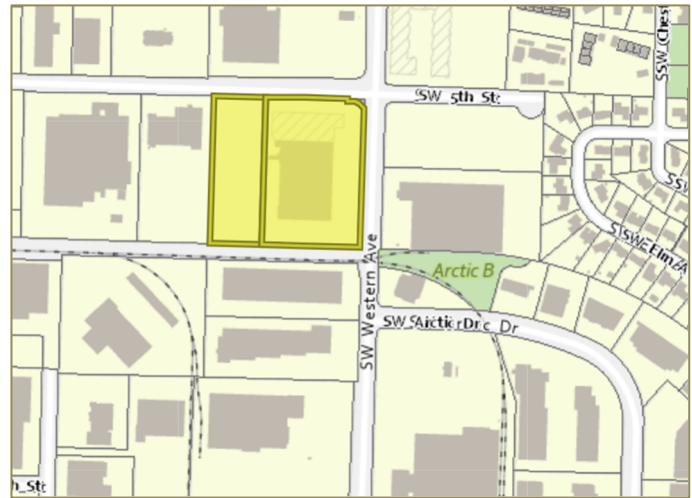
## STAFF REPORT

**Report date:** March 9, 2023

**Application/project name:** Organic Milk Exchange

**Application Numbers:** DR2022-0098 / PD2022-0003 / SDM2022-0004

**Proposal:** The applicant, Organic Milk Exchange, requests Design Review Two approval to redevelop an existing industrial site. Site improvements include a 5,910 square-foot addition to an existing industrial building, improvements to landscaping and pedestrian circulation areas, and improvements to vehicle parking, maneuvering, and circulation areas. The proposal includes a Parking Determination application to establish an off-street parking ratio for the unique combination of manufacturing and cold storage uses proposed. The proposal also includes a Sidewalk Design Modification to vary from Collector Street standards for a portion of the site along SW 5<sup>th</sup> Street.



**Proposal location:** The site is located at 5051 SW Western Avenue, specifically identified as Tax Lots 200 and 300 on Washington County Tax Assessor's Map 1S114CB.

**Decision:** APPROVAL of DR2022-0098 / PD2022-0003 / SDM2022-0004, subject to conditions identified at the end of this report.

**Contact information:**

City staff representative: Aaron Harris, Senior Planner  
503-616-8453  
aharris@beavertonoregon.gov

Applicant: Scott Edwards Architecture  
Attn: Peter Grimm  
2525 E. Burnside Street  
Portland, OR 97214

Property owner: Bacchus Investors LLC and Bearcat Investment Property LLC  
Attn: Todd Collins  
2 Centerpointe Drive  
Lake Oswego, OR 97035

# Exhibit APP 2.1

## Existing conditions

**Zoning:** Industrial (IND)

**Site conditions:** The subject site is developed with an existing 61,057 square-foot warehouse building. There is an existing retaining wall along a segment of SW 5<sup>th</sup> Street.

**Site Size:** 7.53 acres

**Location:** The southwestern corner of the SW Western Avenue and SW 5<sup>th</sup> Street intersection.

**Neighborhood Association Committee:** Denney Whitford Raleigh West Neighborhood Association Committee

**Table 1: Surrounding uses**

Direction	Zoning	Uses
North	CS	Retail Trade
South	IND	Retail Business (Wholesale)
East:	OI	Industrial
West:	IND	Bus Yard

## Application information

**Table 2: Application summary**

Application	Application type	Proposal summary	Approval criteria location
DR2022-0098	Design Review Two	Redevelopment of an existing industrial building and a 5,910 sq. ft. addition.	Development Code Sections 40.03.1 and 40.20.15.2.C
PD2022-0003	Parking Determination	Establishing an off-street parking ratio for the unique combination of proposed uses on-site.	Development Code Section 40.55.15.1.C.
SDM2022-0004	Sidewalk Design Modification	A request to vary from the Collector Street standards for a portion of the site along SW 5 <sup>th</sup> Street.	Development Code Section 40.58.15.C.

## Exhibit APP 2.1

**Table 3: Key Application Dates**

<b>Application</b>	<b>Submittal Date</b>	<b>Deemed Complete</b>	<b>120-Day</b>	<b>365-Day*</b>
DR2022-0098	July 21, 2022	Dec 13, 2022	May 5, 2023**	Dec 13, 2023
PD2022-0003	July 22, 2022	Dec 13, 2022	May 5, 2023**	Dec 13, 2023
SDM2022-0004	Oct 17, 2022	Dec 13, 2022	May 5, 2023**	Dec 13, 2023

\* Pursuant to Section 50.25.9 of the Development Code this is the latest date, with a continuance, by which a final written decision on the proposal can be made.

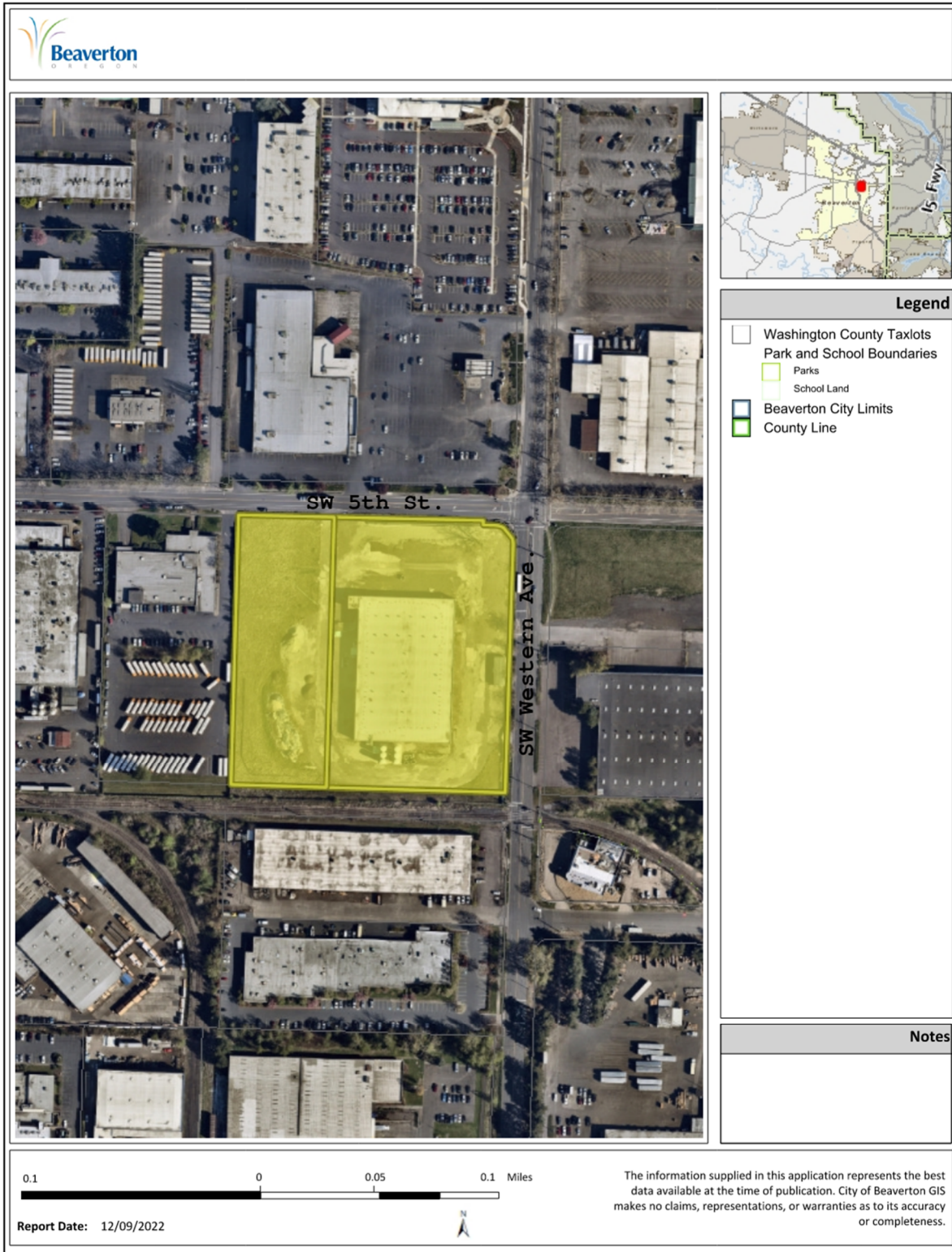
\*\* The 120-day clock includes a 23-day extension provided by the applicant.

### Summary of Public Comment

No public comments were received related to this application.

# Exhibit APP 2.1

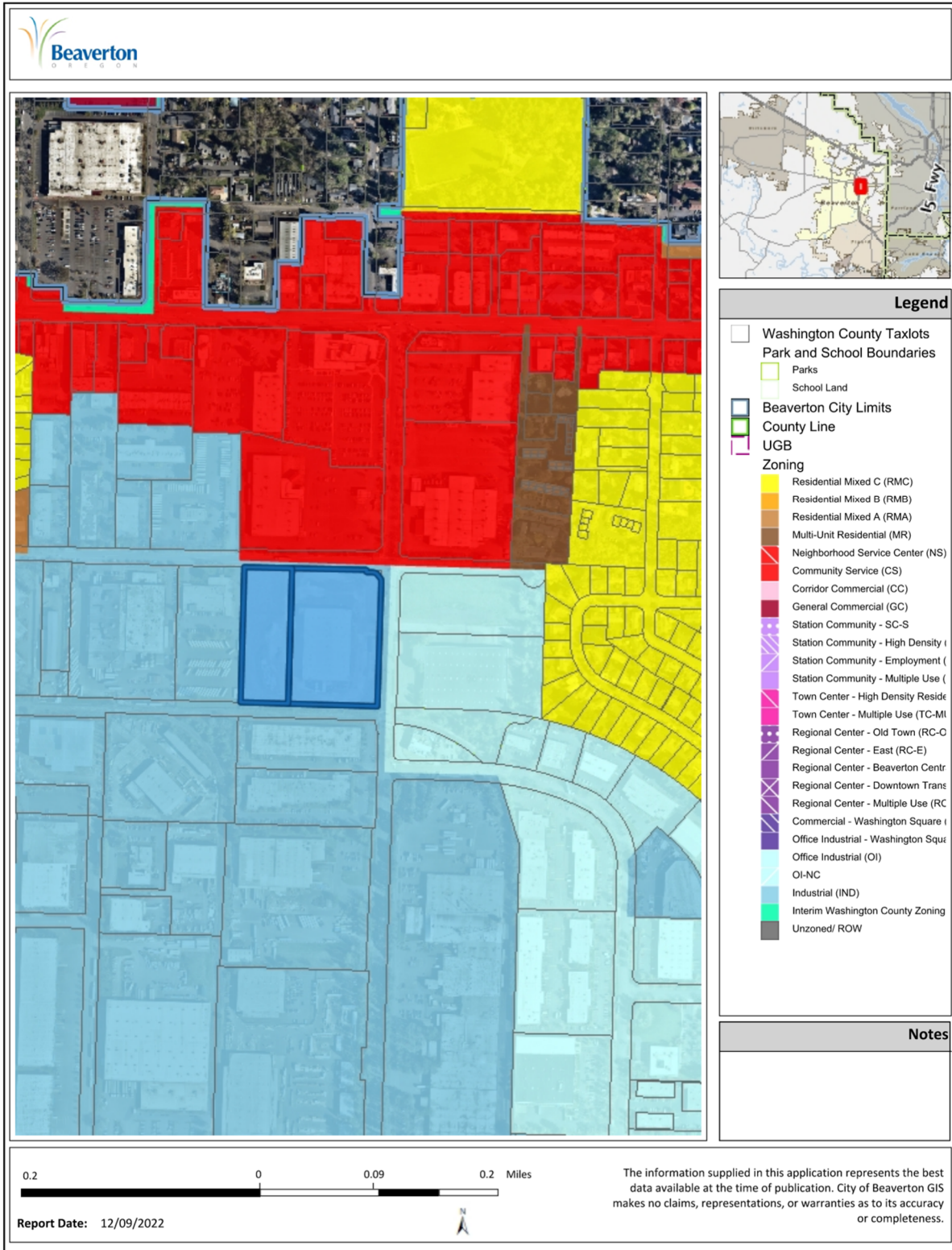
## Exhibit 1.1 Vicinity Map





# Exhibit APP 2.1

## Exhibit 1.2 Zoning Map



# Exhibit APP 2.1

## Table of Contents

STAFF REPORT.....	3
Attachment A: FACILITIES REVIEW.....	9
Attachment B: DR2022-0098 DESIGN REVIEW TWO.....	23
Attachment C: PARKING DETERMINATION PD2022-0003 .....	34
Attachment D: SIDEWALK DESIGN MODIFICATION SDM2022-0004 .....	38
Attachment E: CONDITIONS OF APPROVAL .....	42

## Exhibits

### Exhibit 1. Materials submitted by Staff

Exhibit 1.1 Vicinity Map (Page 6 of this report).

Exhibit 1.2 Zoning Map (Page 7 of this report)

### Exhibit 2. Public Comment

No Public Comments Received

### Exhibit 3. Materials submitted by Applicant

Exhibit 3.1 Application Forms

Exhibit 3.2 Narrative and Staff Correspondences

Exhibit 3.3 Site Plans and Drawings

Exhibit 3.4 Reports and Memorandums

Exhibit 3.5 Service Provider Letters and Outside Agency Permits

## Attachment A: FACILITIES REVIEW

**Application:** Organic Milk Exchange

**Proposal:** The applicant requests Design Review Two approval to redevelop an existing industrial site. Site improvements include a 5,910 square-foot addition to an existing industrial building, landscaping and pedestrian circulation area improvements, and improvements to vehicle parking, maneuvering, and circulation areas. The proposal includes a Parking Determination application to address the unique combination of manufacturing and cold storage uses proposed. The proposal also includes a Sidewalk Design Modification to allow a modification to the sidewalk and planting strip width for a portion of the site along SW 5<sup>th</sup> Street.

**Recommendation:** APPROVE DR2022-0098, PD2022-0003, and SDM2022-0004, subject to conditions of approval.

### Section 40.03 Facilities Review Committee:

The Facilities Review Committee has conducted a technical review of the application, in accordance with the criteria contained in Section 40.03 of the Development Code. The Committee's findings and recommended conditions of approval are provided to the decision-making authority. As they will appear in the Staff Report, the Facilities Review Conditions may be re-numbered and placed in a different order. The decision-making authority will determine whether the application as presented meets the Facilities Review approval criteria for the subject application and may choose to adopt, not adopt, or modify the Committee's findings.

The Facilities Review Committee Criteria for Approval will be reviewed for all criteria that are applicable to the submitted application(s) as identified below:

- All twelve (12) criteria are applicable to the Design Review Two (DR2022-0098) application as submitted.
- All twelve (12) criteria are not applicable to the Parking Determination (PD2022-0003) and the Sidewalk Design Modification (SDM2022-0004) applications.

### Section 40.03.1.A

**Approval Criterion:** *All critical facilities and services related to the proposed development have, or can be improved to have, adequate capacity to serve the proposed development at the time of its completion.*

#### FINDING:

Chapter 90 of the Development Code defines "critical facilities" to be services that include potable and non-potable public water; public sanitary sewer; stormwater drainage, treatment, and retention; transportation; and fire protection.

## Exhibit APP 2.1

**Potable Water:** The subject site is in the City of Beaverton water service area. There is ongoing capital improvement project for water along SW Western Ave adjacent to this site. This development will need to connect to new 8-inch fire service line, and new 6" domestic water service at the ROW. The existing water services and structures will need to be abandoned. This includes the existing fire services between the ROW connection and the existing fire vault, and a section of 12-inch waterline that will be left in place to temporarily provide service to the lot until existing services are abandoned and new services are constructed. In addition, demolition of the existing fire service vault, and domestic water service meter boxes are required. Staff finds there is adequate capacity to serve the proposed development.

**Non-Potable Water:** There is no non-potable water network in the area of development. Therefore, the proposal is exempt from connecting to a non-potable water network.

**Sanitary Sewer:** The subject site currently receives City of Beaverton sanitary sewer service via an existing 8-inch sanitary sewer located onsite in the northeastern corner of the lot. The site's sanitary lateral is connected to an existing manhole on this 8-inch system. The Committee finds that the existing sanitary sewer service is adequate to continue serving the development.

**Stormwater Drainage, Treatment, and Retention:** The subject site is in the City of Beaverton stormwater service area. Two City of Beaverton storm drainage systems exist adjacent to the site. One 15-inch line exists on SW Western Avenue located to the east of the lot, and a manhole on a 12-inch line exists on SW Western Avenue near the intersection with SW 5<sup>th</sup> Street. The Committee finds that the existing stormwater drainage, treatment, and retention service is adequate to continue serving the development.

**Transportation:** The subject site has public street frontage on SW 5<sup>th</sup> Street and SW Western Avenue. Both streets are in the City of Beaverton's jurisdiction. SW 5<sup>th</sup> Street is a Collector Street and SW Western Avenue is an Arterial Street. Presently, neither street is fully developed. The applicant proposes dedications along both streets to provide the standard half-street cross section per the respective street classifications.

A curb-tight sidewalk is present along SW 5<sup>th</sup> Street near the SW 5<sup>th</sup> Street and SW Western Avenue intersection. The curb-tight sidewalk extends west along SW 5<sup>th</sup> Street for approximately 50 feet west of the intersection and then terminates. Currently there are no additional sidewalks, streetlights, or street trees fronting the subject site along SW 5<sup>th</sup> Street. The applicant has applied for a Sidewalk Design Modification to construct a curb-tight sidewalk along a portion of SW 5<sup>th</sup> Street adjacent to an existing on-site retaining wall. The remaining site frontage along SW 5<sup>th</sup> Street must include streetlights, sidewalks and planter strip consistent with Collector Street standards. The applicant's submitted plans do not show a planter strip in this area. As a condition of approval, prior to Site Development permits, the applicant shall submit a revised site plan illustrating the frontage along SW 5<sup>th</sup> Street. The revised site plan must illustrate Collector Street standards, including streetlights, sidewalks, and planter strip for the portions of street frontage not



## Exhibit APP 2.1

located adjacent to the existing retaining wall. As a condition of approval, prior to final inspection and final occupancy permit, the applicant shall dedicate property along the site's frontage of SW 5th Street consistent with the applicant's submitted site plan (see applicant's civil drawing sheet C0.4) to achieve a half-street width of approximately 38.36' to accommodate the necessary roadway and sidewalk improvements along the three-lane collector.

There is an ongoing capital improvement project along SW Western Ave. The capital improvement project includes the street frontage adjacent to the subject site. Street improvements associated with the CIP project include streetlights, sidewalks, and planter strips. The improvements are currently under construction. As a condition of approval, prior to final inspection and final occupancy permit, the applicant shall dedicate property along the site's frontage of SW Western Avenue consistent with the applicant's submitted site plan (see applicant's civil drawing sheet C0.4) to achieve a half-street width of 36' consistent with the approved plans for the Western Avenue CIP project.

The proposal includes four new pedestrian walkways connecting the subject site with the adjacent right of way. Two pedestrian walkways are proposed along SW 5<sup>th</sup> Street and two walkways are proposed along SW Western Avenue.

The project proposal includes the removal of one existing commercial driveway approach along SW 5<sup>th</sup> Street. The CIP project improvements along SW Western Avenue will also result in the removal of one existing commercial driveway approach. Following project completion, vehicular access to the site is proposed via one existing commercial driveway along SW 5<sup>th</sup> Street and two existing commercial driveways along SW Western Avenue.

On-site pedestrian walkways are proposed adjacent to all parking areas providing access to the building's primary entry. The western portion of the site, south of the proposed parking spaces, contains loading bays and no primary building entrances.

. The proposal includes seven 90-degree parking spaces along the eastern frontage of the building near the entry. Fifty-six additional, 45-degree, parking spaces are proposed along the building's eastern frontage. Eight 90-degree parking spaces are proposed along the western frontage of the building. Seventy-one total parking spaces are proposed.

The proposal includes a Parking Determination application to establish an off-street parking ratio for the unique combination of manufacturing and cold storage uses proposed. The applicant submitted a trip generation memorandum, prepared by a registered professional engineer, which uses three data sources to estimate parking demands. Of the three sources, the largest required parking estimate was derived using the BDC parking rate for a combination of manufacturing and warehouse uses, at 66 total spaces. The proposal includes 71 spaces. In addition to parking demand, the trip generation memorandum concludes that the proposal would result in a maximum of 223 daily trips.

## Exhibit APP 2.1

**Fire Protection:** Fire protection will continue to be provided by Tualatin Valley Fire and Rescue (TVF&R). TVF&R staff reviewed the applicant's materials and had no objections to the proposal. The Committee finds that adequate fire protection service will continue to be provided to the development.

For these reasons, the Committee finds that critical facilities and services related to the proposed development are available with adequate capacity to serve the development.

**Conclusion:** The Committee finds that, by meeting the conditions of approval, the proposal meets the approval criterion.

### Section 40.03.1.B

*Approval Criterion: Essential facilities and services related to the proposed development are available, or can be made available, with adequate capacity to serve the development prior to its occupancy. In lieu of providing essential facilities and services, a specific plan may be approved if it adequately demonstrates that essential facilities, services, or both, will be provided to serve the proposed development within five (5) years of occupancy.*

#### FINDING:

Chapter 90 of the Development Code defines "essential facilities" to be services that include schools, transit improvements, police protection, and on-site pedestrian and bicycle facilities in the public right-of-way.

**Schools:** The proposed development is within the boundaries of the Beaverton School District. No new dwelling units are proposed as part of the development. Therefore, the Committee finds that the proposal will not affect the existing school capacity.

**Transit Improvements:** There is an existing bus stop at the corner of SW 5<sup>th</sup> Street and SW Western Avenue, served by bus line 54. Additional bus stops are located along SW Beaverton Hillsdale Highway, also within a half-mile of the subject site, served by bus line 53. Both bus lines connect to the Beaverton Transit Center. Bus line 53 also connects to the Washington Square Transit Center and Portland City Center. The Committee finds there is adequate transit service to serve the proposed development.

**Police Protection:** The City of Beaverton Police Department will continue to provide police services to the development site. As of the date of this report, Beaverton Police have not provided comments or recommendations to the Committee. Any comments from Beaverton Police will be forwarded directly to the applicant, and the Committee finds that adequate police protection service will continue to be provided to the development.

**Pedestrian and Bicycle Facilities:** The subject site has public street frontage on SW 5<sup>th</sup> Street and SW Western Avenue. The City's CIP project improvements along SW Western Avenue will provide pedestrian and bicycle facilities consistent with arterial street standards. Along SW 5<sup>th</sup> Street, the applicant proposes to dedicate approximately 8.36

## Exhibit APP 2.1

feet of right of way and construct a curb-tight sidewalk along a portion of frontage where an existing retaining wall is located. The remainder of SW 5<sup>th</sup> Street is proposed to meet the city's collector street standards, including those for pedestrian and bicycle facilities.

On-site pedestrian walkways are proposed adjacent to all parking areas providing access the building's primary entry. Adequate pedestrian connections from the primary building entrance, through the on-site parking lot, across the drive aisle, and to the public sidewalk are provided. The proposal includes four new pedestrian walkways connecting the subject site with the adjacent right of way. Two pedestrian walkways are proposed along SW 5<sup>th</sup> Street and two walkways are proposed along SW Western Avenue.

For these reasons, the Committee finds that essential facilities and services related to the proposed development are available with adequate capacity to serve the development.

**Conclusion:** The Committee finds that the proposal meets the approval criterion.

### Section 40.03.1.C

**Approval Criterion:** *The proposed development is consistent with all applicable provisions of Chapter 20 (Land Uses), or Sections 20.25 and 70.15 if located within the Downtown Design District, unless the applicable provisions are modified by means of one or more applications which shall be already approved or which shall be considered concurrently with the subject application; provided, however, if the approval of the proposed development is contingent upon one or more additional applications, and the same is not approved, then the proposed development must comply with all applicable provisions of Chapter 20 (Land Uses) or Sections 20.25 and 70.15 if located within the Downtown Design District.*

#### FINDING:

The subject site is located in the Industrial (IND) zone. The Committee refers to the Chapter 20 Use and Site Development Requirements table at the end of this report, which evaluates the project as it relates to the applicable code requirements of Section 20.15.15 Employment/Industrial Site Development Standards, 20.15.20 Employment/Industrial Land Uses, and 20.15.30 Supplemental Development Requirements. As demonstrated in the table, this proposal complies with all applicable standards in Section 20.15 Employment/Industrial Land Use Districts.

**Conclusion:** The Committee finds that the proposal meets the approval criterion.

### Section 40.03.1.D

**Approval Criterion:** *The proposed development is consistent with all applicable provisions of Chapter 60 (Special Requirements) and all improvements, dedications, or both, as required by the applicable provisions of Chapter 60 (Special Requirements), are provided or can be provided in rough proportion to the identified impact(s) of the proposed development.*

## Exhibit APP 2.1

### FINDING:

The Committee cites the Code Conformance Analysis chart at the end of this report, which evaluates the proposal as it relates the applicable Code requirements of Chapter 60 (Special Requirements). Staff will provide findings for the Design Review Two request within the applicable section of the staff report.

**Section 60.30 Off-Street Parking:** The applicant has requested through the parking determination application to be able to use a mix of the Manufacturing and Storage Warehouse parking ratios. This request and associated findings are addressed in the Parking Determination portion of the staff report. The table below outlines the development's minimum and maximum vehicle parking requirements as requested by the applicant through the Parking Determination application from BDC Table 60.30.10.5.A. As outlined in the table below, the proposal complies with minimum and maximum vehicle parking standards, with 71 spaces provided.

<b>Vehicle Parking Requirements</b>			
Land Use Category	Gross Floor Area	Minimum Parking Required	Maximum Parking Allowed
Manufacturing	35,488 sf	57 spaces	71 spaces
Storage Warehouse	31,479 sf	9 spaces	13 spaces
<b>Total Required/ Allowed</b>	<b>N/A</b>	<b>66 spaces</b>	<b>85 spaces</b>
<b>Total Proposed</b>	<b>66,967 square feet</b>	<b>71 spaces</b>	<b>71 spaces</b>

The applicant's proposal does not include compact car parking spaces per BDC 60.30.10.12.

The development is required to provide two carpool/vanpool spaces per BDC 60.30.10.13. Two carpool/vanpool spaces are proposed, meeting the standard.

The proposal includes seven 90-degree parking spaces along the eastern frontage of the building near the main entry. Fifty-six additional, 45-degree parking spaces are proposed along the building's eastern frontage. Eight 90-degree parking spaces are proposed along the western frontage of the building.

The applicant's site plan (C0.4) demonstrates that on-site parking lots and vehicular circulation areas will comply with minimum drive aisle dimensions per BDC 60.30.15. Two-way vehicular circulation is proposed for the drive aisle adjacent to NW 5<sup>th</sup> Street, for the areas adjacent to the 90-degree parking stalls, and for the loading areas along the western frontage of the building. One-way traffic is proposed for the drive aisle south of the proposed building additions, adjacent to the southern property line, as well as for the areas containing 45-degree parking stalls.

## Exhibit APP 2.1

The table below outlines the development's requested bicycle parking ratios per BDC Table 60.30.10.5.B. This request and associated findings are addressed in the Parking Determination portion of the staff report. As shown in the table below, if approved through the Parking Determination application the proposal complies with short-term and long-term bicycle parking space requirements, with two short-term spaces and eight long-term spaces provided. The short-term bicycle parking spaces are proposed near the building's main entrance in the pedestrian plaza. The long-term bicycle parking spaces are proposed interior to the building, near the main entry (Sheet A-1).

Bicycle Parking Requirements		
Land Use Category	Short-Term Parking Required	Long-Term Parking Required
Manufacturing	0 spaces	4 spaces
Storage Warehouse	0 spaces	2 spaces
<b>Total Required</b>	<b>0 spaces</b>	<b>6 spaces</b>
<b>Total Proposed</b>	<b>2 spaces</b>	<b>8 spaces</b>

**Section 60.55 Transportation Facilities:** As addressed in the findings for approval criterion 40.03.1.A, the Committee finds adequate transportation facilities are available to serve the proposed development.

**Conclusion:** The Committee finds that by meeting the conditions of approval, the proposal meets the approval criterion.

### Section 40.03.1.E

**Approval Criterion:** *Adequate means are provided or can be provided to ensure continued periodic maintenance and necessary normal replacement of the following private common facilities and areas, as applicable: drainage facilities, roads and other improved rights-of-way, structures, recreation facilities, landscaping, fill and excavation areas, screening and fencing, ground cover, garbage and recycling storage areas, and other facilities not subject to maintenance by the City or other public agency.*

#### FINDING:

According to the applicant, the proposed facility operator at this site also owns and operates multiple similar facilities statewide and is capable and accustomed to keeping their facilities clean, tidy, and well maintained. The Committee finds that the proposal as represented does not present any barriers, constraints, or design elements that would prevent or preclude required maintenance of the private infrastructure and facilities on site.

**Conclusion:** The Committee finds that the proposal meets the approval criterion.

## Exhibit APP 2.1

### Section 40.03.1.F

**Approval Criterion:** *There are safe and efficient vehicular and pedestrian circulation patterns within the boundaries of the development.*

#### FINDING:

The applicant's plans show there will be safe and efficient vehicular circulation patterns in the parking lot, and that the parking lot, as conditioned, complies with minimum drive aisle widths and other parking lot design standards in BDC 60.30.15. The proposal includes walkways that provide adequate pedestrian connections from the primary building entrance, through the on-site parking lots, across the drive aisles, and to the public sidewalks on SW 5<sup>th</sup> Street and SW Western Avenue.

The applicant's plans identify two man doors that swing outwards into vehicle circulation areas. The man doors are located on the eastern façades of the two proposed building additions. As a condition of approval, prior to Site Development permits the applicant shall provide a revised site plan that does not include outward swinging doors in these locations unless they are protected by bollards or other physical barriers.

**Conclusion:** The Committee finds that, by meeting the conditions of approval, the proposal meets the approval criterion.

### Section 40.03.1.G

**Approval Criterion:** *The development's on-site vehicular and pedestrian circulation systems connect to the surrounding circulation systems in a safe, efficient, and direct manner.*

#### FINDING:

Vehicular access is provided to the site by one commercial driveway along SW 5<sup>th</sup> Street and two commercial driveways along SW Western Avenue. Two pedestrian walkways provide safe, efficient, and direction connectivity to the SW 5<sup>th</sup> Street right of way. Two additional pedestrian walkways provide safe, efficient, and direction connectivity to the SW Western Avenue right of way.

**Conclusion:** The Committee finds that the proposal meets the approval criterion.

### Section 40.03.1.H

**Approval Criterion:** *Structures and public facilities serving the development site are designed in accordance with adopted City codes and standards and provide adequate fire protection, including, but not limited to, fire flow.*

#### FINDING:

## Exhibit APP 2.1

Fire protection will continue to be provided by TVF&R. TVF&R staff reviewed the applicant's materials and had no objections to the proposal. The Committee finds that adequate fire protection service will continue to be provided to the development.

**Conclusion:** The Committee finds that the proposal meets the approval criterion.

### Section 40.03.1.I

**Approval Criterion:** *Structures and public facilities serving the development site are designed in accordance with adopted City codes and standards and provide adequate protection from crime and accident, as well as protection from hazardous conditions due to inadequate, substandard, or ill-designed development.*

#### FINDING:

The applicant states that all structures and public facilities serving the development site are designed in accordance with adopted City codes and standards. As of the date of this report, Beaverton Police have not raised any concerns about crime or accident at the development site. Any comments from Beaverton Police will be forwarded directly to the applicant, and the Committee finds the development is designed to provide adequate protection from crime and accident.

The applicant will be required to submit for development permits for life and safety review as part of the Building Permit review process. Accordingly, the Committee finds that review of the construction documents at the Building Permit stage will ensure protection from hazardous conditions due to inadequate, substandard, or ill-designed development.

**Conclusion:** The Committee finds that the proposal meets the approval criterion.

### Section 40.03.1.J

**Approval Criterion:** *Grading and contouring of the development site is designed to accommodate the proposed use and to mitigate adverse effect(s) on neighboring properties, public right-of-way, surface drainage, water storage facilities, and the public storm drainage system.*

#### FINDING:

The Committee has reviewed the applicant's preliminary grading plan (Sheet C6) and finds no adverse effects on neighboring properties, the public right-of-way, or the public storm system are anticipated. The Committee recommends conditioning the applicant to submit an erosion control plan prior to Site Development Permit issuance and to maintain erosion control measures for the duration of the project to prevent sediment-laden run-off from leaving the site.

## Exhibit APP 2.1

The Committee also recommends conditioning the applicant to submit construction plans and a drainage report demonstrating compliance with City of Beaverton and Clean Water Services surface water management standards prior to Site Development Permit issuance. As conditioned, the Committee finds adequate stormwater drainage, treatment, and retention will be provided to the development site.

**Conclusion:** The Committee finds that by meeting the conditions of approval, the proposal meets the approval criterion.

### Section 40.03.1.K

**Approval Criterion:** *Access and facilities for physically handicapped people are incorporated into the development site and building design, with particular attention to providing continuous, uninterrupted access routes.*

#### FINDING:

The applicant states the proposed parking lots and pedestrian walkways will meet Americans with Disabilities Act (ADA) standards and facilitate efficient pedestrian travel. The applicant will be required to meet all applicable accessibility standards of the International Building Code, Fire Code, and other standards as required by the ADA. The Committee finds that review of the proposed plans at Site Development and Building Permit stages is sufficient to guarantee compliance with accessibility standards.

**Conclusion:** The Committee finds that the proposal meets the approval criterion.

### Section 40.03.1.L

**Approval Criterion:** *The application includes all required submittal materials as specified in Section 50.25.1 of the Development Code.*

#### FINDING:

The applicant submitted this Design Review Two application on July 21, 2022. The applicant also submitted an associated Parking Determination application on July 22, 2022, and an associated Sidewalk Design Modification application on October 17, 2022. The applicant deemed all three applications complete on December 13, 2022. The applicant provided a 21-day extension to the 120-day clock to provide additional submittal materials requested by the city.

**Conclusion:** The Committee finds that the proposal meets the approval criterion.



**Exhibit APP 2.1**

**Code Conformance Analysis**

**Chapter 20 Use and Site Development Requirements**  
**Industrial (IND) Zoning District**

<b>CODE STANDARD</b>	<b>CODE REQUIREMENT</b>	<b>PROJECT PROPOSAL</b>	<b>MEETS CODE?</b>
<b>Development Code Section 20.15.20</b>			
Manufacturing, Fabricating, Assembly, Processing, Packing, and Storage; Warehousing, Wholesale and Distributive Activities	Permitted	The onsite uses proposed include food processing, storage, and distribution via delivery truck.	<b>YES</b>
<b>Development Code Section 20.15.15</b>			
Parcel Area	No Minimum	No changes to the existing lot sizes are proposed.	<b>N/A</b>
Minimum Lot Dimensions	No Minimum	No changes to the existing lot dimensions are proposed.	<b>N/A</b>
Yard Setbacks	Any yard abutting a Residential Zone: 75 feet Front: 35 feet Side: 10 feet Rear: None	Building additions are proposed that will reduce the rear yard setback to 30 feet.	<b>YES</b>
Maximum Building Height	45 feet	No changes to the existing building height are proposed.	<b>N/A</b>
<b>Development Code Section 20.15.30.1.A</b>			
Off-Street Parking and Loading	No parking shall be allowed within the first 20 feet of the front yard setback.	Applicant's site plan (Sheet A-1) shows no parking will be located within first 20 feet of the front yard setback.	<b>YES</b>

## Exhibit APP 2.1

### Chapter 60 Special Requirements

CODE STANDARD	CODE REQUIREMENT	PROJECT PROPOSAL	MEETS CODE?
<b>Development Code Section 60.05</b>			
Design Review Principles, Standards, and Guidelines	Requirements for new development and redevelopment.	Site improvements include a 5,910 square-foot addition to an existing industrial building, improvements to landscaping and pedestrian circulation areas, and improvements to vehicle parking, maneuvering, and circulation areas.	<b>See DR Findings</b>
<b>Development Code Section 60.07</b>			
Drive-Up Window Facilities	Requirements for drive-up, drive-through, and drive-in facilities.	No drive-up window facilities are proposed.	<b>N/A</b>
<b>Development Code Section 60.10</b>			
Floodplain Regulations	Requirements for properties located in floodplain, floodway, or floodway fringe.	The site contains a small portion of floodplain located along the northern property line. With street dedications, no portion of the site will be located in the floodplain.	<b>YES</b>
<b>Development Code Section 60.11</b>			
Food Cart Pod Regulations	Requirements for food carts and food cart pods.	The applicant is not proposing a food cart or food cart pod.	<b>N/A</b>
<b>Development Code Section 60.12</b>			
Habitat Friendly and Low Impact Development Practices	Optional program offering various credits available for use of specific Habitat Friendly or Low Impact Development techniques.	No Habitat Friendly or Low Impact Development credits are requested.	<b>N/A</b>
<b>Development Code Section 60.15</b>			
Land Division Standards	Requirements for all land division applications.	No land divisions are proposed.	<b>N/A</b>
<b>Development Code Section 60.20</b>			
Mobile and Manufactured Home Regulations	Requirements for the placement of mobile and manufactured homes.	No mobile or manufactured homes are proposed.	<b>N/A</b>
<b>Development Code Section 60.25</b>			
Off-Street Loading Requirements	3 Type A loading berths required.	Site contains seven existing Type A loading berths.	<b>YES</b>

## Exhibit APP 2.1

CODE STANDARD	CODE REQUIREMENT	PROJECT PROPOSAL	MEETS CODE?
<b>Development Code Section 60.30</b>			
Off-Street Motor Vehicle Parking	Refer to the Facilities Review Committee findings herein.	Refer to the Facilities Review Committee findings herein.	<b>YES, See PD Findings</b>
<b>Development Code Section 60.30</b>			
Required Bicycle Parking	Refer to the Facilities Review Committee findings herein.	Refer to the Facilities Review Committee findings herein.	<b>YES, See PD Findings</b>
<b>Development Code Section 60.33</b>			
Park and Recreation Facilities and Service Provision	Requirements for annexing property to THPRD.	The site is already within THPRD's boundaries.	<b>N/A</b>
<b>Development Code Section 60.35</b>			
Planned Unit Development	Development and design principles for Planned Unit Developments.	No Planned Unit Development is proposed.	<b>N/A</b>
<b>Development Code Section 60.40</b>			
Sign Regulations	Requirements for signs.	All signs will be reviewed under a separate sign permit, and are not reviewed with this proposal.	<b>N/A</b>
<b>Development Code Section 60.45</b>			
Solar Access Protection	Solar access requirements for subdivisions and single family homes.	No subdivisions or single family homes are proposed.	<b>N/A</b>
<b>Development Code Section 60.50</b>			
Accessory Uses and Structures	Requirements for accessory uses and structures.	No accessory uses or structures proposed.	<b>N/A</b>
<b>Development Code Section 60.55</b>			
Transportation Facilities	Requirements pertaining to the construction or reconstruction of transportation facilities.	Refer to the Facilities Review Committee findings herein.	<b>YES</b>
<b>Development Code Section 60.60</b>			
Trees and Vegetation	Regulations pertaining to tree removal and preservation.	The site contains one existing landscape tree proposed for removal. Mitigation is proposed in accordance with BDC Section 60.60.25.9.	<b>YES</b>

## Exhibit APP 2.1

CODE STANDARD	CODE REQUIREMENT	PROJECT PROPOSAL	MEETS CODE?
<b>Development Code Section 60.65</b>			
Utility Undergrounding	Requirements for placing overhead utilities underground.	All new utility lines are proposed to be placed underground.	<b>YES</b>
<b>Development Code Section 60.67</b>			
Significant Natural Resources	Regulations pertaining to wetlands and riparian corridors.	No Significant Natural Resources are located on site.	<b>N/A</b>
<b>Development Code Section 60.70</b>			
Wireless Communication Facilities	Regulations pertaining to wireless facilities.	No wireless communication facilities are proposed.	<b>N/A</b>

## Attachment B: DR2022-0098 DESIGN REVIEW TWO

### ANALYSIS AND FINDINGS FOR DESIGN REVIEW TWO

**Decision:** Based on the facts and findings presented below, staff recommends **APPROVAL** of **DR2022-0098**, subject to the applicable conditions identified in Attachment E.

#### Section 40.20.05 Purpose:

The purpose of Design Review is to promote Beaverton's commitment to the community's appearance, quality pedestrian environment, and aesthetic quality. It is intended that monotonous, drab, unsightly, dreary, and inharmonious development will be discouraged. Design Review is also intended to conserve the City's natural amenities and visual character by ensuring the proposals are properly related to their sites and to their surroundings by encouraging compatible and complementary development. The purpose of Design Review as summarized in this Section is carried out by the approval criteria listed herein.

#### Section 40.20.15.2.C Approval Criteria

In order to approve a Design Review Two application, the decision making authority shall make findings of fact based on evidence provided by the applicant demonstrating that all the following criteria are satisfied:

##### Section 40.20.15.2.C.1

**Approval Criteria:** The proposal satisfies the threshold requirements for a Design Review Two application.

##### Finding:

The applicant proposes to redevelop an existing industrial site. Site improvements include a 5,910 square-foot addition to an existing industrial building, 139,262 sq. ft. of new landscaping, new pedestrian circulation areas, and new vehicle parking, maneuvering, and circulation areas. Currently the landscaping, pedestrian circulation, vehicle parking, maneuvering, and circulation areas on-site are under construction based on a previous land use approval and associated Site Development Permit, which will be updated to reflect this decision. Accordingly, the proposal satisfies the following thresholds in BDC 40.20.15.2.A for a Design Review Two application:

*1. New construction of up to and including 50,000 gross square feet of non-residential floor area where the development does not abut any Residential District*

*7. Any change in excess of 15 percent of the square footage of on-site landscaping or pedestrian circulation area with the exception for an increase in landscape art of up to 25 percent.*

## Exhibit APP 2.1

*8. Any new or change to existing on-site vehicular parking, maneuvering, and circulation area which adds paving.*

**Conclusion:** Staff finds that the proposal meets the approval criterion.

### Section 40.20.15.2.C.2

**Approval Criteria:** All City application fees related to the application under consideration by the decision making authority have been submitted.

**Finding:**

The applicant has paid the required fee for this Design Review Two application.

**Conclusion:** Staff finds that the proposal meets the approval criterion.

### Section 40.20.15.2.C.3

**Approval Criteria:** The proposal contains all applicable application submittal requirements as specified in Section 50.25.1. of the Development Code.

**Finding:**

Pursuant to Section 50.25.1, the application package includes all the necessary submittal requirements.

**Conclusion:** Staff finds that the proposal meets the approval criterion.

### Section 40.20.15.2.C.4

**Approval Criteria:** The proposal is consistent with all applicable provisions of Sections 60.05.15. through 60.05.30. (Design Standards).

**Finding:**

Staff cites the findings in the Design Review Standards Analysis table in this report which evaluate the project in response to applicable Code standards of Sections 60.05.15 through 60.05.30 (Design Standards). In part, the table provides a summary response to Design Standards determined to be applicable in the subject case. The applicant's plans and materials show compliance with these standards.

**Conclusion:** Staff finds that the proposal meets the approval criterion.

## Exhibit APP 2.1

### Section 40.20.15.2.C.5

**Approval Criteria:** For additions to or modifications of existing development, the proposal is consistent with all applicable provisions of Sections 60.05.15 through 60.05.30 (Design Standards) or can demonstrate that the proposed additions or modifications are moving towards compliance with specific Design Standards if any of the following conditions exist:

- a) A physical obstacle such as topography or natural feature exists and prevents the full implementation of the applicable standard; or
- b) The location of existing structural improvements prevent the full implementation of the applicable standard; or
- c) The location of the existing structure to be modified is more than 300 feet from a public street.

If the above listed conditions are found to exist and it is not feasible to locate a proposed addition in such a way that the addition abuts a street, then all applicable design standards except the following must be met:

- d) If in a Multiple Use District, building location, entrances and orientation along streets, and parking lot limitations along streets (Standards 60.05.15.6 and 60.05.20.8)
- e) If in a Multiple Use or Commercial District, ground floor elevation window requirements (Standard 60.05.15.8).

#### Finding:

The applicant's proposal is for a modification to an existing development. Staff cites the findings in the Design Review Standards Analysis table in this report which evaluate the project in response to applicable Code standards of Sections 60.05.15 through 60.05.30 (Design Standards). In part, the table provides a summary response to Design Standards determined to be applicable in the subject case. The applicant's plans and materials show compliance with these standards. Additionally, the site is not located in a Multiple Use or Commercial District.

**Conclusion:** Staff finds that the proposal meets the approval criterion.

### Section 40.20.15.2.C.6

**Approval Criteria:** For reconstruction of a destroyed existing single-detached dwelling in a Multiple Use zoning district, the reconstructed dwelling is no more than 500 sq. ft. larger in floor area than the original dwelling.

## Exhibit APP 2.1

### Finding:

The proposal does not include the reconstruction of a destroyed existing single-detached dwelling. Also, the proposal is not located in a Multiple Use zoning district.

**Conclusion:** Staff finds that the criterion does not apply to this proposal.

## Section 40.20.15.2.C.7

**Approval Criteria:** The proposal complies with the grading standards outlined in Section 60.15.10 or approved with an Adjustment or Variance.

### Finding:

The grading standards in Section 60.15.10 apply to projects that propose grading within 25 feet of residentially zoned property or within 25 feet of a Significant Tree or Grove. Staff finds these standards do not apply to the applicant's proposal because the subject site is not located within 25 feet of a residentially zoned property or a Significant Tree or Grove.

**Conclusion:** Staff finds that the proposal meets the approval criterion.

## Section 40.20.15.1.C.8

**Approval Criteria:** Applications and documents related to the request, which will require further City approval, shall be submitted to the City in the proper sequence.

### Finding:

The applicant submitted this Design Review Two application on July 21, 2022. The applicant also applied for a Parking Determination application on July 22, 2022, and a Sidewalk Design Modification application on October 17, 2022. All three applications were deemed complete by the applicant on December 13, 2022. No additional land use applications or documents are needed at this time.

**Conclusion:** Staff finds that the proposal meets the approval criterion.

## CONCLUSION & RECOMMENDATION

Based on the facts and findings presented, staff recommends **APPROVAL** of **DR2022-0098**, subject to conditions of approval in Attachment E.



# Exhibit APP 2.1

## Design Review Standards Analysis

### Section 60.05.15 Building Design and Orientation Standards

DESIGN STANDARD	PROJECT PROPOSAL	MEETS STANDARD
<b>Building Design and Orientation</b>		
<b>60.05.15.1.A</b>	The project does not contain multi-dwellings or townhouses. The project is not located in a Residential zone.	<b>N/A</b>
<b>60.05.15.1.B</b>	The east and north building elevations are street-facing and include 36% and 18% permanent architectural features respectively.	<b>YES</b>
<b>60.05.15.1.C</b>	Spacing between permanent architectural features is delineated by articulated bays, each spaced at between 22 and 25 feet.	<b>YES</b>
<b>Roof Forms</b>		
<b>60.05.15.2.A</b>	The project does not contain sloping roofs visible from the public right of way.	<b>YES</b>
<b>60.05.15.2.B</b>	The project is not a residential use nor is it located in a multiple use or commercial zone.	<b>N/A</b>
<b>60.05.15.2.C</b>	The proposed roof surfaces are very low to flat and are screened behind architectural cornices extending at least 12 inches from the roof surface.	<b>YES</b>
<b>60.05.15.2.D</b>	The proposed addition to the south of the existing building will contain a flat roof with an identical slope to the existing building and will also be screened behind a parapet of the same height and geometry as the existing building. The new roof addition will be constructed of the same materials as the existing roof.	<b>YES</b>
<b>60.05.15.2.E</b>	The proposal includes a new canopy roof that will architecturally match both the existing and new building's roof line.	<b>N/A</b>
<b>Primary Building Entrances</b>		
<b>60.05.15.3.A</b>	The primary entrance to the building, located at the northeast corner, will contain a set of entry doors recessed approximately 3 feet, as well as a 6 foot deep canopy that extends approximately 44 feet, centered on the entrance.	<b>YES</b>
<b>Exterior Building Materials</b>		
<b>60.05.15.4.B</b>	The newly renovated east elevation includes 25% smooth concrete. The newly renovated north elevation includes 26% smooth concrete.	<b>YES</b>
<b>60.05.15.4.C</b>	All exposed foundations on the existing	<b>YES</b>

## Exhibit APP 2.1

DESIGN STANDARD	PROJECT PROPOSAL	MEETS STANDARD
	building are at or below 4 feet in height. All exposed foundations for proposed new building additions will be at or below 1 foot in height.	
<b>Roof Mounted Equipment</b>		
<b>60.05.15.5.A-C</b>	No roof-mounted equipment is proposed.	<b>N/A</b>
<b>Building Location &amp; Orientation</b>		
<b>60.05.15.6.A-E</b>	The project is not located in a Commercial or Multiple Use Zone.	<b>N/A</b>
<b>Building Scale Along Major Pedestrian Routes</b>		
<b>60.05.15.7.A-C</b>	The project is not located along a Major Pedestrian route.	<b>N/A</b>
<b>Ground Floor Elevations</b>		
<b>60.05.15.8.A-B</b>	The project does not include any commercial or multiple use buildings.	<b>N/A</b>
<b>Compact Detached Housing</b>		
<b>60.05.15.9.A-L</b>	The project does not include compact detached housing.	<b>N/A</b>
<b>Ground Floor Elevations on Residential Only Buildings</b>		
<b>60.05.15.10.A</b>	The project does not contain residential-only buildings.	<b>N/A</b>

### Section 60.05.20 Circulation and Parking Design

DESIGN STANDARD	PROJECT PROPOSAL	MEETS STANDARD
<b>Connections to the public street system</b>		
<b>60.05.20.1</b> Connect on-site circulation to existing and planned street system	Two on-site walkways connect to the public sidewalk along SW 5 <sup>th</sup> Street and two on-site walkways connect to the public sidewalk along SW Western Avenue. One motor vehicle connection is proposed along SW 5 <sup>th</sup> Street and two motor vehicle connections are proposed along SW Western Avenue.	<b>YES</b>
<b>Loading Areas, solid waste facilities and similar improvements</b>		
<b>60.05.20.2.A</b>	On-site service areas including waste storage, disposal facilities, and recycling containers are proposed inside of the building and screened from view from the public street. One electrical transformer is located south of the parking lot on the east side of the building. It will be screened with a finished metal panel system, identical to the proposed building addition (Sheets A-1 and A-5).	<b>YES</b>
<b>60.05.20.2.B</b>	The principal use of the facility is for manufacturing, storage, and distribution	<b>N/A</b>

## Exhibit APP 2.1

DESIGN STANDARD	PROJECT PROPOSAL	MEETS STANDARD
	activities in an Industrial zone.	
<b>60.05.20.2.C</b>	Waste storage and recycling containers are proposed inside of the building and therefore not visible. One electrical transformer is located south of the parking lot on the east side of the building. It will be screened with an 8-foot, finished metal panel system, identical to the proposed building addition (Sheet A-1 and A-5). No changes are proposed to the locations of the existing loading areas. The site's loading docks and the six storage tanks located at the south end of the building are exempt from the standard because they are existing on-site conditions.	<b>YES</b>
<b>60.05.20.2.D–E</b>	No chain-link fencing is proposed for screening. The proposal is not located in a Commercial or Multiple Use zone.	<b>N/A</b>
<b>Pedestrian Circulation</b>		
<b>60.05.20.3.A</b> Link to adjacent facilities	On-site walkways connect to public sidewalks along both SW 5 <sup>th</sup> Street and SW Western Avenue. Walkways also provide internal connections from the primary building entrance to the parking areas.	<b>YES</b>
<b>60.05.20.3.B</b> Direct walkway connection	Walkways connect from the public sidewalks along both SW 5 <sup>th</sup> Street and SW Western Avenue to the primary entrance on the east side of building.	<b>YES</b>
<b>60.05.20.3.C</b> Walkways every 300'	The site has approximately 583 feet of public street frontage along SW 5 <sup>th</sup> Street and approximately 567 feet of public St. frontage along SW Western Avenue. Each frontage includes two walkways not more than 300 feet apart.	<b>YES</b>
<b>60.05.20.3.D</b> Physical separation	Pedestrian connections are separated from adjacent vehicle parking with curbs, landscaping, or wheel stops.	<b>YES</b>
<b>60.05.20.3.E</b> Distinct paving	All pedestrian walkways that cross drive aisles are composed of concrete.	<b>YES</b>
<b>60.05.20.3.F</b> 5' minimum width	All walkways are at least 5 feet wide and paved.	<b>YES</b>
<b>Street Frontages and Parking Areas</b>		
<b>60.05.20.4.A.1-2</b>	Planting strips measuring at least 6 feet wide and containing a combination of trees and shrubs are proposed between the right of way and parking areas.	<b>YES</b>
<b>Parking and Landscaping</b>		
<b>60.05.20.5.A</b>	No grouping of contiguous parking exceeds	<b>YES</b>

## Exhibit APP 2.1

DESIGN STANDARD	PROJECT PROPOSAL	MEETS STANDARD
Contiguous Parking	8 spaces.	
<b>60.05.20.5.B</b> Landscape Island Size	Landscape islands are at least 70 square feet in size and at least 6 feet in width. The landscape islands are curbed and planted with trees.	<b>YES</b>
<b>60.05.20.5.C</b> Raised sidewalks	Raised sidewalks are not utilized for landscaped islands.	<b>N/A</b>
<b>60.05.20.5.D</b> Tree species	Some of the tree species proposed in the landscape islands are not identified on the City's approved street tree list. As a condition of approval, prior to site development permits the applicant shall provide a revised landscape plan that contains only trees included on the city's approved street tree list. Alternatively, the applicant may provide written confirmation from the city arborist that the trees proposed on the landscape plan, date stamped February 17, 2023, are acceptable.	<b>YES, w/ COA</b>
<b>Off-Street Parking Frontages in Multiple Use Zones</b>		
<b>60.05.20.6.A</b>	The site is not located in a Multiple Use zone.	<b>N/A</b>
<b>Sidewalks Along Streets and Primary Building Elevations in Commercial and Multiple Use Zones</b>		
<b>60.05.20.7.A – C</b>	The site is not located in a Commercial or Multiple Use zone.	<b>N/A</b>
<b>Connect on-site buildings, parking, and other improvements with identifiable streets and drive aisles in Residential, Multiple Use, and Commercial Districts</b>		
<b>60.05.20.8.A – B</b>	The site is not located in a Residential, Commercial or Multiple Use zone.	<b>N/A</b>
<b>Ground Floor Uses in Parking Structures</b>		
<b>60.05.20.9</b> Parking Structures	No parking structures proposed.	<b>N/A</b>

### Section 60.05.25 Landscape, Open Space, and Natural Areas Design Standards

DESIGN STANDARD	PROJECT PROPOSAL	MEETS STANDARD
<b>Minimum Landscaping</b>		
<b>60.05.25.1 – 4</b> Residential minimum landscaping	The site is not a residential development.	<b>N/A</b>
<b>60.05.25.5.A</b> Non-residential minimum landscaping	Based on site size, 49,188 square feet of landscaping must be provided. According to the applicant's plans, 139,262 square feet of landscaping will be provided.	<b>YES</b>
<b>60.05.25.5.B</b>	Based on site size, 62 trees and 123 shrubs	<b>YES</b>

## Exhibit APP 2.1

DESIGN STANDARD	PROJECT PROPOSAL	MEETS STANDARD
Planting Requirements	must be provided. According to applicant's plans, 63 trees and approximately 308 shrubs will be provided.	
<b>60.05.25.5.C</b> Pedestrian Plaza	A pedestrian plaza is proposed. However, the required landscaping coverage is met via planted areas.	N/A
<b>60.05.25.5.D</b> Landscaping along building foundation	The proposal includes 50 feet of new building elevation visible from and within 200 feet of a public right-of-way. This portion of the façade provides access for vehicles.	N/A
<b>Common Greens and Shared Courts</b>		
<b>60.05.25.6 – 7</b> Common Greens and Shared Courts	No common greens or shared courts proposed.	N/A
<b>Retaining Walls</b>		
<b>60.05.25.8</b> Retaining Walls	There is an existing retaining wall along a portion of SW 5th Street. The retaining wall is 247 feet in length and varies in height from 4'6" to 7 feet. The structure consists of a series of gabions filled with native Camas basalt rocks and boulders.	YES
<b>Fences and Walls</b>		
<b>60.05.25.9.A</b> Fences and Walls	The proposal includes a gabion retaining wall, filled with rocks and boulders, along a portion of SW 5 <sup>th</sup> Street. A new security fence for the on-site tanks is proposed near the southwest corner of the building.	YES
<b>60.05.25.9.B – C</b> Fences and Walls	No chain link fences or masonry walls are proposed.	YES
<b>60.05.25.9.D</b> Fences and Walls	The standard applies to the gabion retaining wall because it is adjacent to the public right-of-way. The proposed security fence is located more than 200 feet from a public street.	YES
<b>60.05.25.9.E</b> Fences and Walls	There is an existing gabion retaining wall along a portion of SW 5 <sup>th</sup> Street, a Collector Street. The wall varies in height from 4'6" to 7.	YES
<b>On-Site Surface Contours at Residential Property Lines</b>		
<b>60.05.25.10</b> On-Site Surface Contours at Residential Property Lines	The site is not located within 25 feet of a residentially zoned property or a Significant Tree or Grove; therefore, these standards do not apply.	N/A
<b>Integrate Water Quality, Quantity, or Both Facilities</b>		
<b>60.05.25.11</b> Locations of Non-Vaulted Stormwater Facilities	No surface water quality facilities with slopes exceeding the requirements are proposing at any locations between the	YES

## Exhibit APP 2.1

DESIGN STANDARD	PROJECT PROPOSAL	MEETS STANDARD
	street and building frontage	
<b>Natural Areas</b>		
<b>60.05.25.12</b> Natural Areas	Site does not contain any natural resource areas.	N/A
<b>Landscape Buffering and Screening</b>		
<b>60.05.25.13</b> Landscape Buffering and Screening	The zoning across the street is CS. A minimum 5' B2 buffer is required per BDC Table 60.05-2. The proposal includes a 5.5-foot buffer, comprised of trees and shrubs. As a condition of approval, prior to Site Development permits the applicant shall provide a revised landscape plan that includes one tree for every 30 lineal feet within the B2 buffer.	YES, w COA

### Section 60.05.30 Lighting Design Standards

DESIGN STANDARD	PROJECT PROPOSAL	MEETS STANDARD
<b>Adequate on-site lighting and minimize glare on adjoining properties</b>		
<b>60.05.30.1.A</b> Lighting complies with the City's Technical Lighting Standards	The applicant provides a lighting plan with photometric details demonstrating on-site lighting meets the minimum lighting requirements.	YES
<b>60.05.30.1.B</b> Lighting provided for vehicle and pedestrian circulation	The applicant provides a lighting plan with photometric details demonstrating on-site lighting meets the minimum lighting requirements.	YES
<b>60.05.30.1.C</b> Lighting of Ped Plazas	The proposal includes a pedestrian plaza. The applicant provides a lighting plan with photometric details demonstrating on-site lighting in the pedestrian plaza meets the minimum lighting requirements.	YES
<b>60.05.30.1.D</b> Lighting of building entrances	The applicant's lighting plan shows lighting at building entrances.	YES
<b>60.05.30.1.E</b> Canopy lighting recessed	Canopy lighting is proposed to be recessed.	YES
<b>Pedestrian-scale on-site lighting</b>		
<b>60.05.30.2.A</b> Pedestrian Lighting	The proposal includes pole-mounted luminaires in the vehicle circulation areas equal to or less than 30 feet in height.	YES
<b>60.05.30.2.B</b> Non-Pole Mounted	All wall mounted lights comply with City's Technical Lighting Standards	YES

## Exhibit APP 2.1

DESIGN STANDARD	PROJECT PROPOSAL	MEETS STANDARD
Lighting		
<b>60.05.30.2.C</b> Lighted Bollards	No bollards are proposed.	<b>N/A</b>

## Attachment C: PARKING DETERMINATION PD2022-0003

### ANALYSIS AND FINDINGS FOR PARKING DETERMINATION APPROVAL

**Recommendation:** Based on the facts and findings presented below, staff recommends **APPROVAL** of **PD2022-0003**, subject to the applicable conditions identified in Attachment E.

#### Section 40.55.05 Purpose:

The purpose of a Parking Determination is to establish required number of parking spaces for uses which do not have a parking ratio requirement listed in the Development Code. The Parking Determination application is established for determining the required number of off-street parking spaces in advance of, or concurrent with, applying for approval of an application, development, permit, or other action. This Section is carried out by the approval criteria listed herein.

#### Section 40.55.15.1.C Approval Criteria

To approve a Parking Determination application, the decision-making authority shall make findings of fact based on evidence provided by the applicant demonstrating that all the following criteria are satisfied:

##### Section 40.55.15.1.C.1

The proposal satisfies the threshold requirements for a Parking Requirement Determination application.

##### FINDING:

The land use categories for the parking ratio requirements for motor vehicles and bicycles in Tables 60.30.10.5.A and B do not include the type of interior cold storage required to support a dairy product processing, storage, and distribution facility. The applicant is requesting a parking determination that 66 vehicle parking spaces and 6 long-term bicycle parking spaces are required for the proposed use (a combination of food processing and cold storage). Staff finds this request satisfies Threshold 1, which states:

- 1. A request that the Director establish, in writing, an off-street parking ratio or requirement for a use not listed or substantially similar to a use listed in Section 60.30. (Off-Street Parking) of this Code.*

**Conclusion:** Staff finds the proposal meets the approval criterion.



## Exhibit APP 2.1

### Section 40.55.15.1.C.2

All City application fees related to the application under consideration by the decision-making authority have been submitted.

#### FINDING:

The City of Beaverton received the appropriate fee for a Parking Determination application.

**Conclusion:** Staff finds the proposal meets the approval criterion.

### Section 40.55.15.1.C.3

The determination is consistent with Title 4 of Metro's Regional Transportation Functional Plan.

#### FINDING:

The City's land use categories for parking ratio requirements for motor vehicles and bicycles in Tables 60.30.10.5.A and B. do not include the type of interior cold storage required to support a dairy product processing, storage, and distribution facility. Therefore, the applicant is requesting a parking Requirement Determination which is consistent with Title 4 of the Metro Regional Transportation Functional Plan which require cities and county to establish minimum and maximum parking ratios.

**Conclusion:** Staff finds the proposal meets the approval criterion.

### Section 40.55.15.1.C.4

The determination will not create adverse impacts, taking into account the total gross floor area, number of employees, potential customer volume, and the hours of operation of the use.

#### FINDING:

The applicant requests the approval of a Parking Determination which concludes that the use requires 66 off-street vehicular parking spaces and 6 long-term bicycle parking spaces based on the proposed use and size of the site. The applicant proposes to provide 71 off-street vehicular parking spaces, 2 short-term bicycle parking spaces, and 8 long-term bicycle parking spaces. The subject site is 7.53 acres. The applicant's narrative states that the existing warehouse building is 61,057 square feet and a 5,910 square-foot building addition is proposed.

The applicant's proposed use of the facility is for a mix of food processing and interior cold storage uses to support dairy product processing, storage, and a distribution facility. According to the applicant, the proposal is a unique use, and the Manufacturing classification in the Beaverton Development Code parking tables does not reflect its

## Exhibit APP 2.1

required parking needs. In contrast to a typical manufacturing use that can be very labor-intensive, the proposed facility relies on heavily automated, equipment intensive operations. For comparison, the applicant references a similar facility in Aurora, Oregon (which is also owned by the applicant) called Rock Ridge, where 8–10 employees operate approximately 25,000 square feet of equipment and materials during peak production. The applicant also notes that the proposed facility in Beaverton includes 31,479 square feet of cold storage, intended for the refrigeration of finished goods that are shipped off-site by delivery truck. The applicant states that the cold storage portions of the facility are even less labor-intensive than the manufacturing portion of the facility.

The applicant provided a parking study to support their Parking Determination request (Exhibit 3.4). The parking study includes three sources of data to estimate parking demand. The three sources include: 1) a blended calculation based on the two functions of the facility and City of Beaverton Development Code parking ratios for Manufacturing and Warehousing, 2) data from the ITE parking generation manual for land-use code 140 – Manufacturing and 150 – Warehousing, and 3) parking demand based on the Rock Ridge facility.

According to the applicant's parking study, by using a blended calculation for Manufacturing and Warehousing, the use would require 66 total parking spaces per BDC Table 60.30.10.5.A. BDC Table 60.30.10.5.A requires 1.6 parking spaces per 1,000 square feet for Manufacturing uses and 0.3 parking spaces per 1000 square feet for Storage warehouse. The proposal includes 35,488 square feet of Manufacturing and 31,479 square feet of Storage warehouse.

According to the applicant's ITE data, the proposal will generate 223 daily trips, which is below the Traffic Impact Analysis threshold identified in BDC Section 60.55.20.2.

The applicant's Rock Ridge study considers the total gross floor area, number of employees, customers, and hours of operation. The study concludes that the parking demand at Organic Milk Exchange requires 42 vehicle parking spaces, based on the proposed size and use of the facility in comparison to the Rock Ridge facility.

Staff concurs with the findings contained in the applicants parking study. Considering the proposed use, the unique combination of on-site activities, the total site size, the total gross floor area, the number of anticipated employees, the number of anticipated customers, and the hours of operation, staff concludes that 66 parking spaces are sufficient to serve the site. By providing adequate facilities to serve the use, granting the requested determination is not expected to cause adverse impacts on the surrounding area.

**Conclusion:** Staff finds that the proposal meets the approval criterion.

## Exhibit APP 2.1

### Section 40.55.15.1.C.5

The proposal contains all applicable application submittal requirements as specified in Section 50.25.1. of the Development Code.

#### FINDING:

The applicant has submitted an application that includes all applicable application materials. The application was deemed complete on November 30, 2022.

**Conclusion:** Staff finds the proposal meets the approval criterion.

### Section 40.35.15.1.C.6

Applications and documents related to the request, which will require further City approval, shall be submitted to the City in the proper sequence.

#### FINDING:

The applicant has submitted the required application materials for review of a Parking Determination application in the proper sequence. The Parking Determination is being processed concurrently with Design Review Two (DR2022-0098) and Sidewalk Design Modification (SDM2022-0004) applications. Staff recommends a condition of approval that DR2022-0098 be approved for PD2022-0003 to be approved.

**Conclusion:** Staff finds that by meeting the conditions of approval the proposal meets the approval criterion.

## CONCLUSION & RECOMMENDATION

Based on the facts and findings presented, staff recommends **APPROVAL** of **PD2022-0003**, subject to conditions of approval in Attachment E.

# Attachment D: SIDEWALK DESIGN MODIFICATION SDM2022-0004

## ANALYSIS AND FINDINGS FOR SIDEWALK DESIGN MODIFICATION APPROVAL

**Recommendation:** Based on the facts and findings presented below, staff recommends **APPROVAL** of **SDM2022-0004**, subject to the applicable conditions identified in Attachment E.

### Section 40.58.05 Purpose:

The purpose of the Sidewalk Design Modification application is to provide a mechanism whereby the City's street design standards relating to the locations and dimensions of sidewalks or required street landscaping can be modified to address existing conditions and constraints as a specific application. For purposes of this section, sidewalk ramps constructed with or without contiguous sidewalk panels leading to and away from the ramp shall be considered sidewalks. This section is implemented by the approval criteria listed herein.

### Section 40.58.15.1.C Approval Criteria

To approve a Sidewalk Design Modification application, the decision-making authority shall make findings of fact based on evidence provided by the applicant demonstrating that all the following criteria are satisfied:

#### Section 40.58.15.1.C.1

The proposal satisfies the threshold requirements for a Sidewalk Design Modification application.

#### FINDING:

The applicant proposes a modification to the minimum planter strip width required for Collector Streets, as specified in the Engineering Design Manual, for the portion of SW 5<sup>th</sup> Street located adjacent to an existing retaining wall. Along this portion of the frontage, the applicant proposes a 10-foot curb tight sidewalk with 4-foot-wide tree wells spaced at approximately 23.5 feet instead of providing 7.5-foot-wide planter strips (Exhibit 3.3, Sheet C0.4). Staff finds this request satisfies Threshold 1, which states:

- 2. The sidewalk width, planter strip width, or both minimum standards specified in the Engineering Design Manual are proposed to be modified.*

**Conclusion:** Staff finds that the proposal meets the approval criterion.

## Exhibit APP 2.1

### Section 40.58.15.1.C.2

All City application fees related to the application under consideration by the decision-making authority have been submitted.

#### FINDING:

The applicant paid the required fee for this Sidewalk Design Modification application.

**Conclusion:** Staff finds that the proposal meets the approval criterion.

### Section 40.58.15.1.C.3

One or more of the following criteria are satisfied:

- a. That there exist local topographic conditions, which would result in any of the following:
  - i. A sidewalk that is located above or below the top surface of a finished curb.
  - ii. A situation in which construction of the Engineering Design Manual standard street cross-section would require a steep slope or retaining wall that would prevent vehicular access to the adjoining property.
- b. That there exist local physical conditions such as:
  - i. An existing structure prevents the construction of a standard sidewalk.
  - ii. An existing utility device prevents the construction of a standard sidewalk.
  - iii. Rock outcroppings prevent the construction of a standard sidewalk without blasting.
- c. That there exist environmental conditions such as a Significant Natural Resource Area, Jurisdictional Wetland, Clean Water Services Water Quality Sensitive Area, Clean Water Services required Vegetative Corridor, or Significant Tree Grove.
- d. That additional right of way is required to construct the Engineering Design Manual standard and the adjoining property is not controlled by the applicant.

#### FINDING:

There is an existing retaining wall along a segment of SW 5<sup>th</sup> Street. The retaining wall was constructed due to a significant grade change of between the right-of-way and the lot line (approximately 4'–6' along that section). The retaining wall is an existing structure, and located directly behind the right of way line, preventing the construction of a standard sidewalk. Therefore, staff finds that the proposal meets the criterion per 40.58.15.1.C.3.b.i.

**Conclusion:** Staff finds that the proposal meets the approval criterion.

### Section 40.58.15.1.C.4

The proposal complies with provisions of Section 60.55.25 (Street and Bicycle and Pedestrian Connection Requirements) and 60.55.30 (Minimum Street Widths).

## Exhibit APP 2.1

### FINDING:

The applicant demonstrates that the proposal complies with provisions of Section 60.55.25 as discussed in the narrative and as illustrated in the submitted right of way civil plans (Exhibit 3.3, Sheet C.04). Additionally, the applicant has applied for this Sidewalk Design Modification to request a project-specific modification to the EDM standards for sidewalks and planter strips, in accordance with Section 60.55.30.2. Staff also refers to the Facilities Review Committee findings for approval criteria A and D in reference to compliance with Section 60.55. The applicant must show compliance with the conditions of approval for the proposed transportation facilities prior to final inspection or final occupancy.

**Conclusion:** Staff finds that, by meeting the conditions of approval, the proposal meets the criterion.

### Section 40.58.15.1.C.5

Applications and documents related to the request, which will require further City approval, have been submitted to the City in the proper sequence.

### FINDING:

The applicant submitted a Design Review Two application and a Parking Determination application to be processed concurrently with this Sidewalk Design Modification application for SW 5<sup>th</sup> Street. No additional applications or documents are needed at this time. Staff recommends a general condition requiring approval of the associated Design Review application (DR2022-0098) application.

**Conclusion:** Staff finds that, by meeting the conditions of approval, the proposal meets the criterion.

### Section 40.58.15.1.C.6

The proposed Sidewalk Design Modification provides safe and efficient pedestrian circulation in the site vicinity.

### FINDING:

The applicant states the Sidewalk Design Modification will provide safe and efficient pedestrian circulation on SW 5<sup>th</sup> Street and in the site vicinity. The proposed sidewalks will improve public pedestrian access to the site, will meet ADA accessible grades, and will tie into existing adjacent sidewalks with the most direct and efficient route of travel, providing safe circulation connections within the neighborhood.

**Conclusion:** Staff finds that the proposal meets the criterion.

## CONCLUSION & RECOMMENDATION

Based on the facts and findings presented, staff recommends **APPROVAL** of **SDM2022-0004**, subject to the applicable conditions identified in Attachment E.

## Attachment E: CONDITIONS OF APPROVAL

### Design Review Two (DR2022-0098)

#### **A. Prior to issuance of the site development permit revision, the applicant shall:**

1. Ensure the associated land use applications (PD2022-0003 and SDM2022-0004) have been approved. (Planning Div. / AH)
2. Submit a revised site plan illustrating the frontage along SW 5<sup>th</sup> Street. The revised site plan must illustrate compliance with the Collector Street standards in the Engineering Design Manual (EDM), including streetlights, sidewalks, and planter strip, except for the portions of street frontage not located adjacent to the existing retaining wall which are approved for a modified sidewalk standard in SDM2022-0004. (Planning Div. / AH)
3. Provide a revised site plan that does not include outward swinging doors into the vehicular circulation areas located along the eastern façades of the new building additions, unless they are protected by bollards or other physical barriers.
4. Provide a revised landscape plan that includes one tree for every 30 lineal feet within the B2 buffer.
5. Provide a revised landscape plan that contains only trees included on the city's approved street tree list. Alternatively, the applicant may provide written confirmation from the city arborist that the trees proposed on the landscape plan, date stamped February 17, 2023, are acceptable. (Planning Div. / AH)
6. Submit the required plans, application form, fee, and other items needed for a complete site development permit application per the applicable review checklist. (Site Development Div. / KJ)
7. Retain a professional engineer to design and monitor the construction for any work governed by Beaverton Municipal Code 9.05.020, current standards in place per the City Engineering Design Manual and Standard Drawings, Beaverton Development Code (Ordinance 2050, 4010 +rev.), and the City Standard Agreement to Construct and Retain Design Professionals in Oregon. Construction completed under the DR2018-0162 land use approval will be subject to the Clean Water Services Design and Construction standards in place at the time (April 2017, Resolution and Ordinance 2017-05). Site modifications proposed in this land use approval are subject to the current standards in place per the Clean Water Services District Design and Construction Standards (Resolution and Ordinance 2019-22). (Site Development Div. / KJ)
8. Submit a completed and executed City Standard Agreement to Construct Improvements and Retain Design Professional(s) Registered in Oregon. After the site development permit is issued, the City Engineer and the Planning Director must approve all revisions utilizing the process set out in the Beaverton Development Code,



## Exhibit APP 2.1

- and the City Engineering Design Manual; however, any required land use action shall be final prior to City staff approval of the engineering plan revision and work commencing as revised. (Site Development Div. / KJ)
9. Have the applicant for the subject property guarantee all City-owned and maintained public improvements, grading, storm water management facilities, and driveway paving by submittal of a City-approved security. The security approval by the City consists of a review by the City Attorney for form and the City Engineer for amount, equivalent to 100 percent or more of estimated construction costs. (Site Development Div. / KJ)
  10. Submit to the City a copy of issued permits or other approvals needed from the Oregon Department of Transportation Rail Division for work within 500 feet of the rail crossing area. (Site Development Div. / KJ)
  11. Submit a geotechnical and if needed environmental report with the site development permit application for review and approval. The report shall include an assessment of the soil and any toxic contaminants, ground/surface water issues, any needed clean-up action, remediation methods, Oregon Department of Environmental Quality requirements, disposal regulations, and construction worker safety measures. It shall be prepared by a professional engineer or registered geologist and rules of the Oregon Department of Environmental Quality (DEQ). (Site Development Div. / KJ)
  12. Have obtained approvals needed from the Clean Water Services District for storm system connections as a part of the City's plan review process. These submittals will go to City for processing to Clean Water Services. (Site Development Div. / KJ)
  13. Submit a completed 1200-C Permit (DEQ/CWS/City Erosion Control Joint Permit) application to the City. The applicant shall use the standard plan format per requirements for sites 5 acres or larger adopted by DEQ and Clean Water Services.
  14. Provide construction plans and a drainage report demonstrating compliance with City surface water management requirements per City 2019 Engineering Design Manual, Resolution 4542, Section 530. Demonstrate compliance with CWS Resolution and Order 2019-22 for quantity control for conveyance capacity, hydromodification and quality treatment. Fee-in-lieu can be requested if development meets criteria set forth in City EDM Sections 190, table 530.1, and 530.1.A.4 and CWS Design & Construction Standards Section 4.03.7.a and 4.04.2.a. Construction completed under DR2018-0162 land use approval is subject to Clean Water Services Design and Construction standards in place at the time (April 2017, Resolution and Ordinance 2017-05). (Site Development Div. / KJ)
  15. Provide a drainage analysis of the subject site prepared by a professional engineer meeting the standards set by the City. The analysis shall identify all contributing drainage areas and plumbing systems for this project with the site development permit application. The analysis shall also delineate all areas for this project that are inundated during a 100-year storm event, including the safe overflow conveyance from proposed constructed stormwater management facilities. In addition, the analysis shall

## Exhibit APP 2.1

- delineate any mapped FEMA floodplains and flood ways. (Site Development Div. / KJ)
16. The site plans shall clearly show the 100-year flood limits on each plan that contains elevation information. The flood conveyance and storage of the project area at each 1-foot contour must be preserved or enhanced with cut/fill balance and a zero-rise certification by a registered professional engineer to the City of Beaverton standard. (Site Development Div. / KJ)
  17. Provide an engineering analysis of the grading and construction work proposed within the 100-year floodplain as necessary to allow for a public notice to be published in a local newspaper by the City for the proposed floodplain modifications. The applicant's engineer shall certify in writing that the project as designed will meet the requirements of City Code and Clean Water Services Design & Construction standards as they refer to the 100-year floodplain, prior to this notice being sent. The public notice and a 10-day appeal period shall occur after final approval of the site development permit plans by the City. (Site Development Div. / KJ)
  18. Submit a grading plan showing building pad elevation and minimum finished floor elevation (FFE). The 100 year/emergency overflow path of the stormwater management facility shall be shown on the plans. Grading shall direct stormwater to a conveyance system or existing natural drainage. (Site Development Div. / KJ)
  19. Pay any required storm water system development charges (storm water quality, quantity, hydromodification, and overall system conveyance) for the new impervious area proposed. (Site Development Div. / KJ)
  20. Submit an owner-executed, notarized, City/CWS standard private stormwater facilities maintenance agreement, with maintenance plan and all standard exhibits, ready for recording with Washington County Records. (Site Development Div. / KJ)
  21. Submit to the City a Stormwater Management Worksheet for the proposed project's net new impervious area proposed for any common areas and private streets prepared by the applicant's engineer, architect, or surveyor. (Site Development Div. / KJ)
  22. Provide plans for the placement of underground utility lines within the site, and for services to the proposed site. No overhead services shall remain on the site. If existing utility poles along existing street frontages must be moved to accommodate the proposed improvements, the affected lines must be either undergrounded or a fee in lieu of undergrounding paid per Section 60.65 of the Development Code. (Site Development Div. / KJ)
  23. Submit ODOT ADA curb ramp design checklist and standard detail DET1720 and DET1721 showing level of design detail for every public sidewalk ramp proposed with this development. Maximum designed ramp slope shall be 7.5%, maximum designed cross slope, flat landing or turning space shall be 1.5%. Two directional ADA ramps shall be provided at all corners of all intersections, regardless of curb type. See ODOT standard drawings RD754, RD155, RD756, RD757, RD758 and RD759 for ramp details. (Site Development Div. / KJ)

## Exhibit APP 2.1

### **B. Prior to building permit issuance, the applicant shall:**

24. Submit a complete site development permit and obtain the issuance of site development permit revision from the Site Development Division. (Site Development Div. / KJ)
25. Make provisions for installation of all mandated erosion control measures to achieve City inspector approval at least 24 hours prior to call for foundation footing form inspection from the Building Division. (Site Development Div. / KJ)
26. Have a professional architect, engineer, or surveyor submit plans and specifications to the City Engineer and City Building Official verifying that all at-risk elements of the new construction (in particular gate controllers, mechanisms, and electrical system) are either elevated or floodproofed as appropriate per City Code, FEMA requirements, IBC Appendix G (Flood-resistant Construction), and ASCE/SEI 24-05, and as determined by the City Floodplain Administrator and City Building Official. As the floodplain elevations change throughout the site, individual floodplain elevations will be identified on plans. (Site Development Div. / KJ)

### **C. Prior to final inspection and final occupancy permit, the applicant shall:**

27. Dedicate property along the site's frontage of SW 5th Avenue consistent with the applicant's submitted site plan (see applicant's civil drawing sheet C0.4) to achieve a half-street width of approximately 38.36' to accommodate the necessary roadway and sidewalk improvements along the three-lane collector. (BDC 40.03.1, and 60.55.10 and 30) (Transportation / KM)
28. Dedicate property along the site's frontage to SW Western Avenue consistent with the applicant's submitted site plan (see applicant's civil drawing sheet C0.4) to achieve a half-street width of 36' consistent with the approved plans for the Western Avenue CIP project (see city case file no. PTF2019-0003 et al). (BDC 40.03.1 and 60.55.10) (Transportation / KM)
29. Submit public water easement and dedication of right-of-way, executed and ready for recording when required, to the city. City will require approval of legal description and form prior to execution. (Site Development Div. /KJ)
30. Have the landscaping completely installed or provide for erosion control measures around any disturbed or exposed areas per Clean Water Services standards. (Site Development Div. / KJ)
31. Have substantially completed the site development improvements as determined by the City Engineer. (Site Development Div. / KJ)

## Exhibit APP 2.1

32. Have placed underground all affected, applicable existing overhead utilities and any new utility service lines within the project and along any existing street frontage as determined at permit issuance. (Site Development Div. / KJ)
33. Install or replace, to City specifications, all sidewalks which are missing, damaged, deteriorated, or removed by construction. (Site Development Div. / KJ)
34. Have obtained a Source Control Sewage Permit from the Clean Water Services District (CWS) and submitted a copy to the City Building Official if an Industrial Sewage permit is required, as determined by CWS. (Site Development Div. / KJ)
35. Have a professional architect, engineer, or surveyor submit a certification on Federal Emergency Management Agency (FEMA) standard form, to the City Building Official, verifying that the lowest finished floor is at least one foot above base flood elevation (BFE) 206.0 feet, NAVD-88 and higher or flood-proofed to one foot above the BFE. (Building / KM)

### **D. Prior to release of performance security, the applicant shall:**

36. Have completed the site development improvements and verify that the location and width of proposed rights of way and easements are adequate for the completed infrastructure, per adopted City standards. The project shall meet all outstanding conditions of approval as determined by the City. Additionally, the applicant and professional(s) of record shall have met all obligations under the City Standard Agreement to Construct Improvements and Retain Design Professional Registered in Oregon, as determined by the City Engineer. (Site Development Div. / KJ)
37. Submit any required easements, executed and ready for recording, to the City. City will require approval of legal description and form prior to execution. The applicant's engineer or surveyor shall verify all pre-existing and proposed easements are of sufficient width to meet City standards. (Site Development Div. / KJ)
38. Provide a post-construction cleaning, system maintenance, and any proprietary stormwater treatment system recharge/replacement servicing report per manufacturer's recommendations for the site's proprietary storm water treatment systems by a qualified maintenance provider as determined by the City Engineer. Additional service report will be required per maintenance schedule and until the maintenance and planting period is complete. (Site Development Div. / KJ)
39. A 2-year Maintenance Security will be required at 25 percent of the cost to construct City-owned and maintained public improvements, grading, storm water management facilities, and driveway paving. The security approval by the City consists of a review by the City Attorney for form and the City Engineer for amount. It will be released 2 years after project acceptance following the correction of any identified defects. (Site Development Div. / KJ)

## Exhibit APP 2.1

### Parking Determination (PD2022-0003)

#### **A. General Conditions, the applicant shall:**

1. Ensure the associated land use applications (DR2022-0008 and SDM2022-0004) have been approved. (Planning Div. / AH)

### Sidewalk Design Modification (SDM2022-0004)

#### **A. General Conditions, the applicant shall:**

1. Ensure the associated land use applications (DR2022-0008 and PD2022-0003) have been approved. (Planning Div. / AH)

Exhibit APP 2.1

Received Planning Division 02/17/2023



CITY OF BEAVERTON Community Development Department Planning Division 12725 SW Millikan Way PO Box 4755 Beaverton, OR. 97076 Tel: (503) 526-2420 Fax: (503) 526-2550 BeavertonOregon.gov

OFFICE USE ONLY FILE #: FILE NAME: TYPE: RECEIVED BY: FEE PAID: CHECK/CASH: SUBMITTED: LWI DESIG: COMP. PLAN: NAC:

DESIGN REVIEW TWO AND THREE APPLICATION

PLEASE SELECT THE SPECIFIC TYPE OF DESIGN REVIEW FROM THE FOLLOWING LIST: [X] DESIGN REVIEW TWO [ ] DESIGN REVIEW THREE

APPLICANT: [ ] Use mailing address for meeting notification. [X] Check box if Primary Contact

COMPANY: Scott Edwards Architecture ADDRESS: 2525 E Burnside St (CITY, STATE, ZIP) Portland, OR 97214 PHONE: 503 -266-3617 FAX: E-MAIL: peter@seallp.com SIGNATURE: Peter Grimm CONTACT: Peter Grimm (Original Signature Required)

APPLICANT'S REPRESENTATIVE: [ ] Check box if Primary Contact

COMPANY: ADDRESS: (CITY, STATE, ZIP) PHONE: FAX: E-MAIL: SIGNATURE: CONTACT: (Original Signature Required)

PROPERTY OWNER(S): [ ] Attach separate sheet if needed. [ ] Check box if Primary Contact

COMPANY: Bacchus Investors LLC and Bearcat Investment Property LLC ADDRESS: 2 Centerpointe Drive (CITY, STATE, ZIP) Lake Oswego, OR 97035 PHONE: 5033209825 FAX: E-MAIL: todd@macadamforbes.com SIGNATURE: Todd Collins CONTACT: Todd Collins

Note: A land use agent must be signed by the property owner(s) or by someone authorized by the property owner(s) to act as an agent on their behalf. If someone is signing as the agent of the property owner(s), that person must submit a written statement signed by the property owner(s), authorizing the person to sign the application.

PROPERTY INFORMATION (REQUIRED)

Table with 3 columns: ASSESSOR'S MAP & TAX LOT #, LOT SIZE, ZONING DISTRICT. Rows include 1S114CB00200 (4.87 acres, IND) and S114CB00300 (2.63 acres, IND).

AREA TO BE DEVELOPED (s.f.): 188,656 sf EXISTING USE OF SITE: Warehouse - Storage PROPOSED DEVELOPMENT ACTION: Manufacturing Daily product processing / distribution for ice cream



DESIGN REVIEW TWO AND THREE SUBMITTAL CHECKLIST

WRITTEN STATEMENT REQUIREMENTS

A. APPLICATION FORM. Provide one (1) completed application form with original signature(s).
Have you submitted for a permit from another division?

B. CHECKLIST. Provide one (1) completed copy of this five (5) page checklist.

C. WRITTEN STATEMENT. Submit three (3) copies of a detailed description of the proposed project including, but not limited to, the changes to the site, structure, landscaping, parking, and land use.

In the written statement, please include the following:

- Address all applicable provisions of Chapter 20 (Land Uses)
Address all applicable provisions of Chapter 60 (Special Regulations)
Address all Facilities Review Technical Criteria from Section 40.03 of the City's Development Code (ORD 2050).
Provide individual findings specifically addressing how and why the proposal satisfies each of the criterion within the appropriate Approval Criteria Section of Chapter 40 of the City's Development Code (ORD 2050), attached.
Provide the hours of operation, total number of employees, and maximum number of employees per shift. If more than one type of operation exists or is proposed for the project site, please specify the information requested above for each use.

D. FEES, as established by the City Council. Make checks payable to the City of Beaverton.

E. SITE ANALYSIS INFORMATION.

Proposed parking modification: 121,689 sf (37.4%) Existing building height: 23 ft
Proposed number of parking spaces: 70 Proposed building height: 25 ft
Proposed use: Manufacturing Existing building area: 61,050 sq. ft.
Parking requirement: Staff and Loading Proposed building modification: 5,917 sq. ft.
Existing parking area: 0 sq. ft. Existing landscaped area: 0 sq. ft.
Existing number of parking spaces: 0 Percentage of site: 0%
Proposed landscape modification: 139,262 sf
Percentage of site: 42.2%

F. CLEAN WATER SERVICES (CWS) DOCUMENTATION. Pursuant to Section 50.25.1.F of the City's Development Code requires that all development proposals provide written documentation from Clean Water Services (formerly Unified Sewerage Agency) stating that water quality will not be adversely affected by the subject proposal. Therefore, the City recommends that you contact CWS in order to obtain the required documentation. For more information, please contact Lindsey

## Exhibit APP 2.1

Obermiller, Environmental Plan Reviewer at 503-681-3653 or  
[ObermillerL@CleanWaterServices.org](mailto:ObermillerL@CleanWaterServices.org)

- G. PRE-APPLICATION CONFERENCE NOTES.** Provide a copy of the pre-application conference summary as required by the City's *Development Code Section 50.25.1.E*. The Pre-Application Conference must be held within the one (1) year prior to the submission date of the proposed project application.
- H. NEIGHBORHOOD REVIEW MEETING. (REQUIRED FOR TYPE 3 APPLICATIONS ONLY)**  
Provide the following information as required by the City's *Development Code Section 50.30* the Neighborhood Review Meeting must be held within the six (6) months prior to the submission date of the proposed project application.
- 1. A copy of the meeting notice mailed to surrounding property owners and the NAC Representative
  - 2. A copy of the mailing list used to mail out the meeting notice.
  - 3. A written statement representative of the on-site posting notice.
  - 4. Affidavits of mailing and posting
  - 5. Representative copies of written materials and plans presented at the Neighborhood Review Meeting.
  - 6. Meeting minutes that include date, time and location, as well as, oral and written comments received
  - 7. Meeting sign-in sheet that includes names and address of attendees.
  - 8. Documentation verifying that the meeting minutes and sign-in sheets have been provided to the NAC representative.
- I. OTHER REQUIREMENTS.** Provide documentation showing that the project proposed is permitted by, or satisfies the requirements of, other agencies and/or jurisdictions OR submit a schedule that details the forecasted submission and approval timelines for permits/applications to the respective agencies and/or jurisdictions.
- J. SCOPE OF REVIEW If filing the Design Review 3 application, please check one of the following:**
- I, as applicant or the applicant's representative, submit this application for Design Review 3 for the following reason:
- The proposal meets one or more Thresholds identified in Section 40.20.15.3.A (1 through 6) for **Design Review 3**. Therefore, materials submitted with this application respond to all applicable Design Guidelines (Sections 60.05.35 through 60.05.50 of the Development Code)
  - The proposal meets one or more Thresholds for **Design Review 2** but does not meet an applicable Design Standard. Therefore, materials submitted with this application respond to all applicable Design Standards except for the standard(s) not met where I have instead provided a response to the corresponding Design Guideline(s).
  - The proposal meets one or more Thresholds for **Design Review 2**, however, for the reasons identified in my attached narrative, I elect to file this application for Design Review 3 and have provided a response to all applicable Design Guidelines.



## Exhibit APP 2.1

### PLANS & GRAPHIC REQUIREMENTS

All plans, except architectural elevations, shall be presented at a minimum of 1" = 20' engineering scale and on a maximum sheet size of 24" x 36". Architectural elevations may be presented at an architectural scale. **A total of three (3) copies of each plan shall be submitted, unless otherwise noted. All plans shall be folded to fit a legal size file jacket.**

Each of the following plans and drawings shall be submitted on **separate sheets**. If the size of the project requires the use of match line sets, each set of match line sets must include a sheet (at a scale to fit a 24" x 36" sheet) depicting the entire site, including match lines, as a cover sheet.

#### ***Include all of the following information:***

- A. EXISTING CONDITIONS PLAN:**
1. North arrow, scale and date of plan.
  2. Vicinity map.
  3. The entire lot(s), including area and property lines dimensioned.
  4. Points of existing access, interior streets, driveways, and parking areas.
  5. Location of all existing buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, tot lots, and lighting.
  6. Existing right-of-way and improvements.
  7. Dimension from centerline to edge of existing right-of-way.
  8. Existing topographical information, showing 2 ft. contours.
  9. Surrounding development and conditions within 100 ft. of the property such as zoning, land uses, buildings, driveways, and trees.
  10. Location of existing public and private utilities, easements, and 100-year floodplain.
  11. Natural Resource Areas, Significant trees, and Historic trees, as established by the City of Beaverton's inventories.
  12. Sensitive areas, as defined by Clean Water Services (CWS) standards.
  13. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock outcroppings, and streams. *Wetlands must be professionally delineated.*
  14. Existing trees. Indicate genus, species and size. Dbh is measured at 54" above grade.
- B. DIMENSIONED SITE PLAN:**
1. North arrow, scale and date of plan.
  2. The entire lot(s), including area, property lines dimensioned and labeled "front," "side," and "rear."
  3. Points of access, interior streets, driveways, and parking areas.
  4. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot lots.
  5. Proposed right-of-way, dedications and improvements.
  6. Dimension from centerline to edge of proposed right-of-way.
  7. Dimensions of all improvements, including setbacks, parking spaces, driveways, and distance between buildings.
  8. Location of storm water quality/detention facilities.
  9. Boundaries of development phases, if applicable.
  10. Natural Resource Areas, Significant trees, and Historic trees, as established by the City of Beaverton's inventories.
  11. Sensitive areas, as defined by CWS standards.
  12. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock outcroppings, and streams. *Wetlands must be professionally delineated.*

## Exhibit APP 2.1

- C. GRADING PLAN:**
1. North arrow, scale and date of plan.
  2. The entire lot(s).
  3. Points of access, interior streets, driveways, and parking areas.
  4. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot lots.
  5. Proposed rights-of-way, dedications and improvements.
  6. Dimension from centerline to edge of proposed right-of-way.
  7. Existing and proposed topographical information, showing 2 ft. contours and appropriate spot elevations for features such as walls, retaining walls (top and bottom elevations), catch basins, stairs, sidewalks, and parking areas.
  8. Location of 100 year flood plain.
  9. Location of storm water quality/detention facilities.
  10. Boundaries of development phases, if applicable.
  11. Natural Resource Areas, Significant trees, and Historic trees, as established by the City of Beaverton's inventories.
  12. Sensitive areas, as defined by the CWS standards.
  13. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock outcroppings, and streams. *Wetlands must be professionally delineated.*
  14. Existing trees 6" dbh or larger. Indicate which trees are proposed to be saved and which are proposed to be removed.

- D. UTILITY PLAN:**
1. North arrow, scale and date of plan.
  2. The entire lot(s).
  3. Points of access, interior streets, driveways, and parking areas.
  4. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot lots.
  5. Proposed right-of-way, dedications and improvements.
  6. Proposed topographical information, showing 2 ft. contours.
  7. Location of 100 year flood plain.
  8. Location of existing and proposed public and private utilities, easements, surface water drainage patterns, and storm water quality/detention facility.
  9. Boundaries of development phases, if applicable.
  10. Natural Resource Areas, Significant trees, and Historic trees, as established by the City of Beaverton's inventories.
  11. Sensitive areas, as defined by the CWS standards.
  12. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock outcroppings, and streams. *Wetlands must be professionally delineated.*

- E. LANDSCAPE PLAN:**
1. North arrow, scale and date of plan.
  2. The entire lot(s).
  3. Points of access, interior streets, driveways, and parking areas.
  4. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot lots.
  5. Proposed right-of-way, dedications and improvements.
  6. Boundaries of development phases, if applicable.
  7. Natural Resource Areas, Significant trees, and Historic trees, as established by the City of Beaverton's inventories.
  8. Sensitive areas, as defined by the CWS standards.

- E. LANDSCAPE PLAN (CONTINUED):**

## Exhibit APP 2.1

- 9. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock outcroppings, and streams. *Wetlands must be professionally delineated.*
- 10. Existing trees 6" dbh or larger proposed to be saved. Include genus, species, and size.
- 11. The location and design of proposed landscaped areas, indicating all plant materials, including genus, species, common name, plant sizes, and spacing.
- 12. List of plant materials, including genus, species, common name, size, quantity, spacing and method of planting.
- 13. Other pertinent landscape features, including walls, retaining walls, berms, fences, and fountains.
- 14. Proposed location of light poles, bollards and other exterior illumination.
- 15. A note on the plan indicating that an irrigation system will be installed to maintain the landscape materials.

**F. LIGHTING PLAN:**

- 1. Location of all existing and proposed exterior lighting, including those mounted on poles, walls, bollards and the ground.
- 2. Type, style, height, and the number of fixtures per light.
- 3. Wattage per fixture and lamp type, such as sodium, mercury, and halide.
- 4. 8 ½" x 11" manufacturer's illustrations and specifications (cut sheets) of all proposed lighting poles and fixtures.
- 5. For all exterior lighting, indicate the area and pattern of illumination, via the use of an isogrid or isoline system, depicting the emitted ½ foot candlepower measurement.

**G. ARCHITECTURAL ELEVATIONS:** Provide drawings that depict the character of the proposed building(s) and structure(s) (these include buildings, retaining walls, refuse storage facilities, play structures, fences and the like). These drawing should include dimensions of the building(s) and structure(s) and indicate the materials, colors, and textures proposed for the structures.

**H. MATERIALS BOARD:** Provide **one (1) 8½"x11"** or **one (1) 8½"x14"** Materials Board that includes examples of all building materials, colors, and textures of exterior surfaces for building(s) and structure(s). *Materials Boards provided at a size other than what is indicated above will not be accepted.*

**I. DESCRIPTION OF MATERIALS AND FINISHES FORM:** Provide one completed copy of the Materials and Finishes Form with the application submittal.

**Note:** *Complete sets of plans reduced to 8 ½"x11" (11"x17" are not acceptable) will be required at the time the application is deemed complete.*

***I have provided all the items required by this five (5) page submittal checklist. I understand that any missing information, omissions or both may result in the application being deemed incomplete, which may lengthen the time required to process the application.***

Peter Grimm  
\_\_\_\_\_  
**Print Name**

  
\_\_\_\_\_  
**Signature**

Digitally signed by Peter Grimm  
Date: 2022.09.14 10:38:47 -07'00'

503-226-3617  
\_\_\_\_\_  
**Telephone Number**

09/21/2022  
\_\_\_\_\_  
**Date**

**CITY OF BEAVERTON** **Exhibit A** **ARP 2.1**



Community Development  
Department  
Planning Division  
12725 SW Millikan Way  
PO Box 4755  
Beaverton, OR. 97076  
Tel: (503) 526-2420  
Fax: (503) 526-2550  
[BeavertonOregon.gov](http://BeavertonOregon.gov)

**Project Name:** \_\_\_\_\_  
**DR #:** \_\_\_\_\_  
**Date Received:** \_\_\_\_\_  
**Date Approved:** \_\_\_\_\_  
**Approved By:** \_\_\_\_\_

**DESCRIPTION OF MATERIALS AND FINISHES LIST**

*The following Information is required on this form at the time of submission for Design Review approval to the Board of Design Review. Information provided should be specific.*

**BUILDINGS** – List individual structure variations, if any.

**OFFICE USE ONLY**  
**APPROVED REVISIONS**

**EXTERIOR SIDING**

**Materials (species, grade, type, and pattern)** \_\_\_\_\_  
Existing building is constructed of tilt up concrete panels, with a painted finish.  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Paint or Stain colors (i.e. Olympic, Brown Stain #17)** \_\_\_\_\_  
See Drawings for finish materials.  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**EXTERIOR TRIM**

**Materials** \_\_\_\_\_  
See Drawings for finish materials.  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Paint or Stain colors** \_\_\_\_\_  
See Drawings for finish materials.  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**ROOF**

**Materials** \_\_\_\_\_  
See Drawings for finish materials.  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**DOORS**

**Materials** \_\_\_\_\_  
See Drawings for finish materials.  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Paint or Stain colors** \_\_\_\_\_  
See Drawings for finish materials.  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**WINDOWS**

**Frame type and color** \_\_\_\_\_  
See Drawings for finish materials.  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**FLASHING & DOWNSPOUTS**

\_\_\_\_\_  
Coping and all other flashing for metal panels pre-painted to match (dark gray)  
Coping at concrete walls pre-painted (dark gray)  
Downspout leaders and heads at proposed additions (black)  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Exhibit APP 2.1**  
**CITY OF BEAVERTON**

Community Development  
Department  
Planning Division  
12725 SW Millikan Way  
PO Box 4755  
Beaverton, OR. 97076  
Tel: (503) 526-2420  
Fax: (503) 526-2550  
[BeavertonOregon.gov](http://BeavertonOregon.gov)



<b>Project Name:</b>	_____
<b>DR #:</b>	_____
<b>Date Received:</b>	_____
<b>Date Approved:</b>	_____
<b>Approved By:</b>	_____

**OFFICE USE ONLY**  
**APPROVED REVISIONS**

**EXTERIOR STAIRS / BALCONIES / RAILINGS**

**Materials** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Paint or Stain colors** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GARAGES / CARPORTS**

**Materials** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Paint or Stain colors** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**OTHER**

**TRASH ENCLOSURES**

**Materials** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Paint or Stain colors** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Location** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**FENCING**

**Materials** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Paint or Stain colors** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Location** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**LIGHTING FIXTURES** Fixture type, # lamps, wattage, height, color, etc See Landscape and Lighting Drawings.













**Exhibit APP 2.1  
CITY OF BEAVERTON**



Community Development  
Department  
Planning Division  
12725 SW Millikan Way  
PO Box 4755  
Beaverton, OR. 97076  
Tel: (503) 526-2420  
Fax: (503) 526-2550  
[BeavertonOregon.gov](http://BeavertonOregon.gov)

<b>Project Name:</b> _____
<b>DR #:</b> _____
<b>Date Received:</b> _____
<b>Date Approved:</b> _____
<b>Approved By:</b> _____

**MAILBOXES**

Materials, colors, location N/A

---



---



---

**OFFICE USE ONLY  
APPROVED REVISIONS**

---



---



---

**PEDESTRIAN PATHWAYS**

Materials, colors, location \_\_\_\_\_

---



---

See Landscape Drawings for hardscape locations and materials.

---



---



---

**RECREATIONAL AMENITIES**  
(i.e. benches, barbeques pit, tot lots, sport courts, etc)

Description of item(s) including materials and colors \_\_\_\_\_

---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---

**SITE ANALYSIS DATA**

<b>Item</b>	<b>Lot Coverage in Square Feet (sf)</b>	<b>Lot Coverage in %</b>
<b>BUILDING AREA</b>	66,967 <b>sf</b>	20.4 %
<b>PARKING AND CIRCULATION</b>	121,689 <b>sf</b>	37.4 %
<b>LANDSCAPING / OPEN SPACE</b>	139,262 <b>sf</b>	42.2 %
<b>TOTAL SITE AREA</b>	327,918 <b>sf</b>	100.0 %



**CITY OF BEAVERTON**  
**EXHIBIT APP 2.1**

Community Development  
Department  
Planning Division  
12725 SW Millikan Way  
PO Box 4755  
Beaverton, OR. 97076  
Tel: (503) 526-2420  
Fax: (503) 526-2550  
[www.BeavertonOregon.gov](http://www.BeavertonOregon.gov)

<b>Project Name:</b>	_____
<b>DR #:</b>	_____
<b>Date Received:</b>	_____
<b>Date Approved:</b>	_____
<b>Approved By:</b>	_____

**LANDSCAPE MATERIALS**

On a separate sheet of paper list in chart form the proposed types of landscape materials (trees, shrubs, groundcover). Include in the chart genus, species, common name, quantity, size, spacing and method of planting for each type of plant.

<u>Landscape Chart Example</u>				
<u>Common Name</u> - genus, species	<u>Quantity</u>	<u>Size</u>	<u>Spacing</u>	<u>Method of Planting</u>
<b><u>Trees</u></b>				
Incense Cedar - Calocedrus decurrens	12	6ft	20ft oc	B&B, branches to ground
<b><u>Shrubs</u></b>				
Compact Oregon Grape - Mahonia a. 'Compacta'	24	2 gallon	3 ft oc	Full Plants
<b><u>Ground Cover</u></b>				
Coast Strawberry - Fragaria chiloensis	48	4" pots	18" oc	Full Plants

**Designate method of irrigation**

**Designate street trees for each street abutting the property.**

See attached Landscape Plans for onsite and street tree, shrub and groundcover location and species, and irrigation coverage.

**ACKNOWLEDGEMENT**

*I have provided all the items required by this four (4) page description of materials and finishes form. I understand that any missing information, omissions or both may result in the application being deemed incomplete, which may lengthen the time required to process the application.*

Peter Grimm  
\_\_\_\_\_  
**Print Name**  
  
\_\_\_\_\_  
**Signature**

503-226-3617  
\_\_\_\_\_  
**Telephone Number**  
09/21/2022  
\_\_\_\_\_  
**Date**



## DESIGN REVIEW TWO APPROVAL CRITERIA

**PURSUANT TO SECTION 50.25.1.B OF THE DEVELOPMENT CODE, A WRITTEN STATEMENT ADDRESSING THE APPROVAL CRITERIA FOR AN APPLICATION MUST BE SUBMITTED IN ORDER FOR AN APPLICATION TO BE DEEMED COMPLETE. STATEMENTS SUCH AS “NOT APPLICABLE” OR “THE PROPOSAL WILL COMPLY WITH APPLICABLE DEVELOPMENT REGULATIONS” ARE NOT SATISFACTORY. THE WRITTEN STATEMENT MUST ADDRESS EACH CRITERION AND MUST SPECIFY IN DETAIL HOW EACH WILL BE COMPLIED WITH.**

An applicant for Design Review Two shall address compliance with all of the following Approval Criteria as specified in 40.20.15.2.C.1-6 of the Development Code:

- 1. The proposal satisfies the threshold requirements for a Design Review Two application.
- 2. All City application fees related to the application under consideration by the decision making authority have been submitted.
- 3. The proposal contains all applicable application submittal requirements as specified in Section 50.25.1 of the Development Code.
- 4. the proposal is consistent with all applicable provisions of Sections 60.05.15 through 60.05.30 (Design Standards).
- 5. For additions to or modifications of existing development, the proposal is consistent with all applicable provisions of Sections 60.05.15 through 60.05.30 (Design Standards) or can demonstrate that the additions or modifications are moving towards compliance of specific Design Standards if any of the following conditions exist:
  - a. A physical obstacle such as topography or natural feature exists and prevents the full implementation of the applicable standard; or
  - b. The location of existing structural improvements prevent the full implementation of the applicable standard; or
  - c. The location of the existing structure to be modified is more than 300 feet from a public street.

If the above listed conditions are found to exist and it is not feasible to locate a proposed addition in such a way that the addition abuts a street, then all applicable design standards except the following must be met:

  - d. If in a Multiple-Use District, building location, entrances and orientation along streets, and parking lot limitations along streets (Standards 60.05.15.6 and 60.05.20.8).
  - e. If in a Multiple-Use or Commercial District, ground floor elevation window requirements (Standard 60.05.15.8).
- 6. Applications and documents related to the request, which will require further City approval, shall be submitted to the City in the proper sequence.



Received  
Planning Division  
02/17/2023



**Exhibit APP 2.1**  
**CITY OF BEAVERTON**  
Community Development  
Department  
Planning Division  
12725 SW Millikan Way  
PO Box 4755  
Beaverton, OR. 97076  
Tel: (503) 526-2420  
Fax: (503) 526-2550  
[BeavertonOregon.gov](http://BeavertonOregon.gov)

**OFFICE USE ONLY**  
FILE #: \_\_\_\_\_  
FILE NAME: \_\_\_\_\_  
TYPE: \_\_\_\_\_ RECEIVED BY: \_\_\_\_\_  
FEE PAID: \_\_\_\_\_ CHECK/CASH: \_\_\_\_\_  
SUBMITTED: \_\_\_\_\_ LWI DESIG: \_\_\_\_\_  
LAND USE DESIG: \_\_\_\_\_ NAC: \_\_\_\_\_

**PARKING DETERMINATION APPLICATION**

PLEASE SELECT THE SPECIFIC TYPE OF PARKING DETERMINATION FROM THE FOLLOWING LIST:  
 TYPE ONE USE OF EXCESS PARKING  
 TYPE TWO PARKING REQUIREMENT DETERMINATION  
 TYPE TWO SHARED PARKING

**APPLICANT:**  Use mailing address for meeting notification.  Check box if Primary Contact

COMPANY: Scott Edwards Architecture  
ADDRESS: 2525 E Burnside Street  
(CITY, STATE, ZIP) Portland, OR 97214  
PHONE: 503 -266-3617 FAX: \_\_\_\_\_ E-MAIL: peter@seallp.com  
SIGNATURE: Digitally signed by Peter Grimm Date: 2022.09.07 18:19:34 -0700  
(Original Signature Required) CONTACT: Peter Grimm

**APPLICANT'S REPRESENTATIVE:**  Check box if Primary Contact

COMPANY: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
(CITY, STATE, ZIP) \_\_\_\_\_  
PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_ E-MAIL: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
(Original Signature Required)

**PROPERTY OWNER(S):**  Attach separate sheet if needed.  Check box if Primary Contact

COMPANY: Bacchus Investors LLC and Bearcat Investment Property LLC  
ADDRESS: 2 Centerpointe Drive  
(CITY, STATE, ZIP) Lake Oswego, OR 97035  
PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_ E-MAIL: todd@macadamforbes.com  
SIGNATURE: CONTACT: Todd Collins

**Note: A land use application must be signed by the property owner(s) or by someone authorized by the property owner(s) to act as an agent on their behalf. If someone is signing as the agent of the property owner(s), that person must submit a written statement signed by the property owner(s), authorizing the person to sign the application.**

**PROPERTY INFORMATION (REQUIRED)**

SITE ADDRESS: 5051 SW Western Ave. AREA TO BE DEVELOPED (s.f.): 182,000 s.f.  
EXISTING USE OF SITE: Warehouse - Storage  
ASSESSOR'S MAP & TAX LOT # LOT SIZE ZONING DISTRICT  
1S114CB00200 4.87 acres IND  
S114CB00300 2.63 acres IND  
PROPOSED DEVELOPMENT ACTION: Manufacturing  
Dairy product processing / distribution for ice cream

**PARKING DETERMINATION SUBMITTAL CHECKLIST**

**WRITTEN STATEMENT REQUIREMENTS- REQUIRED FOR ALL PARKING DETERMINATION APPLICATIONS**

- A. APPLICATION FORM.** Provide **one (1) completed** application form with original signature(s).
- B. CHECKLIST.** Provide **one (1) completed** copy of this three (3) page checklist.
- C. WRITTEN STATEMENT.** Submit **three (3) copies** of a detailed description of the determination request. In the written statement, please:
  - Address all applicable provisions of Chapter 20 (Land Uses) relating to the type of land use for which a parking determination is requested.
  - Address all applicable provisions of Section 60.30 (Off-Street Parking).
  - Provide individual findings specifically addressing how and why the proposal satisfies each of the approval criterions specified in Section 40.55.15.1.C.1-6 (Parking Requirement Determination), Section 40.55.15.2.C.1-10 (Shared Parking), and Section 40.55.15.3.C.1-6 (Use of Excess Parking), of the City's *Development Code* (ORD 2050), attached.
  - Provide information on the total gross floor area of all on-site buildings and structures, the total number of employees, the hours of operation, maximum number of employees per shift, and the potential customer volume. If more than one type of operation exists or is proposed for the project site, please specify the information requested above for each use.
- D. FEES,** as established by the City Council. Make checks payable to the City of Beaverton.
- E. SITE ANALYSIS INFORMATION:**

<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Proposed parking modification: <u>100,668</u> sq. ft.</li> <li>Proposed number of parking spaces: <u>70</u></li> <li>Proposed use: <u>Manufacturing</u></li> <li>Parking requirement: <u>Staff and Loading</u></li> </ul>	<ul style="list-style-type: none"> <li>Proposed building height: <u>23</u> ft</li> <li>Existing building area: <u>61,050</u> sq. ft.</li> <li>Proposed building modification: <u>5,917</u> sq. ft.</li> </ul>
<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Existing parking area: <u>0</u> sq. ft.</li> <li>Existing number of parking spaces: <u>0</u></li> <li>Existing building height: <u>23</u> ft.</li> </ul>	<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Existing landscaped area: <u>0</u> sq. ft.</li> <li>Percentage of site: <u>0</u> %</li> <li>Proposed landscape modification: <u>81,000</u> sq. ft.</li> <li>Percentage of site: <u>25</u> %</li> </ul>
- F. PRE-APPLICATION CONFERENCE NOTES. (REQUIRED FOR TYPE 2, 3, & 4 APPLICATIONS ONLY)**  
Provide a copy of the pre-application conference summary as required by the City's *Development Code Section 50.25.1.E*. The Pre-Application Conference must be held within the one (1) year prior to the submission date of the proposed project application.
- G. CLEAN WATER SERVICES (CWS) DOCUMENTATION.** Pursuant to Section 50.25.1.F of the City's *Development Code* requires that all development proposals provide written documentation from Clean Water Services (formerly Unified Sewerage Agency) stating that water quality will not be adversely affected by the subject proposal. Therefore, the City recommends that you contact CWS in order to obtain the required documentation. For more information, please contact the Environmental Plan Review Project Manager

## Exhibit APP 2.1

### PLANS & GRAPHIC REQUIREMENTS –

#### REQUIRED FOR ALL PARKING DETERMINATION APPLICATIONS

All plans, except architectural elevations, shall be presented at a minimum of 1" = 20' engineering scale and on a maximum sheet size of 24" x 36". Architectural elevations may be presented at an architectural scale. **A total of three (3) copies of each plan shall be submitted, unless otherwise noted. All plans shall be folded to fit a legal size file jacket.**

Each of the following plans and drawings shall be submitted on **separate sheets**. If the size of the project requires the use of match line sets, each set of match line sets must include a sheet (at a scale to fit a 24" x 36" sheet) depicting the entire site, including match lines, as a cover sheet.

#### **Include all of the following information:**

- B. DIMENSIONED SITE PLAN (Required only if site specific):**
- 1. North arrow, scale and date of plan.
  - 2. The entire lot(s), including area, property lines dimensioned and labeled "front," "side," and "rear."
  - 3. Points of access, interior streets, driveways, and parking areas.
  - 4. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot lots.  
Demonstration, if applicable, of the location of shared off-street on an abutting property within 200 feet of the use that the shared parking is intended to serve.
  - 5. Proposed right-of-way, dedications and improvements.
  - 6. Dimension from centerline to edge of proposed right-of-way.
  - 7. Dimensions of all improvements, including setbacks, parking spaces, driveways, and distance between buildings.
  - 8. Location of storm water quality/detention facilities.
  - 9. Boundaries of development phases, if applicable.
  - 10. Location, quantities, size (diameter breast height), genus and species of Significant Trees and Groves, Historic Trees, Trees within a Significant Natural Resource Area, Landscape Trees, Street Trees, and Community Trees, as applicable.
  - 11. Sensitive areas, as defined by CWS standards.
  - 12. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock outcroppings, and streams. *Wetlands must be professionally delineated.*

**Note: Complete sets of plans reduced to 8 ½"x11" (11"x17" are not acceptable) will be required at the time the application is deemed complete.**

***I have provided all the items required by this three (3) page submittal checklist. I understand that any missing information, omissions or both may result in the application being deemed incomplete, which may lengthen the time required to process the application.***

Peter Grimm


Print Name

503-226-3617

Telephone Number

09/07/2022

Date

 Digitally signed by Peter Grimm  
Date: 2022.09.07 18:26:40 -07'00'

Signature



## PARKING REQUIREMENT DETERMINATION APPROVAL CRITERIA

**PER 50.25.1.B, A WRITTEN STATEMENT ADDRESSING THE APPROVAL CRITERIA FOR AN APPLICATION MUST BE SUBMITTED IN ORDER FOR AN APPLICATION TO BE DEEMED COMPLETE. STATEMENTS SUCH AS “NOT APPLICABLE” OR “THE PROPOSAL WILL COMPLY WITH APPLICABLE DEVELOPMENT REGULATIONS” ARE NOT SATISFACTORY. THE WRITTEN STATEMENT MUST ADDRESS EACH CRITERION AND MUST SPECIFY IN DETAIL HOW EACH WILL BE COMPLIED WITH.**

An applicant for a Parking Requirement Determination shall address compliance with all of the following Approval Criteria as specified in 40.55.15.1.C.1-6 of the Development Code:

- 1. The proposal satisfies the threshold requirements for a Parking Determination application.
- 2. All City application fees related to the application under consideration by the decision making authority have been submitted.
- 3. The determination is consistent with Title 2 of Metro’s Urban Growth Management Functional Plan.
- 4. The determination will not create adverse impacts, taking into account the total gross floor area, number of employees, potential customer volume, and the hours of operation of the use.
- 5. The proposal contains all applicable application submittal requirements as specified in Section 50.25.1 of the Development Code.
- 6. Applications and documents related to the request, which will require further City approval, shall be submitted to the City in the proper sequence.

Received  
Planning Division  
02/17/2023

Exhibit APP 2.1

OFFICE USE ONLY

CITY OF BEAVERTON

Community Development  
Department  
Planning Division  
12725 SW Millikan Way  
PO Box 4755  
Beaverton, OR. 97076  
Tel: (503) 526-2420  
Fax: (503) 526-2550  
[BeavertonOregon.gov](http://BeavertonOregon.gov)



FILE #: \_\_\_\_\_  
FILE NAME: \_\_\_\_\_  
TYPE: \_\_\_\_\_ RECEIVED BY: \_\_\_\_\_  
FEE PAID: \_\_\_\_\_ CHECK/CASH: \_\_\_\_\_  
SUBMITTED: \_\_\_\_\_ LWI DESIG: \_\_\_\_\_  
LAND USE DESIG: \_\_\_\_\_ NAC: \_\_\_\_\_

**SIDEWALK DESIGN MODIFICATION APPLICATION**

**APPLICANT:**  Use mailing address for meeting notification.  Check box if Primary Contact

COMPANY: Scott Edwards Architecture, LLP

ADDRESS: 2525 East Burnside Street

(CITY, STATE, ZIP) Portland, OR, 97214

PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

SIGNATURE:  CONTACT: Peter Grimm

(Original Signature Required)

**APPLICANT'S REPRESENTATIVE:**  Check box if Primary Contact

COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

(CITY, STATE, ZIP) \_\_\_\_\_

PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ CONTACT: \_\_\_\_\_

(Original Signature Required)

**PROPERTY OWNER(S):**  Attach separate sheet if needed.  Check box if Primary Contact

COMPANY: Bacchus Investors, LLC

ADDRESS: 2 Centerpointe Drive

(CITY, STATE, ZIP) Lake Oswego, OR 97035

PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_ E-MAIL: todd@macadamforbes.com

SIGNATURE: Todd Collins CONTACT: Todd Collins

**Note: A land use application must be signed by the property owner(s) or by someone authorized by the property owner(s) to act as an agent on their behalf. If someone is signing as the agent of the property owner(s), that person must submit a written statement signed by the property owner(s), authorizing the person to sign the application.**

**PROPERTY INFORMATION (REQUIRED)**

SITE ADDRESS: \_\_\_\_\_

AREA TO BE DEVELOPED (s.f.): 182,000 SF

ASSESSOR'S MAP & TAX LOT #    LOT SIZE    ZONING DISTRICT  
1S114CB00200    4.87 acres    IND

EXISTING USE OF SITE: Warehouse / Storage

S114CB00300    2.63 acres    IND

PROPOSED DEVELOPMENT ACTION: \_\_\_\_\_

Food Processing, Storage and Distribution

PRE-APPLICATION DATE: 03/16/2022



**SIDEWALK DESIGN MODIFICATION SUBMITTAL CHECKLIST**

**WRITTEN STATEMENT REQUIREMENTS- REQUIRED FOR ALL SIDEWALK DESIGN MODIFICATION APPLICATIONS**

- A. APPLICATION FORM.** Provide **one (1) completed** application form with original signature(s).
- B. CHECKLIST.** Provide **one (1) completed** copy of this three (3) page checklist.
- C. WRITTEN STATEMENT.** Submit **three (3) copies** of a detailed description of the determination request. In the written statement, please:
  - Address all applicable provisions of Chapter 60 (Special Requirements) relating to the sidewalk modification requested.
  - Provide individual findings specifically addressing how and why the proposal satisfies each of the approval criterions specified in Section 40.58 (Sidewalk Design Modification), of the City's *Development Code* (ORD 2050), attached.
  - Provide information related to how the proposed Sidewalk Design Modification will continue to meet the technical standards of the Engineering Design Manual.
- D. FEES,** as established by the City Council. Make checks payable to the City of Beaverton.
- E. SITE ANALYSIS INFORMATION:**
  - Proposed lineal distance of Sidewalk Design Modification.
- F. CLEAN WATER SERVICES (CWS) DOCUMENTATION.** Pursuant to Section 50.25.1.F of the City's *Development Code* requires that all development proposals provide written documentation from Clean Water Services (formerly Unified Sewerage Agency) stating that water quality will not be adversely affected by the subject proposal. Therefore, the City recommends that you contact CWS in order to obtain the required documentation. For more information, please contact Amber Wierck, Environmental Plan Review Project Manager, at (503) 681-3653 or [WierckA@CleanWaterServices.org](mailto:WierckA@CleanWaterServices.org)

**PLANS & GRAPHIC REQUIREMENTS –**  
**REQUIRED FOR ALL SIDEWALK DESIGN MODIFICATION APPLICATIONS**

All plans, except architectural elevations, shall be presented at a minimum of 1" = 20' engineering scale and on a maximum sheet size of 24" x 36". Architectural elevations may be presented at an architectural scale. **A total of three (3) copies of each plan shall be submitted, unless otherwise noted. All plans shall be folded to fit a legal size file jacket.**

Each of the following plans and drawings shall be submitted on **separate sheets**. If the size of the project requires the use of match line sets, each set of match line sets must include a sheet (at a scale to fit a 24" x 36" sheet) depicting the entire site, including match lines, as a cover sheet.



## Exhibit APP 2.1

**Include all of the following information:**

- A. DIMENSIONED SITE PLAN (Required only if site specific):**
- 1. North arrow, scale and date of plan.
  - 2. Points of access, interior streets, driveways, and parking areas.
  - 3. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot lots.  
Demonstration, if applicable, of the location of shared off-street on an abutting property within 200 feet of the use that the shared parking is intended to serve.
  - 4. Proposed right-of-way, dedications and improvements.
  - 5. Dimension from centerline to edge of proposed right-of-way.
  - 6. Dimensions of all improvements, including setbacks, parking spaces, driveways, and distance between buildings.
  - 7. Location of storm water quality/detention facilities.
  - 8. Boundaries of development phases, if applicable.
  - 9. Location, quantities, size (diameter breast height), genus and species of Significant Trees and Groves, Historic Trees, Trees within a Significant Natural Resource Area, Landscape Trees, Street Trees, and Community Trees, as applicable.
  - 10. Sensitive areas, as defined by CWS standards.
  - 11. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock outcroppings, and streams. *Wetlands must be professionally delineated.*

**Note: Complete sets of plans reduced to 8 ½"x11" (11"x17" are not acceptable) will be required at the time the application is deemed complete.**

***I have provided all the items required by this three (3) page submittal checklist. I understand that any missing information, omissions or both may result in the application being deemed incomplete, which may lengthen the time required to process the application.***

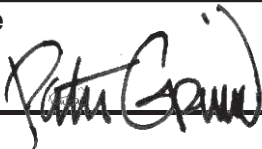
Peter Grimm

Print Name

503-226-3617

Telephone Number

Signature



Digitally signed by Peter Grimm  
Date: 2022.09.14 11:26:53 -0700

09/21/2022

Date

**SIDEWALK DESIGN MODIFICATION APPROVAL CRITERIA**

**PER 50.25.1.B, A WRITTEN STATEMENT ADDRESSING THE APPROVAL CRITERIA FOR AN APPLICATION MUST BE SUBMITTED IN ORDER FOR AN APPLICATION TO BE DEEMED COMPLETE. STATEMENTS SUCH AS “NOT APPLICABLE” OR “THE PROPOSAL WILL COMPLY WITH APPLICABLE DEVELOPMENT REGULATIONS” ARE NOT SATISFACTORY. THE WRITTEN STATEMENT MUST ADDRESS EACH CRITERION AND MUST SPECIFY IN DETAIL HOW EACH WILL BE COMPLIED WITH.**

An applicant for a Sidewalk Design Modification shall address compliance with all of the following Approval Criteria as specified in 40.58.15.C.1-6 of the Development Code:

<input checked="" type="checkbox"/>	1. The proposal satisfies the threshold requirements for a Sidewalk Design Modification application.
<input checked="" type="checkbox"/>	2. All City application fees related to the application under consideration by the decision making authority have been submitted.
<input type="checkbox"/>	3. One or more of the following criteria are satisfied: <ul style="list-style-type: none"> <li>a. That there exist local topographic conditions, which would result in any of the following: <ul style="list-style-type: none"> <li>i. A sidewalk that is located above or below the top surface of a finished curb.</li> <li>ii. A situation in which construction of the Engineering Design Manual standard street cross-section would require a steep slope or retaining wall that would prevent vehicular access to the adjoining property.</li> </ul> </li> </ul>
<input type="checkbox"/>	<ul style="list-style-type: none"> <li>b. That there exist local physical conditions such as: <ul style="list-style-type: none"> <li>i. An existing structure prevents the construction of a standard sidewalk.</li> <li>ii. An existing utility device prevents the construction of a standard sidewalk.</li> <li>iii. Rock outcroppings prevent the construction of a standard sidewalk without blasting.</li> </ul> </li> </ul>
<input type="checkbox"/>	c. That there exist environmental conditions such as a Significant Natural Resource Area, Jurisdictional Wetland, Clean Water Services Water Quality Sensitive Area, Clean Water Services required Vegetative Corridor, or Significant Tree Grove.
<input checked="" type="checkbox"/>	d. That additional right of way is required to construct the Engineering Design Manual standard and the adjoining property is not controlled by the applicant.
<input checked="" type="checkbox"/>	4. The proposal complies with provisions of Section 60.55.25 Street and Bicycle and Pedestrian Connection Requirements and 60.55.30 Minimum Street Widths.
<input checked="" type="checkbox"/>	5. Applications and documents related to the request, which will require further City approval, have been submitted to the City in the proper sequence.
<input checked="" type="checkbox"/>	6. The proposed Sidewalk Design Modification provides safe and efficient pedestrian circulation in the site vicinity.



**Received**  
**Planning Division**  
 02/17/2023

**Exhibit APP 2.1**

EXHIBIT DR02



**Scott  
 Edwards  
 Architecture**

## LAND USE REVIEW NARRATIVE

January 05, 2023

### **Type II Design Review** **Type II Parking Determination** **Type I Sidewalk Design Modification**

<b>Contents:</b>	<b>Page</b>
<b>I. Introduction</b>	
General Information	2
Project Summary	3
Previous Land Use Reviews	4
Proposed Land Use Reviews	4-7
<b>II. Applications</b>	
BDC Section 40.20- Type II Design Review	8-12
BDC Section 40.55- Type II Parking Determination	13-15
BDC Section 40.58- Type I Sidewalk Design Modification	16-19
<b>III. Beaverton Development Code</b>	
BDC Chapter 20- Land Uses	
Section 20.15: Employment/Industrial Land Use Districts	20-23
BDC Chapter 40- Applications	
Section 40.03 Facilities Review Committee	24-27
BDC Chapter 60- Special Requirements	
Section 60.05 Design Review Design Principles	28
Section 60.05.15 Building Design and Orientation Standards	28-34
Section 60.05.20 Circulation and Parking Design Standards	35-41
Section 60.05.25 Landscape, Open Space, and Natural Areas	42-47
Section 60.05.30 Lighting Design Standards	47-49
Section 60.10 Floodplain Regulations	49
Section 60.25 Off-Street Loading Requirements	49-51
Section 60.30 Off-Street Parking	51-54
Section 60.55 Transportation Facilities	54-62
Section 60.65 Utility Undergrounding	62-64
<b>IV. Conclusion</b>	65

# I. Introduction

## General Information

<b>Applicant:</b>	Scott Edwards Architecture, LLP 2525 East Burnside St Portland, OR 97214 Attn: Peter Grimm Ph: 503-226-3617 Email: peter@seallp.com
<b>Owner Representative:</b>	Bacchus Investors 2 Centerpointe Drive #500 Lake Oswego, OR 97035 Attn: Todd Collins Ph: 503-320-9825 Email: todd@macadamforbes.com
<b>Address:</b>	5051 SW Western Ave., Beaverton, OR 97005
<b>Tax Lots:</b>	Map 1S114CB / Tax Lot 200 Map 1S114CB / Tax Lot 300
<b>Base Zone:</b>	IND – Industrial
<b>Overlay:</b>	NA
<b>Comp Plan:</b>	Industrial
<b>Comp Plan Overlay:</b>	NA
<b>Conservation District:</b>	NA
<b>Site Area:</b>	7.53 acres
<b>Existing Building:</b>	Use: Warehouse Storage Area: 61,057 sf
<b>Proposed Building:</b>	Use: Manufacturing / Storage Area: (E) 61,057 + (N) 5,910 = 66,967 sf
<b>Lots Abutting:</b>	IND
<b>Lots Across Street:</b>	OI and CS
<b>Street Classification:</b>	SW Western Avenue = Arterial SW 5th Street = Collector
<b>Design Review:</b>	Yes (Type II)
<b>Neighborhood Contact:</b>	NA

## Project Summary:

The subject property is a 7.5ac parcel located at the SW corner of SW 5<sup>th</sup> St and SW Western Avenue. The existing parcel contains a 61,057SF single story tilt concrete warehouse built in the 1960s that has previously been used as a manufacturing and storage facility for a variety of Owners. In 2018, the prior Owner demolished an existing 6,000sf +/- office building adjacent to the warehouse to make room for a planned office and retail addition on the north end of the property. That proposal required several land use reviews, including a **Type III Conditional Use** to allow the Office and Retail uses in an Industrial zone, a **Type II Design Review** for exterior modifications and additions, and a **Type I Sidewalk Design Modification** to allow for the City's planned ROW widths along a portion of SW 5<sup>th</sup> Street. These were all reviewed and approved in 2019, and a substantial portion of the work began construction also in 2019.

*Note: these previous Land Use Reviews are listed below for reference.*

In 2019, work on the project was stopped due to the Covid pandemic, and the property was subsequently put up for sale. The property was subsequently purchased in 2021, and the new Owner is proposing to lease the facility back to the previous seller with a greatly reduced proposed onsite program. The intent is to use the warehouse for the identical food processing and storage use identified and approved in 2019, but not to build the previous planned retail and office building addition. Parking counts would also be reduced to allow for the required number for only the manufacturing use, as there will no longer be any retail or office trips generated onsite, other than some minor accessory office use associated with the warehouse.

As part of the proposed use of the facility, the applicant held several preliminary meetings with City Planning, Site Development, and Traffic bureaus to identify the best path forward for the new proposed uses onsite. At this point both the Site Development and Building permits had expired, yet much of the sitework had already been completed and inspected, including most of the underground utility work and mass grading. On this basis it was decided by the working group that the most efficient way to finish the sitework started under the original SD permit issued in 2019 was to reopen the original permit and allow all site related work approved and vested under that permit to be completed, inspected and closed out. Since work on the building had reached a logical stopping point in 2019 and the total scope would be substantially reduced in any case, it was decided that a new building permit would be required, along with the associated land use reviews referenced below.

At the City's recommendation, a pre app conference (PA2022-0007) was held in March 2022. Several *possible* new Land Use Reviews were identified at that meeting, including a **Type II Design Review** and an identical but refreshed **Type I Sidewalk Design Modification** to align with the new **Design Review**. Additionally, in researching the minimum parking ratio requirements for the intended use, the applicant noted that they currently operate an identical facility in another jurisdiction with a much lower staff ratio than the Beaverton parking ratio requirement would suggest for a manufacturing use category. The applicant asked City staff if there was a mechanism for requesting a reduced parking ratio, and City staff suggested several options, including applying for a **Type II Parking Determination**.

The following *Written Statement* and response to all applicable *Approval Criteria* are submitted for staff review in determining whether these three concurrent land use review proposals will be approved. We believe that all proposed project design elements meet the threshold for approval as set forth in the applicable City of Beaverton Development Code Section as submitted, and as outlined below in **Sections II and III**.

## Proposed Onsite Operations / Staff Size:

Hours of Operation:	M-F 7am – 5:00pm (Single shift for employees, no public access)
Total number of Employees:	18
Maximum Number of Employees per Shift:	18

## Previous Land Use Reviews

### ADJ2018-0008, CU2018-0021, CU2018-0222, DR2018-0162, SDM2019-0007

The Previously approved Design Review (DR2018-0162) proposed to renovate and expand an existing warehouse and manufacturing building for the use as a food production facility. The associated landscape, parking and site modifications were also approved under this Design Review. The Conditional Use proposed to add an office and Retail use onsite. The Sidewalk Design Modification was required to meet the City's proposed future ROW improvement widths along a portion of SW 5<sup>th</sup> Street.

## Proposed Land Use Reviews

The applicant is proposing three concurrent Land Use Reviews for the property. The first is a *Type II Design Review* for proposed modifications to the existing building exterior, and a 6,000sf (+/-) addition as described below. The second is a *Type II Parking Determination* to review a proposed reduction in the total number of required parking spaces based on the proposed use and peak parking demand for the facility. The third is a *Type I Sidewalk Design Modification* to allow for a portion of the 5<sup>th</sup> Street frontage to be constructed to a non-standard condition in order to accommodate planned City of Beaverton ROW and travel lane expansion (part of a separate Capital Improvement Permit, and not part of this proposal). This narrative submittal is in response to the incomplete items noted for the *Type II Design Review, Type II Parking Determination, and Type I Sidewalk Design Modifications* applications, submitted in October 2022.

### DR2022-0098:

This *Type II Design Review* is a new application for proposed exterior changes to the site and building. Primary changes to the building include:

1. New storefront openings, entry canopy and pedestrian plaza at the existing Warehouse building's northwest corner to support a new main entry point for the proposed manufacturing and storage use.
2. A proposed addition at the south end of the existing building for a covered truck pull through, tank access vestibule, and process water equipment building.
3. Demo and repair/replacement of some existing overhead canopies and loading docks on the building's west side.
4. New overhead doors, dock seals and levelers at the building's west side.
5. Minor changes to the previously approved Site Development permitted scope of work. Changes primarily affect onsite pedestrian circulation, and vehicular parking layout.

### PD2022-0003:

This *Type II Parking Determination* is a new request for a Parking Requirement Determination for a proposed reduction in the total number of required onsite parking spaces based on the use of the facility. That application describes the proposal in more detail and is being submitted concurrently with this application.

**SDM2022-0004:**

This *Type I Sidewalk Design Modification* is a new request to construct a portion of the SW 5<sup>th</sup> street frontage to a non-standard condition in response to meeting the dimensional constraints associated with the adjacent Capital Improvement Project (CIP #3328) along SW Western Ave and a portion of SW 5<sup>th</sup> St.

**Type II Parking Determination Parking Reduction Methodology:**

With regard to the proposed *Type II Parking Determination*, some additional context is needed to understand the background and parking reduction methodology utilized in determining an appropriate number of parking spaces needed to support the proposed program onsite. Background and methodology are as follows:

The applicant’s proposed use of the facility is for a mix of food processing and interior cold storage uses to support a dairy product processing, storage and distribution facility. The finished food products will be primarily fluid milk and cheese. The building area breakdown is as follows:

Food Processing (Manuf):	35,488sf
<u>Storage:</u>	<u>31,479sf</u>
Total Area:	<b>66, 967sf</b>

Per Table 60.30.10.05.A, the closest approximation to the food processing use is manufacturing, which has a ratio of 1.6/1000sf, and the storage use requires 0.3/1000sf per parking space. City staff initially advised the applicant that this blended ratio would be considered acceptable as the basis of design for total number of required parking spaces. As such, the design team calculated the required number of spaces to be:

Manuf: (35,488 * 1.6/1000)	57 spaces
<u>Storage: (31,479 * 0.3/1000)</u>	<u>9 spaces</u>
Total:	<b>66 spaces</b>

Upon further review, the City indicated that although they recognize the unique nature of the proposed building usage, they would need to consider the entire facility to be classified as manufacturing use as the development code does not recognize blended uses within a single building. This approach would result in a required parking count of: **107 spaces.**

The applicant indicated this is far more parking than needed to support their peak full time employee parking demand- could they provide a lower count closer to the blended ratio. City staff suggested the applicant apply for the **Type II Parking Determination** which is designed to look at site and use specific requests such as this, and supply current daily staff parking data for a comparable facility for staff to analyze when considering approval of this request. The applicant indicated they Own and operate several facilities, one of which (Rock Ridge) is located in Aurora OR and processes milk into similar finished dairy products using similar staff density. On this basis, staff requested the following information:

1. *Please provide parking counts for the existing Rock Ridge facility that is cited in the parking determination memo. If you have additional examples beyond the Rock Ridge facility, please cite those in your narrative information as well. The parking counts for these similar facilities are critical to staff’s analysis.*

The applicant thus engaged with Todd Mobley of Lancaster Mobley traffic engineers, who was able to work with the applicant to pull fresh parking data from the nearly identical facility located at Rock Ridge.

Per the data provided as well as standard industry metrics, the traffic report thus shows 3 possible alternate solutions to the required number of parking spaces. Method #1 uses the original COB blended count. Method #2 uses numbers generated from the industry standard ITE manual for manufacturing use. Method #3 uses actual fresh data gathered in the field from another comparable facility to directly address the request from staff. Results are summarized below, please also see attached **Exhibit A** (Mobley Parking Study Addendum) for a much more detailed look at these numbers and the methodology used.

Method #1 (COB Blended):	66 spaces.
Method #2 (ITE Ratio):	62 spaces
Method #3 (Comparable Facility Data):	42 spaces

Per the above, all three methodologies do in fact result in parking demand lower than the proposed count of 70 for the proposed Beaverton facility. If we focus on Method #3 which utilizes observed and site adjusted parking data, we can see that the peak demand would require 42 spaces for the Beaverton facility using a very conservative methodology based on a comparable nearby facility that has been in operation for many years. This analysis scales the Rock Ridge facility appropriately for the Beaverton site, adds the cold storage element proposed, and hypothetically assumes multiple shift changes which are not anticipated but do take into account a “worst case parking demand” scenario at the Beaverton location as a good faith effort to demonstrate that the proposed parking area will be more than adequate to support the intended use.

Additionally, staff requested that this proposal include the following discussion to assist in making the final determination:

2. *Please update the narrative discussion to explain how the proposed milk exchange facility is substantially different from manufacturing, as defined in BDC Chapter 90.*

The manufacturing use category in BDC Chapter 90 is defined as “*The assembly, fabrication, processing, and/or packing and storage of products for wholesale distribution or other similar uses*”. As this definition covers a broad range of potential uses and staffing requirements, let’s look more closely at how both the Rock Ridge and proposed Beaverton facilities operate.

In contrast to a typical manufacturing use that can be very labor intensive, such as a product assembly line, both the Rock Ridge and proposed Beaverton facilities rely on heavily automated, equipment intensive operations. As shown on the raw data for Rock Ridge, the processing facility only requires 8-10 employees to operate +/- 25,000sf of equipment and materials during peak production. Much of the interior space is dedicated to piping, valve assemblies, space conditioning equipment, automated palletizers, raw material transfer gear and packaging material dry storage.

If we add in the large (31,479sf) cold storage area proposed for the Beaverton facility, we see that this requires an even lower employee density to operate, as it’s mostly refrigerated and full of finished goods that are shipped offsite daily by delivery trucks. Staff associated with the storage area are thus mostly moving palettes via forklift from cold storage directly into delivery vehicles at the loading dock. Drivers who are transitory and not based at this facility then ship the goods offsite. Taken as a whole then, the equipment and storage intensive use accounts for the much lower than expected staff density and associated parking demand.

A careful review of the operations described above shows how and why this proposed facility has such a lower employee density than expected for a traditional production “assembly line” type manufacturing use, and thus we see why it is substantially different from the manufacturing use as defined in BDC Chapter 90.

Taking into account the above factors as well as the findings contained in the traffic memo and addendum, we believe that the lowered parking ratio request is an appropriate site response to the expected employee and visitor peak parking loads over the lifetime of the facility. As demonstrated by the data and use pattern described herein, the proposed 70 space parking lot should be more than adequate to provide parking for even the most conservative projections for combined staff and visitor parking needs for the foreseeable future, and we hope the City will support this request for the reduced parking count based on the discussion outlined above and the *Approval Criteria* outlined below in the response to Section 40.55.15.

## II. Applications

### Section 40.20: Design Review

#### 40.20.05. Purpose.

*The purpose of Design Review is to promote Beaverton's commitment to the community's appearance, quality pedestrian environment, and aesthetic quality. It is intended that monotonous, drab, unsightly, dreary and inharmonious development will be discouraged. Design Review is also intended to conserve the City's natural amenities and visual character by ensuring that proposals are properly related to their sites and to their surroundings by encouraging compatible and complementary development. To achieve this purpose, the Design Review process is divided into two major components; Design Standards and Design Guidelines. Both standards and guidelines implement Design Principles, which are more general statements that guide development of the built environment. The Design Standards are intended to provide a "safe harbor" approach to designing a project. Depending on the design thresholds, designing a project to the standards would result in an administrative review process. However, the applicant may elect to bypass design review under the Design Standards and go straight to Design Review under the Design Guidelines, where review is subject to a public hearing at the applicant's option.*

#### 40.20.10. Applicability.

1. *The scope of Design Review shall be limited to the exterior of buildings, structures, and other development and to the site on which the buildings, structures, and other development are located.*
2. *Considering the thresholds for the Design Review Compliance Letter, Design Review Two, or Design Review Three applications and unless exempted by Section 40.20.10.3. (Design Review) approval shall be required for the following:*
  - A. *All uses listed as Conditional Uses in the RMB and RMC zoning districts.*
  - B. *All uses listed as Permitted and Conditional Uses in the RMA and MR Residential zoning districts, except those that are exempt, per Section 40.20.10.3, and except those subject to Single-Detached and Middle Housing Design Review in the RMA district, per Section 40.21.10.*
  - C. *All uses listed as Permitted and Conditional Uses in all Commercial, Industrial, and Multiple-Use zoning districts.*
  - D. *Site grading.*
3. *Design Review approval shall not be required for the following:*
  - A. *Single-detached dwellings and middle housing in the RMA, RMB, and RMC zoning districts, which are subject to Single-Detached and Middle Housing Design Review, per Section 40.21.10. Also, other uses listed as Permitted Uses in the RMC and RMB zoning districts.*
  - B. *Residential accessory structures in any Residential or Commercial zoning district.*
  - C. *Existing single-detached dwellings in the MR zoning district and in Commercial, Industrial, and Multiple-Use zoning districts.*
  - D. *Maintenance of a building, structure, or site in a manner that is consistent with previous approvals.*
  - E. *Painting of any building in any zoning district.*
  - F. *Wireless communication facilities.*
  - G. *Food Cart Pods.*
  - H. *Uses, activities, and structures located on a private parking lot and approved pursuant to the Open Air Beaverton program.*



4. *Design review approval through one of the procedures noted in Section 40.20.15. will be required for all new development where applicable. The applicable design standards or guidelines will serve as approval criteria depending on the procedure. Existing developments, and proposed additions, demolitions and redevelopments associated with them, will be treated according to the following principles:*
- A. *Development constructed or approved prior to December 15, 2004 is not subject to Design Review standards and guidelines, and is considered fully conforming to the approvals issued at the time the development was approved by the City. Existing developments constructed prior to December 15, 2004, are not considered nonconforming if they do not meet design standards. If existing development is structurally damaged or destroyed by casualty, replacement shall occur as follows:*
    - 1. *If structural damage or destruction is less than or equal to fifty percent (50%) of the existing gross floor area of the existing development, the area of damage or destruction can be replaced as legally existed on the site before the casualty loss.*
    - 2. *If structural damage or destruction is more than fifty percent (50%) of the existing gross floor area of the existing development, the area of damage or destruction must meet the provisions of this Code in every regard unless otherwise authorized by the provisions of this Code.*
  - B. *Proposed new free-standing building(s) within an existing development will be subject to all applicable design standards.*
  - C. *Proposed redevelopment of existing structures and project site area is subject to all applicable design standards or guidelines to the extent where redevelopment of existing building or site area is proposed. Only that portion of existing building or site area that is proposed for redevelopment is subject to design review standards or guidelines as determined applicable.*
5. *Design Review approval is required for all applicable new and existing developments. The City recognizes, however, that meeting minimum Floor Area Ratio (FAR) in an early phase of a multi-phased development on a large site may be difficult. The City also recognizes that creating high quality pedestrian environments along public streets is a priority. In recognition of these and other issues, the following options are available.*

#### **40.20.15. Application.**

*There are three (3) Design Review applications which are as follows: Design Review Compliance Letter, Design Review Two, and Design Review Three.*

##### **1. Design Review Compliance Letter.**

**Response:** *Not Applicable to this proposal.*

##### **2. Design Review Two.**

- A. **Threshold.** *An application for Design Review Two shall be required when an application is subject to applicable design standards and one or more of the following thresholds describe the proposal:*
  - 1. *New construction of up to and including 50,000 gross square feet of non-residential floor area where the development does not abut any Residential District.*
  - 2. *New construction of up to and including 30,000 gross square feet of non-residential floor area where the development abuts or is located within any Residential District*
  - 3. *New construction of multi-dwellings in any zone where multi-dwellings are a Permitted or Conditional Use.*

4. *New construction of duplexes, triplexes, quadplexes, or townhouses in the MR zone or in any Commercial or Multiple Use zone where such housing types are a Permitted or Conditional Use.*
5. *Reconstruction of single-detached residential dwellings in Multiple Use zoning districts where reconstruction of existing single-detached dwellings is a Permitted Use.*
6. *Building additions in Residential, Commercial, Industrial, or Multiple Use zones less than 30,000 gross square feet of floor area that do not qualify for consideration under the Thresholds for Design Review Compliance Letter.*
7. *Any change in excess of 15 percent of the square footage of on-site landscaping or pedestrian circulation area with the exception for an increase in landscape art of up to 25 percent.*
8. *Any new or change to existing on-site vehicular parking, maneuvering, and circulation area which adds paving.*
9. *New parks in non-residential zoning districts.*
10. *New construction of non-habitable buildings or construction of a permanent structure, not considered a building in commercial, industrial, multiple use zones, or for approved Conditional Uses in residential zones, which has a footprint greater than 1,000 square feet and up to 10,000 square feet in size and is a use permitted within the underlying zoning district.*

**Response:** See response to threshold requirements below in Section 40.20.15.2.C.1.

- B. Procedure Type.** *The Type 2 procedure, as described in Section 50.40. of this Code, shall apply to an application for Design Review Two. The decision making authority is the Director.*

**Response:** Applicable to this proposal. See response to Approval Criteria requirements below in Section 40.20.15.2.C.

- C. Approval Criteria.** *In order to approve a Design Review Two application, the decision making authority shall make findings of fact based on evidence provided by the applicant demonstrating that all the following criteria are satisfied:*

1. *The proposal satisfies the threshold requirements for a Design Review Two application.*
  - A. *Threshold. An application for Design Review Two shall be required when an application is subject to applicable design standards and one or more of the following thresholds describe the proposal:*
    1. *New construction of up to and including 50,000 gross square feet of non-residential floor area where the development does not abut any Residential District.*
    2. *Any change in excess of 15 percent of the square footage of on-site landscaping or pedestrian circulation area with the exception for an increase in landscape art of up to 25 percent.*
    3. *Any new or change to existing on-site vehicular parking, maneuvering, and circulation area which adds paving.*

**Response:** This proposal includes elements described in all 3 of the above referenced sections. Proposal includes 5,910SF of proposed new building addition that does not abut a residential zone (1). Proposal also includes substantial changes to onsite parking layout, location, pedestrian connections and landscaping (2,3). Thus the threshold is met.

2. *All City application fees related to the application under consideration by the decision making authority have been submitted.*

**Response:** City review fee for the Type II Design Review was made upon submission of the Land Use Review packet in July 2022. Thus the criteria is met.

3. *The proposal contains all applicable application submittal requirements as specified in Section 50.25.1. of the Development Code.*

**Response:** Per the Design Review Two Checklist, the following required items have all been submitted and/or revised per the completeness letter received on August 16, 2022:

- A. Copy of Signed Application Form
- B. Required Checklist (including additional Site Info)
- C. Project Summary and Description
- D. Proposed Uses, Onsite Operations and Hours
- E. Written Statement addressing applicable provisions of Chapter 20 and Chapter 60 (herein).
- F. Response to approval criteria listed in Chapter 40 (herein)
- G. Response to Facilities Review Technical Criteria listed in Section 40.03.
- H. Service Provider Letters for Water, CWS and TVF&R.
- I. Copy of Pre App Conference notes
- J. Wetland delineation report and Army COE and DEQ wetland fill permit.
- K. *Type I Sidewalk Design Modification* submittal package.
- L. Revised Architectural, Civil and Landscape plans and elevations per list of incomplete items on August 16<sup>th</sup> letter.
- M. Additional Architectural perspective views requested.
- N. Revised Photometric Lighting Plans.

4. *The proposal is consistent with all applicable provisions of Sections 60.05.15. through 60.05.30. (Design Standards).*

**Response:** *This proposal has addressed all applicable provisions of Sections 60.05.15 through 60.05.30, as described more fully below in this narrative. See detailed responses to each section under the corresponding Section heading below.*

5. *For additions to or modifications of existing development, the proposal is consistent with all applicable provisions of Sections 60.05.15 through 60.05.30 (Design Standards) or can demonstrate that the proposed additions or modifications are moving towards compliance with specific Design Standards if any of the following conditions exist:*

- A. *A physical obstacle such as topography or natural feature exists and prevents the full implementation of the applicable standard; or*
- B. *The location of existing structural improvements prevent the full implementation of the applicable standard; or*
- C. *The location of the existing structure to be modified is more than 300 feet from a public street.*

**Response:** *This proposal has addressed all applicable provisions of Sections 60.05.15 through 60.05.30, as described more fully below in this narrative. All applicable standards*

*have been met, with the exception of the partial sidewalk frontage modification as discussed under the **Sidewalk Design Modification** application, submitted for review concurrently with this application. That proposal seeks the most feasible solution to bring the project closer into compliance given the topographic and ROW capital improvement project constraints.*

6. *Applications and documents related to the request, which will require further City approval, shall be submitted to the City in the proper sequence.*

**Response:** This resubmittal is a response to the completeness letter received by the City on August 16, 2022. All required items for this land use review were submitted as part of the original land use review package, and in the appropriate order.

**3. Design Review Three**

**Response:** *Not Applicable to this proposal.*

## Section 40.55: Parking Determination

### 40.55.05. Purpose.

*The purpose of a Parking Determination is to establish required number of parking spaces for uses which do not have a parking ratio requirement listed in the Development Code. The Parking Determination application is established for determining the required number of off-street parking spaces in advance of, or concurrent with, applying for approval of an application, development, permit, or other action. This Section is carried out by the approval criteria listed herein.*

### 40.55.10. Applicability.

*A Parking Determination may be requested in writing to establish a required off-street parking ratio or specific number of off-street parking spaces for a use or uses not specifically listed in Section 60.30. (Off-Street Parking) of this Code, to share required parking spaces, or to determine the existence of excess required parking.*

### 40.55.15. Application.

*There are three (3) Parking Determination applications which are as follows: Parking Requirement Determination, Shared Parking, and Use of Excess Parking.*

#### 1. **Parking Requirement Determination.**

**A. Threshold.** *An application for Parking Requirement Determination shall be required when the following threshold applies:*

*1. A request that the Director establish, in writing, an off-street parking ratio or requirement for a use not listed or substantially similar to a use listed in Section 60.30. (Off-Street Parking) of this Code.*

**B. Procedure Type.** *The Type 2 procedure, as described in Section 50.40. of this Code, shall apply to an application for Parking Requirement Determination. The decision making authority is the Director.*

**C. Approval Criteria.** *In order to approve a Parking Requirement Determination application, the decision making authority shall make findings of fact based on evidence provided by the applicant demonstrating that all the following criteria are satisfied:*

*1. The proposal satisfies the threshold requirements for a Parking Requirement Determination application.*

**B. Threshold.** *An application for Parking Requirement Determination shall be required when the following threshold applies:*

*4. A request that the Director establish, in writing, an off-street parking ratio or requirement for a use not listed or substantially similar to a use listed in Section 60.30. (Off-Street Parking) of this Code.*

**Response:** In consultation with City planning staff, the applicant was advised that due to the unique nature of the proposed use and actual observed parking demand relative to standard City parking ratios, this proposal would meet the threshold for the Type II Parking Determination land use review. Thus the threshold is met.

- All City application fees related to the application under consideration by the decision making authority have been submitted.*

**Response:** City review fee for the Type II Parking Determination was \$1,050. Payment was made upon submission of the Land Use Review packet in July 2022. Thus the criteria is met.

- The determination is consistent with Title 4 of Metro's Regional Transportation Functional Plan.*

**Response:** Title 4 of Metro's Regional Transportation Functional Plan is focused on providing Cities and Counties with regional parking management strategies and guidelines. The overarching goal for Title 4 is to provide a balanced approach for new development with respect to building new parking capacity. Table 3.08-3 with Title 4 establishes minimum and maximum parking ratios, upon which the City of Beaverton's IND zone ratios are based. Title 4 emphasizes that parking minimums shall not be exceeded, but it does allow for lower than stated minimums. Indeed, for sites that are well served by transit, have a mix of uses, and support for alternate modes of transportation, Title 4 encourages development to provide blended parking and lower ratios overall.

This project is proposing to provide all 3. The site has an existing bus stop on the corner of 5<sup>th</sup> and Western that provides high capacity peak rush hour service, onsite short and long term bicycle parking and strong pedestrian connections, and a blended land efficient parking ratio based on actual staff and visitor parking loads supported by real time data from a comparable facility. Thus this criteria is met.

- The determination will not create adverse impacts, taking into account the total gross floor area, number of employees, potential customer volume, and the hours of operation of the use.*

**Response:** Based on the points outlined above in the project narrative and the attached parking load study provided by Lancaster Mobley, this project is proposing to provide an efficient number of parking spaces, calibrated to the projected actual loads expected onsite during the lifetime of this facility. By reducing the minimum number of onsite spaces provided below the stated tabular minimums, the net effect on the surrounding neighborhood will be lower traffic volumes to the site, lowered heat island effect, less traffic queuing at the nearby intersections, and more room on the arterials for truck traffic to move material and finished goods into and out of the industrial zone. Taking all that into account, this proposal will not generate any adverse impacts and thus the criteria is met.

- The proposal contains all applicable application submittal requirements as specified in Section 50.25.1. of the Development Code.*

**Response:** This submittal is a response to the completeness letter received by the City on August 16, 2022. All required items for this land use review were submitted as part of the original land use review package, excepting the following new items submitted for review and inclusion into the original package for review:

- Updated written project narrative, outlining in more detail the rationale for proposing a lower parking ratio.
  - Response to approval criteria outlined in Section 40.55.15.C (above).
  - Parking Memo Addendum containing additional parking data and updated analysis.
6. *Applications and documents related to the request, which will require further City approval, shall be submitted to the City in the proper sequence.*

**Response:** As stated above, this submittal is a response to the completeness letter received by the City on August 16, 2022. All required items for this land use review were submitted as part of the original land use review package, and in the appropriate order.

**D. Submission Requirements.** *An application for a Parking Requirement Determination shall be made by the owner of the subject property, or the owner's authorized agent, on a form provided by the Director and shall be filed with the Director. The Parking Requirement Determination application shall be accompanied by the information required by the application form, and by Section 50.25. (Application Completeness), and any other information identified through a Pre-Application Conference.*

**Response:** This application is made by the Applicant on behalf of the property Ownership entity, and is being submitted in accordance with City of Beaverton development review requirements. See attached land use review application and graphic materials as part of the application submission Exhibits.

**E. Conditions of Approval.** *The decision making authority may impose conditions on the approval of a Parking Requirement Determination application to ensure compliance with the approval criteria.*

**F. Appeal of Decision.** *Refer to Section 50.65.*

**G. Expiration of a Decision.** *Refer to Section 50.90.*

**H. Extension of a Decision.** *Previous approval of Parking Requirement Determination application shall not be extended.*

## Section 40.58: Sidewalk Design Modification

### 40.58.05. Purpose.

*The purpose of the Sidewalk Design Modification application is to provide a mechanism whereby the City's street design standards relating to the locations and dimensions of sidewalks or required street landscaping can be modified to address existing conditions and constraints as a specific application. For purposes of this section, sidewalk ramps constructed with or without contiguous sidewalk panels leading to and away from the ramp shall be considered sidewalks. This section is implemented by the approval criteria listed herein.*

### 40.58.10. Applicability.

*The Sidewalk Design Modification application shall be applicable to all streets in the City.*

### 40.58.15. Application.

*There is a single Sidewalk Design Modification application which is subject to the following requirements.*

- A. Threshold.** *An application for Sidewalk Design Modification shall be required when one of the following thresholds applies:*
1. *The sidewalk width, planter strip width, or both minimum standards specified in the Engineering Design Manual are proposed to be modified.*

**Response:** This application requests a modification from the minimum standards in the *Engineering Design Manual* for both the sidewalk and planting strip width along a portion of SW 5th Street, which will be reviewed and processed in accordance with Section 40.58. Thus the application meets the threshold requirements for review.

As background and as part of a planned *Capital Improvement Project (CIP Project #3328)* the City of Beaverton has engineered a number of right-of-way improvements along SW Western Avenue which also wrap the northeast corner of the property terminating approximately 65'-6" from the intersection on SW 5th Street. A portion of these improvements have already been completed under the CIP contract (not part of this proposal). As the applicant does not control the requirements within the CIP scope, the proposed modification to the sidewalk design which was approved under the prior land use review SDM2019-0007 is being resubmitted for review with the same design and context within the larger ROW improvement framework.

The existing curb line is required to connect to the new City of Beaverton engineered conditions and to be modified to allow a new bicycle lane also required by City engineering. Existing topographic and City proposed right-of-way frontage improvements along SW 5<sup>th</sup> Street will require a modification from standard Collector Street improvements and details for a limited extent (279'-4 ½ ") of the overall 582'-9" property frontage. Proposed modification requests a 10'-0" curb-tight sidewalk with street trees versus the standard 7'-6" planter and 6'-0" wide sidewalk standard in order to meet the curblines as required by the ROW improvement section. All remaining frontage improvements along SW 5<sup>th</sup> St (primarily west of the proposed curb cut / apron) are proposed to meet the ROW standards as described in the *City of Beaverton Engineering Design Manual*. See attached **Civil Plans C1-C6** for additional details.

2. *The dimensions or locations of street tree wells specified in the Engineering Design Manual are*



*proposed to be modified.*

**Response:** No modifications to dimensions or locations to street tree wells as specified in the *City of Beaverton Engineering Design Manual* are proposed as part of this application. Thus this section does not apply.

**B. Procedure Type.** *The Type 1 procedure, as described in Section 50.35. of this Code, shall apply to an application for Sidewalk Design Modification. The decision-making authority is the Director.*

**C. Approval Criteria.** *In order to approve a Sidewalk Design Modification application, the decision-making authority shall make findings of fact based on evidence provided by the applicant demonstrating that the following criteria are satisfied:*

1. *The proposal satisfies the threshold requirements for a Sidewalk Design Modification application.*

**Response:** This proposal satisfies the threshold requirements for the Sidewalk Design Modification application as described in **Section 40.20.15.A.1** above.

2. *All City application fees related to the application under consideration by the decision-making authority have been submitted.*

**Response:** The applicant has included a check for all required fees for this *Type I Sidewalk Design Modification* application. Thus the requirements of this section are met.

3. *One or more of the following criteria are satisfied:*

- a. *That there exist local topographic conditions, which would result in any of the following:*
  - i. *A sidewalk that is located above or below the top surface of a finished curb.*
  - ii. *A situation in which construction of the Engineering Design Manual standard street cross section would require a steep slope or retaining wall that would prevent vehicular access to the adjoining property.*
- b. *That there exist local physical conditions such as:*
  - i. *An existing structure prevents the construction of a standard sidewalk.*
  - ii. *An existing utility device prevents the construction of a standard sidewalk.*
  - iii. *Rock outcroppings prevent the construction of a standard sidewalk without blasting.*
- c. *That there exist environmental conditions such as a Significant Natural Resource Area, Jurisdictional Wetland, Clean Water Services Water Quality Sensitive Area, Clean Water Services required Vegetative Corridor, or Significant Tree Grove.*
- d. *That additional right of way is required to construct the Engineering Design Manual standard and the adjoining property is not controlled by the applicant.*

**Response:** This proposal is submitted in response to two constraints on the property which necessitate a modification to sidewalk and landscape strip widths along a portion of SW 5<sup>th</sup> Street to the north of the property. The first constraint is that in connection with a planned Capital Improvement Project (**CIP#3328**) the City of Beaverton has engineered a number of right of way vehicular, pedestrian and bicycle improvements along SW Western Ave and wrapping around the NE corner along a portion of SW 5<sup>th</sup>

Street (approx. 65'-6" from the intersection). These were approved and partially constructed in 2019 and continuing to the present. The required travel lanes for both vehicular and bicycle traffic require the remaining pedestrian connection to bend toward the south toward the site in order for the curb line to match and merge at the NE intersection. This affects approximately 279' of the total 583' frontage along SW 5<sup>th</sup> Street. All remaining ROW frontage improvements along SW 5<sup>th</sup> St (primarily west of the proposed vehicular curb cut / apron) are proposed to meet the standards as described in the *City of Beaverton Engineering Design Manual*. Required widths and sidewalk geometry and sections are shown on the attached **Civil Plans (Sheets C0-C7.2)**.

The second constraint is topographic. In order to meet the requirements of the CIP curb widths, the modified sidewalk has to traverse a section of ROW that has a significant grade change between the ROW and the lot line (approximately 4'-6' along that section). As a result the sidewalk section requires a retaining wall inboard of the sidewalk to maintain stable grades on both sides. Although this does not impact the public sidewalk section, it does impact the landscaped buffer required on the north side of the property between the IND and GC zones. This is submitted as context when reviewing the site plan, and is shown more fully on the attached **Civil, Landscape and Architectural Site Plans (A1-A6, L1-L4, C0-C7.2)**.

4. *The proposal complies with provisions of Section 60.55.25. (Street and Bicycle and Pedestrian Connection Requirements) and 60.55.30 (Minimum Street Widths).*

**Response:** This proposal has addressed and complied with all applicable provisions of BDC Sections 60.55.25 and 60.55.30. Please refer to the corresponding sections in this narrative for a detailed response to each section.

5. *Applications and documents related to the request, which will require further City approval, have been submitted to the City in the proper sequence.*

**Response:** This project has concurrently submitted for (3) land use reviews, including a **Type II Design Review** for proposed modifications and additions to the existing building, a **Type II Parking Determination** to request a reduction in total required parking spaces, and this **Type I Sidewalk Design Modification**. These applications have been submitted in their entirety and in the proper sequence, thus this proposal meets the requirements of this section.

6. *The proposed Sidewalk Design Modification provides safe and efficient pedestrian circulation in the site vicinity.*

**Response:** This proposal includes safe and efficient screened and buffered pedestrian circulation both in the ROW, as well as onsite at all vehicular drive aisle crossings and connections to the right of way. These improvements are described in more detail in the corresponding narrative sections **60.05.20** and **60.05.25** in the associated **Type II Design Review** narrative response. The proposed modifications to a portion of the sidewalk widths along SW 5<sup>th</sup> Street do not decrease pedestrian safety or efficiency, thus the requirements of this section are met.

**D. Submission Requirements.** *An application for a Sidewalk Design Modification shall be made by the owner of the subject property, or the owner's authorized agent, on a form provided by the Director and shall be filed with the Director. The Sidewalk Design Modification application shall be accompanied by the information required by the application form, and by Section 50.25. (Application Completeness), and any other information identified through a Pre-Application Conference.*

**Response:** This application is made by the Owner's authorized agent for this project, and includes all required information as described in Section 50.25.

### III. City of Beaverton Development Code

#### Chapter 20 - Land Uses

##### Section 20.15: Employment/Industrial Land Use Districts

- Section 20.15.10 Purpose
- Section 20.15.15 Site Development Standards
- Section 20.15.20 Land Uses
- Section 20.15.30 Supplemental Development Requirements

##### 20.15.10 Purpose

3. *The Industrial District (IND) is intended to provide sites for manufacturing, distribution, industrial uses, and uses requiring processing, fabrication and storage, including outdoor storage areas, heavy equipment and other similar uses not compatible in an Office Industrial area.*

**Response:** The proposed uses onsite include food processing, storage and distribution via delivery truck. This use is compatible and appropriate for the IND zoning designation. Thus the requirements of this section are met.

<b>20.15.15 Site Development Standards</b>	<b>Required:</b>	<b>Provided:</b>
<i>Minimum Parcel Area (20.15.15.A):</i>	<i>None</i>	N/A
<i>Residential Density (20.15.15.B):</i>	<i>N/A</i>	N/A
<i>Floor Area Ratio (20.15.15.C):</i>	<i>N/A</i>	N/A
<i>Lot Dimensions (20.15.15.D)</i>	<i>None</i>	N/A
<i>Min Yard Setbacks (20.15.15.E):</i>		
<i>Any Yard Abutting R Zone</i>	75'	N/A, no R zoned lots abut.
<i>Required Front:</i>	35'	155'
<i>Required Side:</i>	10'	122' (east) / 257' (west)
<i>Required Rear:</i>	None*	30'
<i>*If rear or side property line abuts a railroad ROW.</i>		
Max Base Height (20.15.15.F):	45'	23' (east) / 27' (west)

##### 20.15.20 Land Uses

13. *Manufacturing, Fabrication, Assembly, Processing, Packing, and Storage:* Permitted
  
19. *Warehouse, Wholesale & Distribution:* Permitted
  
28. *Office:* Permitted  
*Unless the Office use is within a multi-story Office building only, or is ancillary to the primary use, Office is Permitted as principal use up to 15% of the total land area of a site.*

Proposed Uses: Milk product and cheese processing, storage and distribution.

Manufacturing use category (Warehouse, Processing, Packaging, Storage, and Accessory Office use (less than 10% of building interior)

**20.15.30 Supplemental Development Requirements**

*In addition to the site development requirements listed in Section 20.15.15, development in Industrial zoning districts shall be subject to the following supplemental development requirements:*

**1. Off-Street Parking and Loading.**

*A. No parking shall be allowed within the first 20 feet of the front yard setback. Parking shall be permitted within side or rear yard setbacks; provided, however, when the side and/or rear yards abut a residentially developed property or developable property in a Residential zoning district there shall be no parking within the first 20 feet of the setback.*

**Response:** SW 5th Avenue is considered the front yard. Closets vehicular parking is located approx. 72’ from the front yard setback. Thus this requirement is met.

*B. In addition to the requirements of Section 60.25., off-street loading shall not be permitted within side or rear yard setbacks abutting a residentially developed property or developable property in a Residential zoning district or within front yard setbacks abutting any residentially developed property or developable property in a Residential zoning district unless the setback is increased to 75 feet and the first 20 feet from the property line is landscaped or screened.*

**Response:** There are no residentially zoned lots abutting this property, thus all off street vehicular loading will comply with this section.

**2. Adjacent Residential Zoning Districts.**

*No service roads, spur trackage, hardstands, outside storage areas, etc. shall be permitted within required yards adjacent to Residential zoning district(s).*

**Response:** There are no residentially zoned lots abutting this property, thus this proposal is consistent with this section and the requirement is met.

**3. Required Conditions.**

*The following is required for development within the Office Industrial and Industrial zoning districts:*

*A. All business, service, repair, processing, storage or merchandise display shall be conducted wholly within an enclosed building unless screened by a sight-obscuring fence or wall, excluding outdoor seating and vehicle camping.*

**Response:** All food processing and storage activity will occur inside the building. Milk storage tanks located at the south end of the building will be screened from view by a sight obscuring wall. Thus this requirement is met.

- B. *The Motor vehicle, boat, or trailer storage lots shall be drained and surfaced with crushed rock or pavement except in those portions of the lot maintained as landscaped areas.*

**Response:** There will be no storage of boats or trailers onsite. Thus this requirement is met.

- C. *All materials, including wastes, shall be stored and all grounds shall be maintained in a manner which will not attract or aid the propagation of insects or rodents or create health or fire hazards. All areas for storage of waste shall be fully screened.*

**Response:** There will be no exterior storage of any raw or finished material onsite. All raw materials and packaging will be stored either in screened tanks or inside the building. All packaging waste will be palletized and stored inside the building and regularly removed via trash and recycling hauler service contract. All food processing waste material will be treated onsite inside the building and discharged to public system per approved jurisdictional regulatory approval and practices. Thus this requirement is met.

#### 4. Performance.

- A. **Vibration.** *No vibration other than that caused by highway vehicles, trains and aircraft shall be permitted which is discernible without instruments at the property line of the use concerned.*

**Response:** No measurable vibrations are expected to emanate from any processing equipment located onsite. Vehicular and truck traffic will also not produce any measurable vibration in the course of their movement on and offsite. Thus the requirement is met.

- B. **Odors.** *The emission of odorous gasses or matter as to be readily detectable at any point beyond the property line is prohibited.*

**Response:** No odorous gasses or matter will be readily detectable anywhere beyond the property line. Thus the requirement is met.

- C. **Heat and Glare.** *Except for exterior lighting, operations producing heat and glare shall be conducted entirely within an enclosed building.*

**Response:** Any heat due to operations shall be contained with enclosed building. Only minor heat will be produced, and glare is not part of the operation. Thus the requirement is met.

- D. **Administration and Enforcement.** *Prior to the City taking any action on a Type 1, Type 2, or Type 3 application or the issuance of an occupancy permit, information sufficient to determine the degree of compliance with the standards in this subsection shall be furnished by the applicant. Such request may include continuous records of operations, for periodic checks to assure maintenance of standards, or for special surveys.*

**Response:** Applicant is available to furnish information deemed relevant by City staff upon review of the application and perhaps as a condition of approval. Proposed facility operator has managed similar facilities for many years and can furnish operational records upon request.

## Chapter 40- Applications

### Section 40.03. Facilities Review Committee

*Consistent with Section 10.95.3. (Facilities Review Committee) of this Code, the Facilities Review Committee shall review the following land use applications: all Conditional Use, Design Review Two, Design Review Three, Downtown Design Review Two, Downtown Design Review Three, Single-Detached and Middle Housing Design Review Two, Single-Detached and Middle Housing Design Review Three, Public Transportation Facility Reviews, Street Vacations, and applicable Land Divisions. Applicable land division applications are Replats, Partitions, Subdivisions, Fee Ownership Partitions, and Fee Ownership Subdivisions. In making a recommendation on an application to the decision making authority, the Facilities Review Committee shall base its recommendation on a determination of whether the application satisfies all the following technical criteria. The applicant for development must establish that the application complies with all relevant standards in conformance with Section 50.25.1.B., and all the following criteria have been met, as applicable:*

- 1. All Conditional Use, Design Review Two, Design Review Three, Downtown Design Review Two, Downtown Design Review Three, Single-Detached and Middle Housing Design Review Two, Single-Detached and Middle Housing Design Review Three, and applicable Land Division applications:**
  - A. All critical facilities and services related to the proposed development have, or can be improved to have, adequate capacity to serve the proposed development at the time of its completion.

**Response:** Critical facilities and services related to the proposed development herein include domestic and fire suppression water supply, sanitary and stormwater management facilities, adequate fire response capacity and fire department vehicular access and onsite circulation, and adequate hydrant pressure in the adjacent ROW. As demonstrated by the Service Provider Letters obtained by both the City of Beaverton and Tualatin Valley Fire and Rescue, all critical facilities related to water and fire protection are currently available to serve the development. Onsite fire sprinkler coverage is also available for interior fire detection and suppression via two existing 8" fire risers located inside the building. Branch piping and final system design will be provided as a deferred submittal at the time of building permit issuance. Sanitary and stormwater conveyance has already been designed, approved and constructed to serve the proposed uses onsite, and so also demonstrate that these critical services have adequate capacity.

- B. *Essential facilities and services related to the proposed development are available, or can be made available, with adequate capacity to serve the development prior to its occupancy. In lieu of providing essential facilities and services, a specific plan may be approved if it adequately demonstrates that essential facilities, services, or both will be provided to serve the proposed development within five (5) years of occupancy.*

**Response:** Essential facilities and services include schools, transit improvements, police protection and onsite pedestrian and bicycle facilities in the public ROW. This project is a manufacturing and storage use so does not require an SPL from the school district. All other essential services exist to serve the development however, including



police protection, a transit stop located directly adjacent to the project site at the corner of SW 5<sup>th</sup> St and Western Avenue, and fully accessible onsite pedestrian connections from both 5th St and Western Avenue to the main plaza and entry point. Both short term and long term bicycle parking will also be provided per City of Beaverton standards. Details for number and location are shown in the response to Section 60 requirements.

- C. *The proposed development is consistent with all applicable provisions of CHAPTER 20 (Land Uses), or Sections 20.25 and 70.15 if located within the Downtown Design District, unless the applicable provisions are modified by means of one or more applications which shall be already approved or which shall be considered concurrently with the subject application; provided, however, if the approval of the proposed development is contingent upon one or more additional applications, and the same is not approved, then the proposed development must comply with all applicable provisions of CHAPTER 20 (Land Uses) or Sections 20.25 and 70.15 if located within the Downtown Design District.*

**Response:** This proposal is consistent with and addresses all applicable requirements in Chapter 20 as they pertain to the proposed use of the facility and the base Industrial zone, including the following sections:

- 20.15.10 Purpose
- 20.15.15 Site Development Standards
- 20.15.20 Land Uses
- 20.15.30 Supplemental Development Requirements

Please refer to detailed responses to all applicable sections in Chapter 20 herein for a summary of how all applicable standards and requirements are met.

- D. *The proposed development is consistent with all applicable provisions of CHAPTER 60 (Special Requirements) and all improvements, dedications, or both, as required by the applicable provisions of CHAPTER 60 (Special Requirements), are provided or can be provided in rough proportion to the identified impact(s) of the proposed development.*

**Response:** This proposal is consistent with and addresses all applicable requirements in Chapter 60, including the following sections identified as applicable in the *Pre App Conference* notes from 03/30/2022:

- 60.05.15 Building Design and Orientation Standards
- 60.05.20 Circulation and Parking Design Standards
- 60.05.25 Landscape, Open Space, and Natural Areas Design Standards
- 60.05.30 Lighting Design Standards
- 60.10 Floodplain Regulations
- 60.25 Off-Street Loading Requirements.
- 60.30.05 Off-Street Parking Requirements.
- 60.55 Transportation Facilities
- 60.65 Utility Undergrounding

Please refer to detailed responses below for a summary of how the requirements for all applicable design standards in Chapter 60 are met.

- E. *Adequate means are provided or can be provided to ensure continued periodic maintenance and necessary normal replacement of the following private common facilities and areas, as*

*applicable: drainage facilities, roads and other improved rights-of-way, structures, recreation facilities, landscaping, fill and excavation areas, screening and fencing, ground cover, garbage and recycling storage areas, and other facilities not subject to maintenance by the City or other public agency.*

**Response:** The proposed facility operator at this site also owns and operates multiple similar facilities statewide and are capable and accustomed to keeping their facilities clean, tidy and well maintained. In addition, the operator is amenable to entering into a maintenance agreement with the City as a condition of approval if required per typical City protocol.

- F. There are safe and efficient vehicular and pedestrian circulation patterns within the boundaries of the development.*

**Response:** Requirements for safe and efficient vehicular and pedestrian patterns are addressed in responses to Sections 60.05.20, 60.25 and 60.30 in Chapter 60. Multiple pedestrian paths from each public sidewalk provides access to the side and from auto parking areas to the main building entry and side entrances. Auto parking and pedestrian circulation is kept separate from truck circulation and loading zones.

- G. The development's on-site vehicular and pedestrian circulation systems connect to the surrounding circulation systems in a safe, efficient, and direct manner.*

**Response:** Three access points for pedestrians are provided from SW 5<sup>th</sup> Street and SW Western Avenue from the public ROW to the building main entrance point. At all locations where pedestrian circulation crosses interior vehicular drive aisles, crosswalks are clearly identified with a change in surface from asphalt to concrete. Three driveway access points are provided with two on SW Western Avenue and one on SW 5th Avenue to help distribute vehicular flow at peak times, thereby reducing potential conflicts with pedestrians.

- H. Structures and public facilities serving the development site are designed in accordance with adopted City codes and standards and provide adequate fire protection, including, but not limited to, fire flow.*

**Response:** New building structures and tenant improvements with the existing structure will be design in accordance with City codes including fire protection. There is adequate fire flow to the building fire sprinkler system.

- I. Structures and public facilities serving the development site are designed in accordance with adopted City codes and standards and provide adequate protection from crime and accident, as well as protection from hazardous conditions due to inadequate, substandard, or ill-designed development.*

**Response:** All structures will meet City codes for new or existing facilities. Protection from hazards and crime/accidents will be minimized with all storage and manufacturing happening within the building or in storage tanks screened and protected by enclosures

or fences. Surrounding the building will be new parking areas and driveways with adequate lighting, wayfinding signage, and low, layered landscaping to increase visibility and reduce concealed conditions.

- J. *Grading and contouring of the development site is designed to accommodate the proposed use and to mitigate adverse effect(s) on neighboring properties, public right-of-way, surface drainage, water storage facilities, and the public storm drainage system.*

**Response:** Site grading has been designed to accommodate proper surface drainage, subsurface storage and conveyance to the public system. Perimeter landscaped buffers throughout will provide storm water mitigation at property lines and help prevent storm water from impacting adjacent neighboring properties and public streets and pedestrian circulation areas.

- K. *Access and facilities for physically handicapped people are incorporated into the development site and building design, with particular attention to providing continuous, uninterrupted access routes.*

**Response:** The proposed site design includes 4 fully accessible parking stalls located within 50' of the building's main plaza and entry point. In addition, a fully accessible route connects to both SW 5<sup>th</sup> Street to the north, and SW Western Avenue to the east. Both routes convey disabled staff and visitors directly to the main plaza and entry doors at the northeast corner of the building.

- L. *The application includes all required submittal materials as specified in Section 50.25.1. of the Development Code.*

**Response:** Per the Design Review Two Checklist, the following required items have all been submitted and/or revised per the completeness letter received on August 16, 2022:

- Copy of Signed Application Form
- Required Checklist (including additional Site Info)
- Project Summary and Description
- Proposed Uses, Onsite Operations and Hours
- Written Statement addressing applicable provisions of Chapter 20 and Chapter 60 (herein).
- Response to approval criteria listed in Chapter 40 (herein)
- Response to Facilities Review Technical Criteria listed in Section 40.03.
- Service Provider Letters for Water, CWS and TVF&R.
- Copy of Pre App Conference notes
- Wetland delineation report and Army COE and DEQ wetland fill permit.
- *Type I Sidewalk Design Modification* submittal package.
- Revised Architectural, Civil and Landscape plans and elevations per list of incomplete items on August 16<sup>th</sup> letter.
- Additional Architectural perspective views requested.
- Revised Photometric Lighting Plans.

## Beaverton Development Code Chapter 60 – Special Requirements

### Section 60.05 Design Review Design Principles, Standards and Guidelines

- Section 60.05.15 Building Design and Orientation Standards
- Section 60.05.20 Circulation and Parking Design Standards
- Section 60.05.25 Landscape, Open Space, and Natural Areas Design Standards
- Section 60.05.30 Lighting Design Standards
- Section 60.10 Floodplain Regulations
- Section 60.25 Off-Street Loading Requirements
- Section 60.30 Off-Street Parking
- Section 60.55 Transportation Facilities
- Section 60.65 Utility Undergrounding

### 60.05 Design Review Design Principles

*The following design principles are general statements to guide the development of the built environment, the appearance of that development, and the effect of that development on the existing surroundings. The design guidelines and standards implement these principles. [ORD 4584; June 2012]*

1. **Building Design and Orientation.** *Design buildings that enhance the visual character of the community and take into account the surrounding neighborhoods, provide permanence, and create a sense of place. In Residential, Commercial and Multiple Use districts, design buildings that contribute to a safe, high quality pedestrian-oriented streetscape.*
2. **Multiple Use District Building Orientation and Design.** *Locate buildings so they are conveniently and safely accessible from on-site and off-site sidewalks and streets, and so buildings near the edge of a right of way provide a high quality, pedestrian oriented streetscape, contribute to safety by offering "eyes on the street" and promote pedestrian safety and use. Provide a pedestrian-friendly environment through building and site design treatments that may vary in nature and degree depending on the character of the urban area, the characteristics of the street, and the type of use and development proposed.*
3. **Circulation and Parking Design.** *Provide integrated multi-modal circulation and parking improvements that are safe and convenient, connect to surrounding neighborhoods and streets, and serve the needs of development.*
4. **Landscape, Open Space, and Natural Areas Design.** *Create landscape areas that contribute to the aesthetics of the community, conserve, protect, enhance or restore natural features and the natural environment, provide an attractive setting for buildings, and provide safe, interesting outdoor spaces for residents, customers, employees, and the community. Whenever possible, utilize native vegetative species which are disease and drought tolerant.*
5. **Lighting Design.** *Provide exterior lighting for buildings, parking lots, pedestrian pathways, vehicular areas, pedestrian plazas, public open spaces to ensure public safety and convenience, and to minimize excessive illumination on environmentally sensitive areas, adjoining properties, and streets.*

## 60.05.15 Building Design and Orientation Standards

*Unless otherwise noted, all standards apply to all uses in all zoning districts except RMA, RMB, and RMC.*

### 1. *Building articulation and variety.*

- A. *Multi-dwellings in all Residential zones, and townhouses in the MR zone, shall be limited in length to two hundred (200) feet.*

**Response:** This project is not located in a Residential zone, therefore this standard does not apply.

- B. *Buildings visible from and within 200 feet of an adjacent public street shall have a minimum portion of the street-facing elevation(s) and the elevation(s) containing a primary building entrance or multiple tenant entrances devoted to permanent architectural features designed to provide articulation and variety. These permanent features include, but are not limited to windows, bays and offsetting walls that extend at least eighteen inches (18"), recessed entrances, loading doors and bays, and changes in material types. Changes in material types shall have a minimum dimension of two feet and minimum area of 25 square feet. The percentage of the total square footage of elevation area is:*

3. *Fifteen (15) percent in Industrial zones.*

**Response:** Both elevations on the existing building facing the public ROW (SW 5<sup>th</sup> Street to the north and SW Western Ave to the east) are built of one story concrete tilt-up panels broken into 22 to 25-foot bays with an 8" perimeter cast concrete frame proud of each panel at the sides and top. At the northeast corner, two of the bays each facing the public streets will have a new main entrance with tall storefront windows, clerestory openings and a continuous 6' deep horizontal canopy providing a strong visual cue for the new main entry into the building. In addition, the east elevation will have a new building addition with two components to the south set back 18" and 27' respectively from the face of the existing building and constructed of a painted metal panel system.

In total, the newly renovated and constructed east elevation will contain approximately 36.2% in permanent architectural features as defined in this section. The newly renovated north elevation will contain approximately 18% permanent architectural features. Thus both public facing facades meet the requirements of this section and the standard is met. Please refer to the **Building Elevations Sheet A-5** for more detail.

- C. *The maximum spacing between permanent architectural features, both vertically and horizontally, shall be no more than:*

2. *Sixty (60) feet in Industrial zones.*

**Response:** The bulk of the public facing elevations are of the existing building which are constructed of a rhythmic series of articulated bays, each spaced at between 22' and 25', and a maximum height of 27' on the west elevation. This breaks the building down into smaller masses on both elevations and provides a layered series of deep shadow lines for the intended industrial use. In addition, this proposal includes significant new permanent architectural features on both public facing elevations as described above, further enhancing the character of the newly renovated building. Therefore to the extent feasible

working with the existing building shell, this standard is met. Please refer to the **Building Elevations Sheet A-5** for more detail.

- D. *In addition to the requirements of Section 60.05.15.1.B and C., detached and attached residential building elevations facing a street, common green or shared court shall not consist of undifferentiated blank walls greater than 150 square feet in area. Building elevations shall be articulated with architectural features such as windows, dormers, porch details, alcoves, balconies or bays.*

**Response:** This project does not contain a Residential use, therefore this standard does not apply.

## 2. **Roof forms.**

- A. *All sloped roofs exposed to view from adjacent public or private streets and properties shall have a minimum 4/12 pitch.*

**Response:** This project does not have any sloping roof surfaces visible from the public right of way, thus the standard does not apply. All roof surfaces at both the existing and new building sections are flat or very low slope by nature and screened from view by architectural parapets on all elevations. Therefore this standard is met. Please refer to the **Building Elevations Sheet A-5** for more detail.

- B. *Sloped roofs on residential uses in residential zones and on all uses in multiple use and commercial zones shall have eaves, exclusive of rain gutters, that must project from the building wall at least twelve (12) inches. [ORD 4584; June 2012]*

**Response:** This project is not a residential use nor is it located in a multiple use or commercial zone. Thus this requirement does not apply.

- C. *All roofs with a slope of less than 4/12 pitch shall be articulated with a parapet wall that must project vertically above the roof line at least twelve (12) inches or architecturally treated, such as with a decorative cornice. [ORD 4584; June 2012]*

**Response:** All roof surfaces on this project are very low slope to flat and are screened behind architectural cornices extending at least 12" from the roof surface. Therefore this standard is met.

- D. *When an addition to an existing structure or a new structure is proposed in an existing development, the roof forms for the new structures shall have similar slope and be constructed of the same materials as existing roofs.*

**Response:** The proposed addition to the south of the existing building will contain a flat roof identical in slope to the existing building and also be screened behind a parapet of the same height and geometry as the existing building. Therefore this standard is met. Please refer to the **Building Elevations Sheet A-5** for more detail.

- E. *Smaller feature roofs are not subject to the standards of this Section.*

**Response:** Noted. The proposed new canopy roof will also be flat and architecturally match both the existing and new building's roof line.

**3. Primary building entrances.**

- A. *Primary entrances, which are the main point(s) of entry where the majority of building users will enter and leave, shall be covered, recessed, or treated with a permanent architectural feature in such a way that weather protection is provided. The covered area providing weather protection shall be at least six (6) feet wide and four (4) feet deep.*

**Response:** The primary entrance to the building located at the northeast corner will contain a set of entry doors recessed approximately 3', as well as a 6' deep canopy that extends approximately 44' centered on the entrance. Therefore this standard is met. Please refer to the **Architectural Site Plan Sheet A-1** and **Building Elevations Sheet A-5** for more detail.

**4. Exterior building materials**

- A. *For attached residential uses in Residential zones and all residential uses in Multiple Use zones, a minimum of seventy-five (75) percent of each elevation that is visible from and within 200 feet of a public street or a public park, public plaza or other public open space, and on elevations that include a primary building entrance or multiple tenant entrances shall be double wall construction.*

**Response:** This project is not in a Residential zone nor is it located in a multiple use zone. Thus this requirement does not apply.

- B. *For Conditional Uses in Residential zones and all uses in Commercial and Multiple Use zones (except detached residential uses fronting streets, common greens and shared courts), a maximum of thirty (30) percent of each elevation that is visible from and within 200 feet of a public street or a public park, public plaza or other public open space, and on elevations that include a primary building entrance or multiple tenant entrances, may be plain, smooth, unfinished concrete, concrete block, plywood and sheet pressboard. The remaining elevation area for all applicable uses in all applicable zones shall be architecturally treated. Appropriate methods of architectural treatment shall include, but are not limited to, scoring, changes in material texture, and the application of other finish materials such as wood, rock, brick or tile wall treatment.*

*This standard shall also apply to all uses in the Industrial zones, except for buildings containing manufacturing, fabricating, processing, packing, storage and wholesale and distribution facilities as a principal use of the site where this standard shall apply only to the primary elevation that is visible from and within 200 feet of a public street or a public park, public plaza or other public open space.*

**Response:** Both the east and north elevations of the existing building, as well as the new addition to the south are within 200' and face onto public rights of way, thus this standard applies. Both elevations feature painted concrete panels with a continuous perimeter precast painted concrete frame which adds a deep shadow line to the façade. Additionally, the proposed design adds permanent architectural features at the NE corner entry which

adds significant visual interest to both public facing facades and activates this prominent public facing corner. Finally, the new addition is designed with a finished articulated metal panel system which is proportionally sized to relate back to the existing building.

Per the requirements of this section, a maximum of 30% of the visible facades can be constructed of the materials identified above (including plain unfinished concrete). In calculating the actual material ratios used on the existing and new building facades visible from and within 200' of the adjacent ROW on SW 5<sup>th</sup> and SW Western, the net ratio of plain concrete remaining at the modified building elevations is as follows:

East Elevation: 415/1640sf	25.3%
North Elevation: 390/1500sf	26.0%
Combined Total: 805/3140sf	25.6%

Area used for calculation includes all existing tilt concrete wall panels that are proposed to be modified by adding or subtracting permanent architectural features. Please refer to the **Building Elevations Sheet A-5** for more detail.

- C. *For Conditional Uses in Residential zones and all uses in Commercial and Multiple Use zones, plain, smooth, exposed concrete and concrete block used as foundation material shall not be more than three (3) feet above the finished grade level adjacent to the foundation wall, unless pigmented, textured, or both. In Industrial districts, foundations may extend up to four (4) feet above the finished grade level.*

**Response:** All exposed foundations on the existing building are at or below 4'-0" in height and thus meet the standard. Further, they are not proposed to be modified in any way that would push them out of compliance with the standard.

All exposed foundations for proposed new building additions will be a nominal height (1'-0" or less)- well below the 4'-0" max industrial standard, and thus will also meet the standard. Please refer to the **Building Elevations Sheet A-5** for more detail.

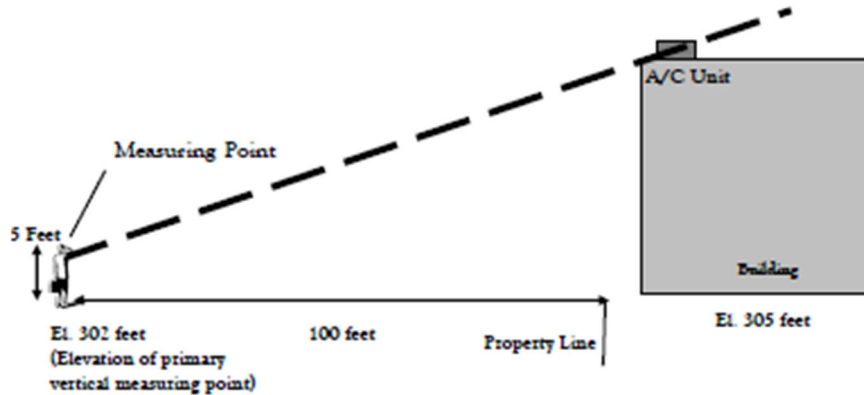
**5. Roof-mounted equipment.**

- A. *All roof-mounted equipment shall be screened from view from adjacent streets or adjacent properties in one of the following ways:*
  1. *A parapet wall; or*
  2. *A screen around the equipment that is made of a primary exterior finish material used on other portions of the building; or*
  3. *Setback from the street-facing elevation such that it is not visible from the public street; or*
  4. *Screened from view by another building.*

**Response:** Both the existing and new portions of the building will have semi conditioned interior space appropriate to their processing and storage functions. As such there will only be interior gas fired freeze protection heaters installed for climate control, as has been the case since the building was constructed in the 1960's. No rooftop mounted equipment is proposed for the roof, therefore this requirement does not apply. If at any time in the future mechanical equipment is added to the rooftop, the applicant understands that this would be subject to review and compliance with this section.



- B. As shown in the diagram below (next page), the vertical measuring distance for required screening shall be measured at five (5) feet above the finished or existing grade at the property line or public right-of-way abutting the development site's front yard setback for a distance of one hundred (100) lineal feet measured outward from the development site's front property line. Once the vertical measuring distance is established for the site's front yard, this same vertical measuring distance shall be applied to all sides of the development site's perimeter property lines.



- C. Solar panels, dishes/antennas, pipes, vents, and chimneys are exempt from this standard.

**Response:** Noted. No solar panels or ancillary equipment are part of this proposal and thus the requirement would not apply.

**6. Building location and orientation along streets in Commercial and Multiple Use zones.**

- A. Buildings in Multiple Use zones shall occupy a minimum public street frontage as follows:
1. 50 percent of the street frontage where a parcel abuts a Class 1 Major Pedestrian Route.
  2. 35 percent of the street frontage where a parcel abuts a Class 2 Major Pedestrian Route.
  3. 35 percent of the street frontage where a parcel does not abut any Major Pedestrian Route and the parcel exceeds 60,000 gross square feet
  4. 50 percent of the street frontage for detached residential projects where the parcel abuts any street, common green or shared court.
- B. Buildings in Commercial zones shall occupy a minimum of 35 percent public street frontage where a parcel exceeds 60,000 gross square feet.
- C. Buildings subject to the street frontage standard shall be located no farther than 20 feet from the property line. The area between the building and property line shall be landscaped to standards found in Section 60.05.25.5.B or 60.05.25.5.C.
- D. Buildings on corner lots of multiple Major Pedestrian Routes shall be located at the intersections of the Major Pedestrian Routes. Where a site has more than one corner on a Major Pedestrian Route, this requirement must be met at only one corner.
- E. Buildings subject to the street frontage standard shall have at least one primary building entrance oriented toward an abutting public street or public pedestrian way. Where there is more than one abutting Class 1 Major Pedestrian Route, the primary entrance shall be oriented

toward one abutting Class 1 Major Pedestrian Route or shall be oriented to a Class 1 Major Pedestrian Route corner.

1. A minimum of one primary building entrance shall not be set back more than 20 feet from the abutting public street or public pedestrian way.
2. Pedestrian connections to street oriented primary building entrances shall not cross vehicular circulation and parking areas.

F. Secondary entrances may face on streets, off-street parking areas, or landscaped courtyards.

**Response:** This project is not located in a Commercial or Multiple Use zone. Therefore this requirement does not apply.

**7. Building scale along Major Pedestrian Routes.**

- A. The height of any portion of a building at or within 20 feet of the property line as measured from the finished grade at the property line abutting a Major Pedestrian Route shall be a minimum of twenty-two (22) feet and a maximum of sixty (60) feet. Building heights greater than sixty (60) feet are allowed if the portion of a building that is greater than sixty (60) feet in height is at least twenty (20) feet from the property line that abuts the Major Pedestrian Route. In all cases, building height shall meet the requirement of Section 20.20.20 for the specific zoning district.
- B. Detached residential dwellings are exempt from the minimum height standard in Section 60.05.15.7.A. Building heights shall meet the requirements of Section 20.20.20 for the specific zoning district.
- C. The maximum heights specified in Section 20.20.20 shall not be exceeded, unless separately authorized through an adjustment or variance application, or where credits are earned for height increase through Habitat Friendly Development Practices, as described in Section 60.12.40.4.B.2.

**Response:** This project is not located along a Major Pedestrian Route per maps in Section 60.05.55. Therefore this requirement does not apply.

**8. Ground floor elevations on commercial and multiple use buildings.**

- A. Except those used exclusively for residential use, ground floor elevations visible from and within 200 feet of a public street, Major Pedestrian Route, or a public park, public plaza or other public open space, and elevations that include a primary building entrance or multiple tenant entrances, shall have the following minimum percent of the ground floor elevation area permanently treated with windows, display areas or glass doorway openings.
  1. Class 1 Major Pedestrian Routes: Fifty (50) percent.
  2. Class 2 Major Pedestrian Routes: Thirty-five (35) percent.
  3. Buildings on parcels in excess of 25,000 gross square feet within a Commercial zoning district: Thirty-five (35) percent.

Less glazing may be provided in a Commercial zoning district when increased building articulation and architectural variety is provided pursuant to Section 60.05.15.1.B.2. of this Code.

For the purpose of this standard, ground floor elevation area shall be measured from three (3) feet above grade to ten (10) feet above grade the entire width of the elevation. The ground floor elevation requirements shall be met from grade to twelve (12) feet above grade.

- B. *Except those used exclusively for residential use, ground floor elevations that are located on a Major Pedestrian Route, sidewalk, or other space where pedestrians are allowed to walk shall provide weather protection to the following minimum percent of the length of those elevations. [ORD 4584; June 2012]*
1. *Class 1 Major Pedestrian Routes: Fifty (50) percent.*
  2. *Class 2 Major Pedestrian Routes: Thirty-five (35) percent.*

**Response:** This project does not include either a commercial or multiple use building. Therefore this requirement does not apply.

**9. Compact Detached Housing design.**

*Note: this section contains 12 subsections that do not apply to this project. Section is therefore excerpted for brevity.*

**Response:** This project does not include Compact Detached Housing. Therefore this requirement does not apply.

**10. Ground floor elevations on eligible residential-only buildings.**

*Note: this section contains 3 subsections that do not apply to this project. Section is therefore excerpted for brevity.*

**Response:** This project does not include a Residential use. Therefore this requirement does not apply.

**60.05.20 Circulation and Parking Design Standards**

*Unless otherwise noted, all standards apply to all uses in all zoning districts except RMA, RMB, and RMC.*

**1. Connections to the public street system.**

- A. *Pedestrian, bicycle, and motor vehicle connections shall be provided between the on-site circulation system and adjacent existing and planned streets as specified in Tables 6.1 through 6.6 and Figures 6.1 through 6.23 of the Comprehensive Plan Transportation Element.*

**Response:** A review of the Comprehensive Plan transportation element Tables and figures does not identify any high priority pedestrian connection improvements, and the site is generally considered to be low priority per Figure 6.1. Nevertheless, this project is proposing a total of (4) fully accessible pedestrian and bicycle connections from the public ROW, two from SW 5<sup>th</sup> Street, and two from SW Western Avenue. Additionally, three vehicular ingress and egress points are also proposed, one from SW 5<sup>th</sup> Street, and two from SW Western Avenue. Thus the project is proposing ample pedestrian, bicycle, and vehicular connections from the on site circulation system to adjacent public streets, and the requirement is met. Please refer to the **Architectural Site Plan Sheet A-1 and Civil Plans** for more detail on locations.

**2. Loading areas, solid waste facilities and similar improvements.**

- A. *All on-site service areas, outdoor storage areas, waste storage, disposal facilities, recycling containers, transformer and utility vaults and similar activities shall be located in an area not visible from a public street or shall be fully screened from view from a public street.*

**Response:** The primary use of the proposed facility will be for food processing, storage, packaging and shipping offsite. As such, all raw material storage shall be located either in storage tanks screened from public view (south end of new addition), or inside the building, also not visible from the public streets. All recycling and solid waste storage will also be inside the building, located as shown on the **Architectural Site Plan Sheet A-1** at the SE corner of the building, immediately inside the roll up door. Site circulation for waste haulers is ideal at this location, as there is a dedicated head in two way travel lane outside the roll up door, as well as the ability to pull through once dumpsters are emptied into service provider vehicles. Onsite staff will ensure that waste haulers have full access to the trash facilities when required on trash hauling days.

There is also one electrical transformer located at the south end of the staff parking lot on the east side of the building, also shown on Sheet A-1. This will be screened with a finished metal panel system, identical to the proposed addition. Please also see **Building Elevations Sheet A-5** for more detail on the screening.

- B. *Except for manufacturing, assembly, fabricating, processing, packing, storage and wholesale and distribution activities which are the principle use of a building in Industrial districts, all loading docks and loading zones shall be located in an area not visible from a public street, or shall be fully screened from view from a public street.*

**Response:** The principle use of this facility will be for processing, storage, packaging and distribution, and it is located in an industrial zone therefore this requirement does not apply. That said, the loading docks and loading zones are all located along the western side of the building which does not face a public street. In addition, they are all partially or totally screened from view by a building projection to the north of the loading docks. Therefore this proposal meets the intent of this section. Please refer to the **Architectural Site Plan Sheet A-1** for more detail.

- C. *Screening from public view for service areas, loading docks, loading zones and outdoor storage areas, waste storage, disposal facilities, recycling containers, transformer and utility vaults and similar activities shall be fully sight-obscuring, shall be constructed a minimum of one foot higher than the feature to be screened, and shall be accomplished by one or more of the following methods:*
1. *Solid screen wall constructed of an exterior finish material utilized on one or more buildings,*
  2. *A hedge with a minimum of ninety-five (95) percent opacity within two (2) years.*
  3. *Solid wood fence.*

**Response:** As stated herein, all recycling and solid waste storage will be located inside the building, located as shown on the **Architectural Site Plan Sheet A-1** at the SE corner of the building, immediately inside the roll up door, as so will not be visible to the public streets. There is one electrical transformer located at the south end of the staff parking lot on the east side of the building, also shown on Sheet A-1. This will be screened with a finished metal panel system, identical to the proposed addition. A total of (6) existing storage tanks located at the south end of the building will also be screened from public view by the

proposed building addition. Therefore the requirements of this section are met. Please see **Building Elevations Sheet A-5** for more detail on the screening for these elements.

D. *Screening from public view by chain-link fence with or without slats is prohibited.*

**Response:** No chain link fencing is proposed for screening, thus the requirements of this section are met.

E. *Screening of loading zones may be waived in Commercial and Multiple Use zones if the applicant demonstrates the type and size of loading vehicles will not detract from the project's aesthetic appearance and the timing of loading will not conflict with the hours or operations of the expected businesses.*

**Response:** This project is not located in a Commercial or Multiple Use zone, therefore this section does not apply.

### 3. **Pedestrian circulation.**

A. *Pedestrian connections shall be provided that link to adjacent existing and planned pedestrian facilities as specified in Tables 6.1 through 6.6 and Figures 6.1 through 6.23 of the Comprehensive Plan Transportation Element, and to the abutting public street system and on-site buildings, parking areas, and other facilities where pedestrian access is desired...[Cooper Mountain Section Not Applicable].*

*Pedestrian connections shall be provided except when one or more of the following conditions exist:*

1. *Where physical or topographic conditions, such as a grade change of ten (10) feet or more at a property line to an adjacent pedestrian facility, make connections impractical,*
2. *Where uses including manufacturing, assembly, fabricating, processing, packing, storage and wholesale and distribution activities which are the principle use of a building in Industrial districts occur,*
3. *Where on-site activities such as movement of trucks, forklifts, and other large equipment would present potential conflicts with pedestrians, or*
4. *Where buildings or other existing development on adjacent lands physically preclude a connection now or in the future.*

**Response:** This project's primary activity includes manufacturing, processing, storage and distribution and is located in an industrial district; therefore this section does not apply. However, this project does include three pedestrian connections from the public right of way as described herein, each of which safely convey pedestrians from the right of way through employee parking areas and to the main building entrance in as direct a route as feasible. There are no planned pedestrian connections to the western half of the site as that is primarily associated with truck maneuvering, loading and unloading and is not compatible with pedestrian traffic.

- B. *A reasonably direct walkway connection is required between primary entrances, which are the main point(s) of entry where the majority of building users will enter and leave, and public and private streets, transit stops, and other pedestrian destinations.*

**Response:** As stated herein, this project includes (4) pedestrian connections from the public right of way, each of which will safely convey pedestrians from the right of way through employee parking areas and to the main building entrance in as direct a route as feasible. The connections from SW 5<sup>th</sup> Street are located at the most feasible connection points along the right of way, as there is an approximate 4-6' grade difference from the public sidewalk and the site along a portion of the frontage. The onsite paths take a direct route across vehicle travel lanes to the building's main entrance. The northernmost connection on SW Western Avenue will connect pedestrians to within 100' of the nearest bus stop which is located near the intersection of SW 5<sup>th</sup> St and Western Ave.

- C. *A reasonably direct pedestrian walkway into a site shall be provided for every 300 feet of street frontage or for every eight aisles of vehicle parking if parking is located between the building and the street. A reasonably direct walkway shall also be provided to any accessway abutting the site. This standard may be waived when topographic conditions, man-made features, natural areas, etc. preclude walkway extensions to adjacent properties.*

**Response:** As stated herein, there are multiple pedestrian connections along both SW 5<sup>th</sup> St and SW Western. The greatest distance between walkways along SW Western is 220' and so both comply with the requirements of this section. There are also (2) pedestrian connections from SW 5<sup>th</sup> St, which are located just west of the intersection of SW 5<sup>th</sup> and Western, as well as at approx. 162' from the western property corner. These are the only safely feasible routes from the ROW to the building's interior circulating due to a 4-6' grade change that occurs just to the west of the corner connection. Therefore, taking into account topographic constraints, to the greatest extent feasible this requirement is met. Please refer to the **Architectural Site Plan Sheet A-1** for more detail on the proposed layout.

Please also note that this configuration was designed and approved for construction in 2019 as part of a Sidewalk Design Modification (SDM 2019-0007) and partially constructed. The rationale at the time was the need to meet the curb line for City of Beaverton designed ROW improvements along SW 5<sup>th</sup> and SW Western Ave, beyond the control of the applicant. The SDM expired before all improvements were fully completed, therefore this proposal also includes a new SDM to request the same departure from EDM standards for a portion of the sidewalk along SW 5<sup>th</sup> Street, for the same reason. Please refer to associated 2022 SDM (number provided upon submission) for details on the technical constraints.

- D. *Pedestrian connections through parking lots shall be physically separated from adjacent vehicle parking and parallel vehicle traffic through the use of curbs, landscaping, trees, and lighting, if not otherwise provided in the parking lot design.*

**Response:** All pedestrian connections are between 8-10' in width and are constructed with a scored concrete surface to safely contrast with the adjacent asphalt vehicle travel lanes. They cross all lanes in as direct a manner as feasible, are continuous from ROW to interior walkway, and are flanked by landscaped buffers on each end where feasible. Finally, they will all be lit per onsite lighting standards to a minimum of 1FC at all areas. Therefore this requirement is met.

- E. *Where pedestrian connections cross driveways or vehicular access aisles a continuous walkway shall be provided and shall be composed of a different paving material than the primary on-site paving material.*

**Response:** As stated herein, all pedestrian connections are between 8-10' in width and are constructed with a scored concrete surface to safely contrast with the adjacent asphalt vehicle travel lanes. Therefore this requirement is met.

- F. *Pedestrian walkways shall have a minimum of five (5) foot wide unobstructed clearance and shall be paved with scored concrete or modular paving materials. In the event that the Americans with Disabilities Act (ADA) contains stricter standards for any pedestrian walkway, the ADA standards shall apply.*

**Response:** As stated herein, all pedestrian connections are between 8-10' in width and are constructed with a scored concrete surface to safely contrast with the adjacent asphalt vehicle travel lanes. Therefore this requirement is met.

#### **4. Street frontages and parking areas.**

- A. *Surface parking areas abutting a public street shall provide perimeter parking lot landscaping which meets one of the following standards:*

1. *A minimum six (6)-foot wide planting strip between the right-of-way and the parking area. Pedestrian walkways and vehicular driveways may cross the planting strip. Trees shall be planted at a minimum 2 1/2 inch caliper at a maximum of thirty (30) feet on center. Planting strips shall be planted with an evergreen hedge that will provide a 30-inch high screen and fifty (50) percent opacity within two years. The maximum height shall be maintained at no more than thirty-six (36) inches. Areas not covered by trees or hedge shall be landscaped with live ground cover. Bumper overhangs which intrude into the planting strip shall not impact required trees or hedge; or*

**Response:** This proposal includes fully landscaped frontage and parking areas. Perimeter landscaping is a minimum of 6' between the ROW and the parking areas, and substantially more in some areas as conditions allow. Tree and shrub size, species, and quantities will also be fully compliant with dimensional standards required, thus the requirements of this section are met. Please see attached **Landscape Planting Plan Sheet L-1** for more details on sizing and coverage.

2. *A solid wall or fence 30 to 36 inches in height parallel to and not nearer than four (4) feet from the right-of-way line. The area between the wall or fence and the street line shall be landscaped with live ground cover. Pedestrian walkways and vehicular driveways may cross the wall or fence.*

**Response:** This proposal utilized Section 4.A.1 above for landscape screening, thus this section does not apply.

#### **5. Parking area landscaping.**

- A. *Landscaped planter islands shall be required according to the following:*
1. *Residential uses in residential zones, one for every eight (8) contiguous parking spaces.*

2. *All uses in Commercial and Multiple Use zones, one for every ten (10) contiguous parking spaces.*
3. *All Conditional Uses in Residential zones one for every twelve (12) contiguous parking spaces.*
4. *All uses in Employment / Industrial zones, one for every twelve (12) contiguous parking spaces.*

**Response:** This proposal includes fully landscaped planter islands at all parking areas at a maximum spacing of one every (8) contiguous parking stalls. Thus the requirements of this section are met. Please see attached **Landscape Planting Plan Sheet L-1** for more details on planter island layout.

- B. *The island shall have a minimum area of 70 square feet, and a minimum width of 6 feet, and shall be curbed to protect landscaping. The landscaped island shall be planted with a tree having a minimum mature height of 20 feet. If a pole-mounted light is proposed to be installed within a landscaped planter island, and an applicant demonstrates that there is a physical conflict for siting the tree and the pole-mounted light together, the decision-making authority may waive the planting of the tree, provided that at least seventy-five (75) percent of the required islands contain trees. Landscaped planter islands shall be evenly spaced throughout the parking area.*

**Response:** This proposal includes fully landscaped planter islands at all parking areas that exceed the minimum area and tree planting requirements, the smallest island is approx. 160sf in area for example. Thus the requirements of this section are met. Please see attached **Landscape Planting Plan Sheet L-1** for more details on planter island layout and tree planting.

- C. *Linear raised sidewalks and walkways within the parking area, connecting the parking spaces and on-site building(s), may be counted towards the total required number of landscaped islands, provided that all of the following is met:*
1. *Trees are spaced a maximum of 30 feet on center on a minimum of one side of the sidewalk.*
  2. *The minimum unobstructed sidewalk width is five feet.*
  3. *The sidewalk is separated from the parking area by curbs, bollards, or other means on both sides.*
  4. *Trees are located in planting area with groundcover or planted in covered tree wells.*
  5. *Trees within the linear sidewalk area shall constitute no more than 50 percent of the total required number of trees within required landscaped planter islands. All remaining required trees shall be located within landscaped planter islands.*

**Response:** This proposal includes fully landscaped planter islands at all parking areas and thus satisfies the landscaped island section using planted areas. This section thus does not apply.

- D. *Trees planted within required landscaped planter islands or the linear sidewalk shall be of a type and species identified by the City of Beaverton Street Tree List or an alternative approved by the City Arborist.*

**Response:** All trees planted at landscaped planter islands are compliant with the City of Beaverton approved Street Tree list. Thus the requirements of this section are met. Please see attached **Landscape Planting Plan Sheet L-1** for more details on proposed tree species.



**6. Off-Street parking frontages in Multiple Use zones.**

- A. *Off-Street surface parking areas shall be located to the rear or side of buildings. Surface parking areas located adjacent to public streets are limited to a maximum of:*
1. *50% of the street frontage along Class 1 Major Pedestrian Routes,*
  2. *65% along Class 2 Major Pedestrian Routes, and*
  3. *50% of the street frontage for detached residential projects along any street.*

**Response:** This proposal is not located in a Multiple Use zone. Thus the requirement does not apply.

**7. Sidewalks along streets and primary building elevations in Commercial and Multiple Use zones.**

- A. *A sidewalk is required on all streets. Except where approved through Sidewalk Design Modification (40.58), the sidewalk shall be a minimum of ten (10) feet wide and provide an unobstructed path at least five (5) feet wide.*
- B. *A sidewalk or walkway internal to the site is required along building elevations that include a primary building entrance, multiple tenant entrances or display windows. The sidewalk shall be a minimum of ten (10) feet wide, and provide an unobstructed path at least five (5) feet wide at building entrances, and along elevations containing display windows. Sidewalks shall be paved with scored concrete or modular paving materials. If adjacent to parking areas, the sidewalk shall be separated from the parking by a raised curb.*
- C. *Residential development fronting common greens and shared courts, and detached units fronting streets are exempt from these standards of 7.B above and are subject to the Engineering Design Manual.*

**Response:** This proposal is not located in a Commercial or Multiple Use zone. Thus the requirement does not apply.

**8. Connect on-site buildings, parking, and other improvements with identifiable streets and drive aisles in Residential, Commercial, and Multiple Use zones.**

- A. *Parking lot drive aisles that link public streets and/or private streets with parking stalls shall be designed as private streets consistent with the standard as described under Section 60.05.20.8.B., unless one of the following is met:*
1. *The parking lot drive aisle is less than 100 feet long;*
  2. *The parking lot drive aisle serves 2 or less residential units; or*
  3. *The parking lot drive aisle provides direct access to angled or perpendicular parking stalls.*
- B. *Private streets, common greens, and shared courts shall meet the following standards:*
1. *Private streets serving non-residential uses and residential uses having five or more units shall have raised curbs and minimum five (5) foot wide unobstructed sidewalks on both sides.*
  2. *Private streets serving less than five (5) residential units shall have raised curbs and a minimum five (5) foot wide unobstructed sidewalk on at least one side.*
  3. *When common greens and shared courts are utilized, an unobstructed walkway a minimum of five (5) feet wide shall be provided within the common green or shared court.*

**Response:** This proposal is not located in a Residential, Commercial or Multiple Use zone. Thus the requirement does not apply.

**9. Ground floor uses in parking structures.**

- A. *Parking structures located on Major Pedestrian Routes shall incorporate one or more active retail or commercial uses other than parking at ground level along the entire portion of the structure fronting onto such routes. Compliance to this standard is not required when a semi-subterranean parking structure is proposed, provided that the height of such structures, or portions thereof, is not greater than three and one-half (3 1/2) feet above the elevation of the adjoining walkway or sidewalk.*

**Response:** This proposal does not include structured parking. Thus the requirement does not apply

**60.05.25 Landscape, Open Space, and Natural Areas Design Standards**

*Unless otherwise noted, all standards apply to all uses in all zoning districts except RMA, RMB, and RMC. In the RMA, RMB, and RMC districts, these standards apply to multi-dwellings, compact detached housing, and non-residential uses. In no case shall the standards apply to middle housing or single-detached dwellings (except compact detached housing) in the RMA, RMB, or RMC districts.*

**1. Minimum landscape requirements for residential developments consisting of two (2) or three (3) units of Attached Housing or Compact Detached Housing. [ORD 4584; June 2012]**

- A. *All areas of the lot not occupied by structures or pavement shall be landscaped as defined in Section 60.05.25.4.*

**Response:** This proposal does not include a Residential development. Thus the requirements of this section do not apply.

**2. Minimum landscape requirements for residential developments consisting of four (4) to seven (7) units of Attached Housing or Compact Detached Housing. [ORD 4584; June 2012]**

- A. *For Attached Dwellings, a minimum of 15% of the gross site area shall be landscaped as defined in Section 60.05.25.4. [ORD 4584; June 2012]*
- B. *For Compact Detached Housing, an attached private patio or yard area of at least 300 square feet in size shall be provided. No dimension of private open space area shall be less than ten (10) feet. [ORD 4584; June 2012]*
- C. *Adjustments to these requirements are not permitted.*

**Response:** This proposal does not include a Residential development. Thus the requirements of this section do not apply.

**3. Minimum landscape requirements for residential developments consisting of eight (8) or more units of Attached Housing or Compact Detached Housing. [ORD 4584; June 2012]**

*Note: This section contains 10 additional subsections related to housing developments that do not apply to this proposal, thus this section is excerpted for brevity.*

**Response:** This proposal does not include a Residential development. Thus the requirements of this section do not apply.

**4. Additional minimum landscape requirements for Attached Housing and Compact Detached Housing.**

Note: This section contains 6 additional subsections related to housing developments that do not apply to this proposal, thus this section is excerpted for brevity.

**Response:** This proposal does not include a Residential development. Thus the requirements of this section do not apply.

**5. Minimum landscape requirements for non-residential developments and Mixed Use Development.**

- A. A minimum portion of the total gross lot area shall be landscaped:
  1. Conditional Uses in Residential districts, and all uses in Commercial and Industrial districts, fifteen (15) percent;
  2. All uses in Multiple Use districts, ten (10) percent.
  3. Environmentally sensitive areas shall be counted towards the minimum landscape requirement. Aboveground landscaped water quality treatment facilities shall be counted toward the minimum landscape requirement.

**Response:** This proposal is located in an industrial district therefore the minimum landscaped area standard is 15% of gross site area.

Total Site Area:	327,918sf	
Required Landscaping:	49,188sf	(15%)
Proposed Landscaping:	139,262sf	(42.2%)

Actual total landscaped area for this proposal will be approximately 42% as shown above, as in addition to the perimeter and parking area landscaping, there will be a large area to the north and west that will remain undeveloped and landscaped. Thus the requirements of this section are met. Please see attached **Landscape Plans (Sheets L1, L2, L3)** for more details on proposed landscaping coverage areas.

- B. The following minimum planting requirements for required landscaped areas shall be complied with. These requirements shall be used to calculate the total number of trees and shrubs to be included within the required landscape area:
  1. One (1) tree shall be provided for every eight hundred (800) square feet of required landscaped area. Evergreen trees shall have a minimum planting height of six (6) feet. Deciduous trees shall have a minimum caliper of 1.5 inches at time of planting.
  2. One (1) evergreen shrub having a minimum mature height of forty-eight (48) inches shall be provided for every four hundred (400) square feet of required landscaped area.
  3. Live ground cover consisting of low-height plants, or shrubs, or grass shall be planted in the portion of the landscaped area not occupied by trees or evergreen shrubs. Bare gravel, rock, bark or other similar materials may be used, but are not a substitute for ground cover plantings, and shall be limited to no more than twenty-five (25) percent of the required landscape area.

**Response:** This proposal includes landscaping coverage, quantities, species and type consistent with the requirements of this section. Broadly, this includes:

Total Site Area:	327,918sf	
Required Landscaping:	49,188sf	(15%)

Item:	Required:	Provided:
Trees:	62	63
Shrubs:	122	308 (approx.)
Groundcover:	All landscaped areas not covered by trees or shrubs shall be seeded with erosion control plantings.	

Note that all required landscaped elements, including trees, shrubs and groundcover are proposed to be new plantings. There exists onsite a single Red Oak tree which has been identified as diseased by a licensed arborist and recommended for removal. Thus all calculations regarding planting density and species are based on new plantings. Thus the requirements are met. Please see attached **Landscaping Plans (Sheets L1, L2, L3) as well as Memo from Arborist (Exhibit DR06)** for more details on proposed landscaping coverage.

- C. *A hard surface pedestrian plaza or combined hard surface and soft surface pedestrian plaza, if proposed shall be counted towards meeting the minimum landscaping requirement, provided that the hard-surface portion of the plaza shall not exceed twenty-five (25) percent of the minimum landscaping requirement for Conditional Uses in Residential districts, and shall be comprised of the following:*
1. *Brick pavers, or stone, scored, or colored concrete; and,*
  2. *One (1) tree having a minimum mature height of twenty (20) feet for every three hundred (300) square feet of plaza square footage; and,*
  3. *Street furniture including but not limited to benches, tables, chairs and trash receptacles; and,*
  4. *Pedestrian scale lighting consistent with the City's Technical Lighting Standards.*

**Response:** Required landscaping coverage for the site is met via planted areas and thus this section is not required to be counted toward total. Thus the requirement does not apply to this proposal. This proposal does however contain a pedestrian plaza located directly outside the main entry at the NE corner of the building. Plaza shall be scored with a decorative pattern and contain a bench and trash receptacle under cover outside the main entry, lighting consistent with the City Technical Lighting Standards, as well as adjacent plantings to create an inviting and comfortable pedestrian experience for staff and visitors alike.

- D. *All building elevations visible from and within 200 feet of a public street that do not have windows on the ground floor shall have landscaping along their foundation, which shall be counted toward the minimum landscaped requirement. This landscaping requirement shall not apply to portions of the building facade that provide access for pedestrians or vehicles to the building, for plazas adjacent to the building, or when the building is within three (3) feet of the property line. The foundation landscaping shall be at least five (5) feet wide; and shall be comprised of the following:*
1. *One (1) tree having a minimum planting height of six (6) feet shall be planted for every thirty (30) lineal feet of foundation.*
  2. *One (1) shrub having a minimum mature height of twenty-four (24) inches shall be planted for every three (3) lineal feet of foundation and shall be planted between required trees; and,*
  3. *Groundcover plants shall be planted in the remainder of the landscaped area not occupied by required trees and shrubs, and shall not be planted in rows, but in a staggered manner for more effective covering.*

**Response:** This proposal includes landscaping coverage, quantities, species and type consistent with the requirements of this section for locations adjacent to the existing building. Thus the requirement is met. Please refer to attached **Landscape Plans (Sheets L1, L2, L3)** for more details on proposed landscaping coverage.

6. **Common Greens.** *Common greens are intended to serve as a common open space amenity for residents. The following standards apply to common greens for compact detached housing:*

**Response:** This proposal does not include a Residential use. Thus the requirement does not apply.

7. **Shared Courts for Compact Detached Housing.** *Shared courts are intended to serve pedestrians and vehicles within the same circulation area, while ensuring that all can use the area safely.*

**Response:** This proposal does not include a Residential use. Thus the requirement does not apply.

8. **Retaining walls.** *Retaining walls greater than six (6) feet in height or longer than fifty (50) lineal feet used in site landscaping or as an element of site design shall be architecturally treated with contrasting scoring, or texture, or pattern, or off-set planes, or different applied materials, or any combination of the foregoing, and shall be incorporated into the overall landscape plan, or shall be screened by a landscape buffer. Materials used on retaining walls should be similar to materials used in other elements of the landscape plan or related buildings, or incorporate other landscape or decorative features exclusive of signs. If screening by a landscape buffer is utilized, a buffer width of at least five (5) feet is required, landscaped to the B3-High Screen Buffer standards.*

**Response:** This proposal includes a retaining wall that varies in height from 4'-6' along a portion of SW 5<sup>th</sup> Street. This wall was designed, approved and constructed as part of a series of prior land use reviews in 2019 (SDM 2019-0007, ADJ2018-0008, CU2018-0021, CU2018-0222, DR2018-0162). The retaining wall provides a way to transition between the onsite grade and the adjacent public right of way which is significantly lower and does not allow for a flush or sloped transition. The landscaped retaining structure consists of a series of gabions filled with native Camas basalt rocks and boulders that lend texture and interest to the project as viewed from the pedestrian environment as well autos traveling along the streetscape. Thus the requirement is met. Please refer to attached **Landscape Plans (Sheets L1, L2, L3)** for more details on retaining wall location and detail.

9. **Fences and walls.**

- A. *Fences and walls shall be constructed of any materials commonly used in the construction of fences and walls such as wood, stone, rock, or brick, or other durable materials.*
- B. *Chain link fences are acceptable as long as the fence is coated and includes slats made of vinyl, wood or other durable material. Slats may not be required when visibility into features such as open space, natural areas, parks and similar areas is needed to assure visual security, or into on-site areas in industrial zones that require visual surveillance.*

- C. *Masonry walls shall be a minimum of six inches thick. All other walls shall be a minimum of three inches thick.*
- D. *For manufacturing, assembly, fabricating, processing, packing, storage and wholesale and distribution activities which are the principle use of a building in Industrial districts, the preceding standards apply when visible from and within 200 feet of a public street.*
- E. *Fences and walls:*
1. *May not exceed three feet in height in a required front yard along streets, except required above ground stormwater facilities fencing which may be four feet in height in a required front yard, and eight feet in all other locations. [ORD 4659; July 2015]*
  2. *May be permitted up to six feet in a required front yard along designated Collector and Arterial streets.*
  3. *For detached housing along streets and housing facing common greens and shared courts in Multiple Use zones, 3 feet high fences and walls are permitted in front of the building, and on corner lots abutting a street, along the side of the building. Higher fences and walls are permitted on corner lots along the side of the building beginning within 15 feet of the back end of the building nearest to the property line.*

**Response:** This proposal does include a retaining wall as described above that varies in height from 4-6' viewed from the public right of way. Finished height from the uphill onsite side is less than 3' at all locations. This wall was constructed under a prior land use approval and was required due to topographic constraints as described in Section 5.B.8 above. Materials include Camas basalt quarried locally set in gabion structures to provide texture and visual interest for the site as viewed from the ROW.

**10. Minimize significant changes to existing on-site surface contours at residential property lines.**

**Response:** This proposal is neither located in nor abutting a Residential zone and thus the requirement does not apply.

**11. Integrate water quality, quantity, or both facilities. Non-vaulted surface stormwater detention and treatment facilities having a side slope greater than 2:1 shall not be located between a street and the front of an adjacent building.**

**Response:** No surface water quality facilities with slopes exceeding the requirements are proposed at any locations between the street and building frontage. Thus the requirements of this section are met. Please refer to attached **Landscape Plans (Sheets L1, L2, L3)** and **Civil Drawing Set** for more details on stormwater management plan and facility location.

**12. Natural areas. Development on sites with City-adopted natural resource features such as streams, wetlands, significant trees and significant tree groves, shall preserve and maintain the resource without encroachment into any required resource buffer standard unless otherwise authorized by other City or CWS requirements.**

**Response:** This proposal contained minor areas identified as sensitive wetlands under the prior land use review series in 20109. All sensitive areas were mitigated per the requirements and standards of CleanWater Services, DEQ, and the Army COE and no further sensitive areas exist onsite. Please see attached wetland delineation from 2019 for reference, as well and DEQ / ACOE fill permit, and updated CWS Service Provide Letter. Thus the requirements of this section are met.

**13. Landscape buffering and screening.** All new development and redevelopment in the City subject to Design Review shall comply with the landscape buffering requirements of Table 60.05-2. and the following standards. For purposes of this Section, a landscape buffer is required along the property lines between different zoning district designations. A landscape buffer is required for non-residential land uses and parks in Residential zoning districts. Both buffering standards and side and rear building setback requirements shall be met. Only landscaping shall be allowed in the landscape buffer areas. Buffer areas and building setback standards are measured from the property line, they are not additive. Where a yard setback width is less than a landscape buffer width, the yard setback width applies to the specified buffer designation (B1, B2, or B3 as appropriate). A landscape buffer width cannot exceed a minimum yard setback dimension. In addition, the buffer area and landscape standard are intended to be continuously applied along the property line, except as authorized under Section 60.05.45.10.

C. **B2-Medium screen buffer:** This buffer is intended to provide a moderate degree of transitional screening between zones. This buffer consists of live ground cover consisting of low-height plants, or shrubs, or grass, and 1) one (1) tree having a minimum planting height of six (6) feet for every thirty (30) linear feet; 2) evergreen shrubs which reach a minimum height of four (4) to six (6) feet within two (2) years of planting planted proportionately between the required evergreen trees. Live ground cover consisting of low-height plants, or shrubs, or grass shall be planted in the portion of the landscaped area not occupied by trees or evergreen shrubs. Actual spacing for low height plants or shrubs or evergreen shrubs shall be dependent upon the mature spread of the selected vegetation. Bare gravel, rock, bark or other similar materials may be used, but are not a substitute for ground cover plantings, and shall be limited to no more than twenty-five (25) percent of the required landscape area. Deciduous trees having a minimum two-inch caliper at time of planting may be planted in the B2 buffer required for across the street.

LOCATION	ZONING DESIGNATION	LAND USE
North	Community Service Commercial (CS)	Community Service
East	Office Industrial (OI)	Office Industrial
South	Industrial (IND)	Industrial
West	Industrial (IND)	Industrial

**Response:** Per Table 60.05-2, the proposed development requires a 5’ minimum buffer landscaped to the B2 standard referenced above between the site and the CS zoning across the street to the north. This proposal contains a 6’ buffer landscaped to the B2 standard at the nearest point feasible to the north property line, at the top of the gabion retaining wall. Thus this requirement is met. Please refer to attached **Landscape Plans (Sheets L1, L2, L3)** for more details on landscape buffered area.

**14. Community Gardens**

**Response:** This proposal does not contain any proposed community gardens. Thus the requirements of this section do not apply.

**15. South Cooper Mountain Community Plan Open Space and Natural Resource**

**Response:** This proposal is not located in the South Cooper Mountain neighborhood. Thus the requirements of this section do not apply.

**60.05.30 Lighting Design Standards**

*Unless otherwise noted, all standards apply to all uses in all zoning districts except RMA, RMB, and RMC.*

**1. Adequate on-site lighting and minimal glare on adjoining properties.**

- A. *Lighting shall be provided at lighting levels for development and redevelopment in all zoning districts consistent with the City's Technical Lighting Standards.*
- B. *Lighting shall be provided in vehicular circulation areas and pedestrian circulation areas.*
- C. *Lighting shall be provided in pedestrian plazas, if any developed.*
- D. *Lighting shall be provided at building entrances.*
- E. *Canopy lighting shall be recessed so that the bulb or lens is not visible from a public right-of-way.*

**Response:** All proposed onsite lighting has been designed to comply with the *City of Beaverton's Technical Lighting Standards*. Thus the requirements of this section are met. Please refer to attached **Site Photometric Plans E1 and E2** for details on fixtures, lighting levels and layout.

**2. Pedestrian-scale on-site lighting.**

- A. *Pole-mounted Luminaires shall comply with the City's Technical Lighting Standards, and shall not exceed a maximum of:*
  - 1. Fifteen (15) feet** in height for on-site pedestrian paths of travel.
  - 2. Twenty (20) feet** in height for on-site vehicular circulation areas for residential uses in Residential zoning districts.
  - 3. Thirty (30) feet** in height for on-site vehicular circulation areas in non-residential zoning districts.



4. *Fifteen (15) feet for the top deck of non-covered parking structures.*
  5. *The height of the poles for on-site pedestrian ways and on-site vehicular circulation areas shall be measured from the site's finished grade.*
  6. *The height of the poles on the top deck of non-covered parking structures shall be measured from the finished floor elevation of the top deck.*
  7. *The poles and bases for pole-mounted luminaires shall be finished or painted a non-reflective color.*
- B. *Non-pole-mounted luminaires shall comply with the City's Technical Lighting Standards.*
- C. *Lighted bollards when used to delineate on-site pedestrian and bicycle pathways shall have a maximum height of forty-eight (48) inches.*

**Response:** All proposed onsite lighting has been designed to comply with all relevant provisions in the *City of Beaverton's Technical Lighting Standards* and shall not fall under the required illumination levels nor exceed the height values shown in Section 60.05.30.2.A above. Fixture types S1, S2 and S4 are all vehicular lighting areas and thus are set at 30'. Fixture types S4.1 and S5 are pedestrian circulation lighting and are thus set at 15' per the required standard. Thus the requirements of this section are met.

Please refer to attached **Site Photometric Plans E1 and E2** for details on fixtures, lighting levels, pole heights and layout.

## 60.10 Floodplain Regulations

### 60.10.05. Purpose.

*Regulations governing development within floodplains are intended to recognize the need to protect the health, safety and welfare of the community, and maintain the functions and values of floodplains through control of development within the floodplain area so as to minimize public and private losses due to flooding. The preservation of natural features and topography as an aid in floodplain management is a primary purpose of these regulations. However, in the administration of these regulations the existing pattern of man-made improvements shall in some areas be recognized as a constraint on achieving this purpose.*

### 60.10.20. Commercial and Industrial Uses in the Floodway Fringe.

*All commercial and industrial uses, if allowed in the primary zone are allowed in the floodway fringe if the proposed development:*

1. *Meets the requirements of Beaverton Code Section 9.05;*
2. *Meets the requirements of the City Engineering Design Manual and Standard Drawings;*
3. *Meets the requirements of the Clean Water Services District Design and Construction Standards Manual based on affirmative statements in documentation from CWS; and*

4. *Has been reviewed and approved by the appropriate City approval authority as meeting the requirements and standards of this ordinance.*

**Response:** Base Flood Elevation (100 year floodplain) has been established at the intersection of SW 5<sup>th</sup> St and Western Avenue as **204.90'**. Existing (and proposed) building floor elevations have been verified as **206.52'**, approximately **1.62'** above the 100 year flood elevation at the intersection. Thus the proposal meets the requirements of this section.

Additional information regarding Floodway fringe and cut/fill data has been provided by the project’s consulting civil engineer. Please refer to the attached Floodway Cut/Fill memo (**Exhibit DR05d**) for more information.

**60.25 Off-Street Loading Requirements**

**60.25.10. Loading Berth Design.**

*Required off-street loading space shall be provided in berths which conform to the following minimum specifications:*

1. **Type A berths** shall be at least 60 feet long by 12 feet wide by 15 feet high, inside dimensions with a 60 foot maneuvering apron.
2. **Type B berths** shall be at least 30 feet long by 12 feet wide by 14 feet 6 inches high, inside dimensions with 30 feet maneuvering apron

**Response:** All required loading spaces shall comply with the dimensional requirements of this section, and in number as specified below in Section 60.25.15. Thus the requirements of this section are met. Please refer to **Architectural Site Plan Sheet A-1** for more details on location and sizing.

**60.25.15. Number of Required Loading Spaces.**

*The following numbers and types of berths shall be provided for the specified uses. The uses specified below shall include all structures designed, intended or arranged for such use. In the case of a use not specifically mentioned, the requirements for off-street loading facilities shall be the same as a use which is most similar.*

<b>Use</b>	<b>Floor Area</b>	<b>Berths Reqd</b>	<b>Type</b>
<i>Freight terminals, Industrial plants, Manufacturing or wholesale establishments, Warehouses.</i>	<i>60,001 - 100,000</i>	<i>3</i>	<i>A  60'l x 12'w x 15'h each</i>

**Response:** This proposal includes a total of 7 loading spaces complying with the dimensional requirements of Section 60.25.10. Thus the requirements of this section are met. Please refer to **Architectural Site Plan Sheet A-1** for more details on location and sizing.

**60.25.20. Loading Facilities Location.**

1. *The off-street loading facilities required for the uses mentioned in this Code shall be in all cases on the same lot or parcel of land as the structure they are intended to serve. In no case shall the required off-street loading space be part of the area used to satisfy the off-street parking requirements.*

**Response:** All required loading facilities are located on the same parcel of land as they are intended to serve. Thus the requirements of this section are met. Please refer to **Architectural Site Plan Sheet A-1** for more details on location and sizing.

2. *No space for loading or unloading vehicles shall be so located that a vehicle using such loading space projects into any public street. Loading space shall be provided with access to any alley, or if no alley adjoins the lot, with access to a street. Any required front, side or rear yard may be used for loading unless otherwise prohibited by this Code.*

**Response:** All required loading facilities are located and accessed entirely within the site boundaries, no projections into the public right of way are necessary for access or maneuvering of vehicles. Thus the requirements of this section are met. Please refer to **Architectural Site Plan Sheet A-1** for more details on location and sizing.

**60.30 Off-Street Parking****60.30.05 Off-Street Parking Requirements**

*Parking spaces shall be provided and satisfactorily maintained by the owner of the property for each building or use which is erected, enlarged, altered, or maintained in accordance with the requirements of Sections 60.30.05 to 60.30.20.*

1. **Availability.** *Required parking spaces shall be available for parking operable passenger automobiles and bicycles of residents, customers, patrons and employees and shall not be used for storage of vehicles or materials or for parking of trucks used in conducting the business or use.*
  - A. *Businesses that are approved pursuant to the Open Air Beaverton program and are located outside of Regional Center Parking District 1 may utilize a minimum of two off-street parking spaces, or up to one off-street parking space per 1,000 square feet of interior floor area occupied by the business, whichever is greater, for the program. In calculating the number of parking spaces, fractions equal or more than 0.5 shall be rounded up to the nearest whole number. Fractions less than 0.5 shall be rounded down to the nearest whole number.*
  - B. *Businesses that are approved pursuant to the Open Air Beaverton program and are located inside of Regional Center Parking District 1 may utilize an unlimited number of off-street parking spaces for the program, with the parking lot owner's permission.*
2. **Vehicle Parking.** *Vehicle parking shall be required for all development proposed for approval after November 6, 1996 unless otherwise exempted by this ordinance. The number of required vehicle parking spaces shall be provided according to **Section 60.30.10.5**.*
3. **Bicycle Parking.** *Bicycle parking shall be required for quadplexes, townhouses (with 4 or more units), cottage clusters, multi-dwellings, all retail, office and institution developments, and at all transit*

stations and park and ride lots which are proposed for approval after November 6, 1996. The number of required bicycle parking spaces shall be provided according to Section 60.30.10.5. All bike parking facilities shall meet the specifications, design and locational criteria as delineated in this section and the Engineering Design Manual.

**Response:** All parking spaces designed as part of this proposal will comply with all requirements of this section, including number, dimensional standards and location as referenced herein. Note that this proposal has been submitted concurrently with a Request for Parking Determination which, depending on final decision will affect the total number and location of parking spaces provided. Please refer to **Architectural Site Plan Sheet A-1** for more details on location and sizing.

**60.30.10. Number of Required Parking Spaces.**

1. **Parking Calculation.** Parking ratios are based on spaces per 1,000 square feet of gross floor area, unless otherwise noted.
2. **Parking Categories.**
  - A. **Vehicle Categories.** Contained in the table at Section 60.30.10.5. are vehicle parking ratios for minimum required parking spaces and maximum permitted number of vehicle parking spaces to be provided for each land use, except for those uses which are located in the Regional Center which are governed by Section 60.30.10.6. These requirements reflect the parking requirements of Title 4 of Metro's Regional Transportation Functional Plan.
    1. **Minimum number of required parking spaces.** For each listed land use, the City shall not require more than the minimum number of parking spaces calculated for each use.
    2. **Parking Zone A.** Parking Zone A reflects the maximum number of permitted vehicle parking spaces allowed for each listed land use. Parking Zone A areas include those parcels that are located within one-quarter mile walking distance of bus transit stops that have 20-minute peak hour transit service or one-half mile walking distance of light rail station platforms that have 20-minute peak hour transit service.
    3. **Parking Zone B.** Parking Zone B reflects the maximum number of permitted vehicle parking spaces allowed for each listed land use. Parking Zone B areas include those parcels that are located within one-quarter mile walking distance of bus transit stops, one-half mile walking distance of light rail station platforms, or both, or that have a greater than 20 minute peak hour transit service. Parking Zone B areas also include those parcels that are located at a distance greater than one-quarter mile walking distance of bus transit stops, one-half mile walking distance of light rail station platforms, or both.

**Per Table 60.30.10.5.A – Parking Ratio Requirements for Motor Vehicles**

<b>Land Use Category</b>	<b>Min per 1000 SF</b>	<b>Max per 1000 SF</b>
Offices	2.7	3.4
Manufacturing	1.6	2.0
Storage Warehouse	0.3	0.4

**Required Motor Vehicle Parking:**

<b>Use Category:</b>	<b>Area:</b>	<b>Min:</b>	<b>Max:</b>
<i>Manufacturing:</i>	<i>35,488</i>	<i>57</i>	<i>72</i>
<i>Storage Warehouse:</i>	<i>31,479</i>	<i>9</i>	<i>13</i>
<b>Total Required:</b>	<b>66,967</b>	<b>66</b>	<b>85</b>
<b>Total Provided:</b>		<b>70</b>	

**Response:** Total number of parking spaces is proposed at 70 spaces, allowed for the proposed uses onsite per Table 60.30.10.5.A above. Thus the proposed number of spaces meets the requirements of this section. This is also shown and discussed in more detail in the narrative for the **Type II Request for Parking Determination** submitted concurrently with this **Type II Design Review** application.

Note: **Parking Zone A** serves as the maximum parking standard, as the nearby bus stops are within a quarter mile of the site and provide 20 minute frequency during peak hours (Tri Met Line #20).

**B. Bicycle Categories.** The required minimum number of short-term and long-term bicycle parking spaces for each land use is listed in Section 60.30.10.5.

- 1. Short-Term parking.** Short-term bicycle parking spaces accommodate persons that can be expected to depart within two hours. Short-term bicycle parking is encouraged to be located on site within 50 feet of a primary entrance, or if there are site, setback, building design, or other constraints, bicycle parking shall be located no more than 100 feet from a primary entrance in the closest available area to the primary entrance as determined by the decision-making authority
- 2. Long-Term parking.** Long-term bicycle parking spaces accommodate persons that can be expected to leave their bicycle parked longer than two hours. Cover or shelter for long-term bicycle parking shall be provided. School buildings are exempted from the requirement to cover long-term bicycle parking.
- 3. Bicycle parking shall be designed, covered, located, and lighted to the standards of the Engineering Design Manual and Standard Drawings.**

**Per Table 60.30.10.5.B – Parking Ratio Requirements for Bicycles**

<b>Land Use Category</b>	<b>Short Term:</b>	<b>Long Term:</b>
<i>Offices</i>	<i>2, or 1/8,000 SF</i>	<i>2, or 1/8,000 SF</i>
<i>Manufacturing</i>	<i>N/A</i>	<i>2, or 1/20,000 SF</i>
<i>Storage Warehouse</i>	<i>N/A</i>	<i>2, or 1/80,000 SF</i>

**Required Bicycle Parking:**

<b>Use Category:</b>	<b>Area:</b>	<b>Short Term:</b>	<b>Long Term:</b>
<i>Office:</i>	<i>3,000</i>	<i>2</i>	<i>2</i>

<i>Manufacturing:</i>	<i>32,488</i>	<i>0</i>	<i>4</i>
<i>Storage Warehouse:</i>	<i>31,479</i>	<i>0</i>	<i>2</i>
<b><i>Total Required:</i></b>	<b><i>66,967</i></b>	<b><i>2</i></b>	<b><i>8</i></b>
<b><i>Total Provided:</i></b>		<b><i>2</i></b>	<b><i>8</i></b>

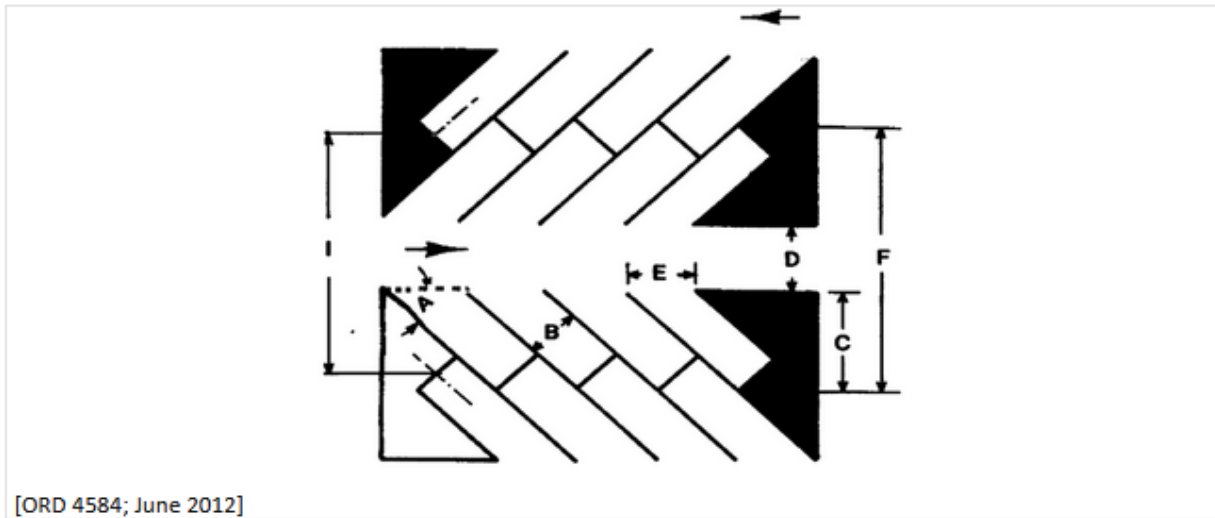
**Response:** Total number of short and long term bicycle parking spaces are shown above and follow the required tabular values for all use types. Thus the requirements of this section are met. Refer to **Architectural Site Plan Sheet A-1** for details on bicycle parking locations.

**60.30.15. Off-Street Parking Lot Design.**

All off-street parking lots shall be designed in accordance with City Standards for stalls and aisles as set forth in the following drawings and tables:

A	B	C	D	E	F	G	H	I
45 degrees	8.5	18.7	12.0	12.0	49.4	2.0	5.0	43.4
60 degrees	8.5	19.8	14.5	9.8	54.1	2.5	5.0	49.9
75 degrees	8.5	19.6	23.0	8.8	62.2	2.5	5.0	60.0
90 degrees	8.5	18.5	24.0	8.5	61.0	3.0	5.0	61.0
90 degrees*	7.5	15.0	24.0	7.5	58.0	2.0	5.0	58.0

\* "Compact" Car (Section 60.30.10.12.)



**Response:** All required parking spaces onsite have been designed to comply with the dimensional standards shown above, as well as the *City of Beaverton’s Engineering Design Manual and Standard Drawings*. Most are 45 degree one way angle parking. ADA stalls are designed as head in 90 degree parking. Thus the requirements of this section are met. Refer to **Architectural Site Plan Sheet A-1** for details on vehicle parking locations and dimensions.

**60.55 Transportation Facilities**

**60.55.05. Purpose and Intent.**

It is the purpose and intent of this chapter to establish design standards and performance requirements for all streets and other transportation facilities constructed or reconstructed within the City of Beaverton.

**Response:** No new streets or transportation facilities are proposed as part of this project. Note: The City of Beaverton is reconstructing a portion of the adjacent public right of way including new pedestrian and bicycle facilities along SW Western Avenue and a portion of SW 5<sup>th</sup> Street as part of the Western Avenue Capital Improvement Project (CIP 3328). The Applicant has no control over these public facilities, and in fact

has submitted a concurrent **Type I Sidewalk Design Modification** to modify a portion of the sidewalk along SW 5<sup>th</sup> Street to align with CIP mandated roadway and cross sectional dimensions.

#### **60.55.15. Traffic Management Plan.**

*Where development will add 20 or more trips in any hour on a residential street, a Traffic Management Plan acceptable to the City Engineer shall be submitted in order to complete the application. A residential street is any portion of a street classified as a Local Street or Neighborhood Route and having abutting property zoned RMA, RMB, or RMC.*

**Response:** This project is not located in a Residential zone, thus the requirements of this section do not apply to the proposal.

#### **60.55.20. Traffic Impact Analysis.**

*For each development proposal that exceeds the Analysis Threshold of 60.55.20.2, the application for land use or design review approval shall include a Traffic Impact Analysis as required by this code. The Traffic Impact Analysis shall be based on the type and intensity of the proposed land use change or development and its estimated level of impact to the existing and future local and regional transportation systems.*

**Response:** Applicant has provided a *Trip Generation Memo from Lancaster Mobley Traffic Engineers to assess whether the project will trigger the threshold requiring a Traffic Impact Analysis*. Per the attached Memo from Lancaster Mobley the project will generate a total of 220 trips, under the 300 trip threshold. Thus the requirements of this section do not apply to the proposal. Please see attached **Traffic Memo Addendum #1 Exhibit** for additional information on trip generation.

#### **60.55.25. Street and Bicycle and Pedestrian Connection Requirements.**

- 1. All streets shall provide for safe and efficient circulation and access for motor vehicles, bicycles, pedestrians, and transit. Bicycle and pedestrian connections shall provide for safe and efficient circulation and access for bicycles and pedestrians.*

**Response:** This project does not include any new public streets, however the existing street system serves the site safely and efficiently on both public facing frontages (SW 5<sup>th</sup> St and SW Western Ave). Thus the requirements of this section are met. Of note, all vehicular, pedestrian and bicycle routes and access points to the existing ROW were designed and partially constructed as part of the **Western Avenue Capital Improvement Project (CIP 3328)** and are not in the control of the Applicant. This project does contain multiple pedestrian and bicycle access points to and from the site to the public right of way however, also designed as part of a comprehensive, safe and efficient circulation system as described in Section 60.05.20 and elsewhere in this narrative.



- 2. The Comprehensive Plan Transportation Element Figures 6.1 through 6.23 and Tables 6.1 through 6.6 shall be used to identify ultimate right-of-way width and future potential street, bicycle, and pedestrian connections in order to provide adequate multi-modal access to land uses, improve area circulation, and reduce out-of-direction travel.*

**Response:** Comprehensive Plan Transportation Element, Figures 6.1 through 6.23 and Tables 6.1 through 6.6 were used as part of CIP Project #3328 referenced above to identify all required ROW widths for future possible street, bicycle, and pedestrian connections. The City of Beaverton provided all engineering for the right of way improvements along both SW Western Avenue and SW 5th Street as part of these public improvements, terminating approximately 65'-6" west of the intersection. Additionally, a 7'-0" easement and property dedication was required along SW 5th Avenue frontage to allow for these public improvements.

- 3. Where a future street or bicycle and pedestrian connection location is not identified in the Comprehensive Plan Transportation Element, where abutting properties are undeveloped or can be expected to be redeveloped in the near term, and where a street or bicycle and pedestrian connection is necessary to enable reasonably direct access between and among neighboring properties, the applicant shall submit as part of a complete application, a future connections plan showing the potential arrangement of streets and bicycle and pedestrian connections that shall provide for the continuation or appropriate projection of these connections into surrounding areas.*

**Response:** This project does not abut any undeveloped properties or other properties that may develop in the near future outside the site that would require future direct access (other than via public improvements already existing), therefore the requirements of this section do not apply to the proposal.

- 4. Streets and bicycle and pedestrian connections shall extend to the boundary of the parcel under development and shall be designed to connect the proposed development's streets, bicycle connections, and pedestrian connections to existing and future streets, bicycle connections, and pedestrian connections. A closed-end street, bicycle connection, or pedestrian connection may be approved with a temporary design.*

**Response:** This project contains fully developed public streets on both public facing frontages along SW 5<sup>th</sup> St and SW Western Ave. These improvements extend the full width and depth of the public frontages, therefore the requirements of this section are met. Additionally, as part of the CIP Project #3328, the frontage along SW Western contains a dedicated bicycle lane to the southern boundary. Pedestrian improvements extend to both the southern and western boundaries of the site as well, so it is well served with multi modal connections.

- 5. Whenever existing streets and bicycle and pedestrian connections adjacent to or within a parcel of land are of inadequate width, additional right-of-way may be required by the decision-making authority.*

**Response:** As part of **CIP Project #3328**, a portion of the site along SW 5<sup>th</sup> St, and a tapered portion along SW Western Ave was required to be dedicated to provide adequate width for the planned public improvements. The property has been dedicated and recorded and is shown on the updated **Architectural Site Plan Sheet A-1** for reference, thus the requirements of this section are met. Of note, the design of these facilities were outside the control of the applicant, nevertheless all vehicular, pedestrian and bicycle connections were designed and partially constructed under prior land use approvals issued in 2019 to meet the required widths as part of the CIP and LUR approval process. This proposal also includes an updated **Sidewalk Design Modification** request to re-establish the background and pre existing conditions in the adjacent ROW, and show the street and sidewalk design parameters for review.

6. *Where possible, bicycle and pedestrian connections shall converge with streets at traffic-controlled intersections for safe crossing.*

**Response:** All pedestrian and bicycle connections merge at the NE corner intersection abutting the property, which is a traffic controlled intersection. Improvements are shown on the attached **Architectural Site Plan Sheet A-1, Civil Site Plan C-1, and Landscape Plans (Sheets L1, L2, L3)**. Thus the requirements of this section are met.

7. *Bicycle and pedestrian connections shall connect the on-site circulation system to existing or proposed streets, to adjacent bicycle and pedestrian connections, and to driveways open to the public that abut the property. Connections may approach parking lots on adjoining properties if the adjoining property used for such connection is open to public pedestrian and bicycle use, is paved, and is unobstructed.*

**Response:** All onsite pedestrian and bicycle circulation paths connect directly to either SW Western Ave to the east or SW 5<sup>th</sup> St to the north, thus the requirements of this section are met. See **Architectural Site Plan Sheet A-1** for reference.

8. *To preserve the ability to provide transportation capacity, safety, and improvements, a special setback line may be established by the City for existing and future streets, street widths, and bicycle and pedestrian connections for which an alignment, improvement, or standard has been defined by the City. The special setback area shall be recorded on the plat.*

**Response:** As discussed herein, this project has already dedicated public ROW along a portion of SW 5<sup>th</sup> St to the north and SW Western Ave to the east. Additional ROW was dedicated at the NE corner to accommodate pedestrian and bicycle connections per **CIP Project #3328**. Thus the requirements of this section apply, and have been met and recorded on the plat. See **Architectural Site Plan Sheet A-1** for reference.

9. *Accessways are one or more connections that provide bicycle and pedestrian passage between streets or a street and a destination. Accessways shall be provided as required by this code and*

where full street connections are not possible due to the conditions described in Section 60.55.25.13. An accessway will not be required where the impacts from development, redevelopment, or both are low and do not provide reasonable justification for the estimated costs of such accessway.

A. Accessways shall be provided as follows:

1. In any block that is longer than 600 feet as measured from the near side right-of-wayline of the subject street to the near side right-of-way line of the adjacent street, an accessway shall be required through and near the middle of the block.
2. If any of the conditions described in Section 60.55.25.13. result in block lengths longer than 1200 feet as measured from the near side right-of-way line of the subject street to the near side right-of-way line of the adjacent street, then two or more accessways may be required through the block.
3. Where a street connection is not feasible due to conditions described in Section 60.55.25.13., one or more new accessways to any or all of the following shall be provided as a component of the development if the accessway is reasonably direct: an existing transit stop, a planned transit route as identified by TriMet and the City, a school, a shopping center, or a neighborhood park.
4. The City may require an accessway to connect from one cul-de-sac to an adjacent cul-de-sac or street.
5. In a proposed development or where redevelopment potential exists and a street connection is not proposed, one or more accessways may be required to connect a cul-de-sac to public streets, to other accessways, or to the project boundary to allow for future connections.
6. Within the South Cooper Mountain Community Plan area, the City may require an accessway to connect from multi-use paths or trails to streets, multi-use paths, or trails.

**Response:** The subject site is less than 600 feet in length or depth (approx. 583' x 570'), therefore the requirements of this section do not apply. This project does not propose or anticipate any accessways being required as a result.

B. Accessway Design Standards.

1. Accessways shall be as short as possible and wherever practical, straight enough to allow one end of the path to be visible from the other.
2. Accessways shall be located to provide a reasonably direct connection between likely pedestrian and bicycle destinations.

**Response:** This project does not propose or anticipate any accessways being required, therefore the requirements of this section do not apply.

10. Pedestrian Circulation.

- A. Walkways are required between parts of a development where the public is invited or allowed to walk.
- B. A walkway into the development shall be provided for every 300 feet of street frontage. A walkway shall also be provided to any accessway abutting the development.
- C. Walkways shall connect building entrances to one another and from building entrances to adjacent public streets and existing or planned transit stops. Walkways shall connect the development to walkways, sidewalks, bicycle facilities, alleyways and other bicycle or pedestrian connections on adjacent properties used or planned for commercial, multifamily, institution or

*park use. The City may require connections to be constructed and extended to the property line at the time of development.*

- D. Walkways shall be reasonably direct between pedestrian destinations and minimize crossings where vehicles operate.*
- E. Walkways shall be paved and shall maintain at least four feet of unobstructed width. Walkways bordering parking spaces shall be at least seven feet wide unless concrete wheel stops, bollards, curbing, landscaping, or other similar improvements are provided which prevent parked vehicles from obstructing the walkway. Stairs or ramps shall be provided where necessary to provide a reasonably direct route. The slope of walkways without stairs shall conform to City standards.*
- F. The Americans with Disabilities Act (ADA) contains different and stricter standards for some walkways. The ADA applies to the walkway that is the principal building entrance and walkways that connect transit stops and parking areas to building entrances. Where the ADA applies to a walkway, the stricter standards of ADA shall apply.*
- G. On-site walkways shall be lighted to 0.5 foot-candle level at initial luminance. Lighting shall have cutoff fixtures so that illumination does not exceed 0.5 foot-candle more than five (5) feet beyond the property line.*

**Response:** All onsite pedestrian circulation is designed to comply with the requirements of this section. All pedestrian connections from both SW 5<sup>th</sup> St and SW Western Avenue are as direct as safely practical from the ROW to the main building entry, cross vehicular travel lanes with a marked crossing, comply with ADA slope standards, all are at least 4' in width, lighted to meet pedestrian lighting standards, and are spaced no farther than 300'. Please refer to **Architectural Site Plan Sheet A-1 and Landscape Plans (Sheets L1, L2, L3)** for reference.

- 11. Pedestrian Connections at Major Transit Stops. Commercial and institution buildings at or near major transit stops shall provide for pedestrian access to transit through the following measures:*

**Response:** Although there is a Tri Met bus stop (Route #53) at the adjacent intersection of SW 5<sup>th</sup> St and SW Western Ave, there are no major transit stops located near the subject site, therefore the requirements of this section do not apply.

- 12. Assessment, review, and mitigation measures (including best management practices adopted by local agencies) shall be completed for bicycle and pedestrian connections located within the following areas: wetlands, streams, areas noted as Significant Natural Resources Overlay Zones, Significant Wetlands and Wetlands of Special Protection, and Significant Riparian Corridors within Volume III of the Comprehensive Plan Statewide Planning Goal 5 Resource Inventory Documents and Significant Natural Resources Map, and areas identified in regional and/or intergovernmental resource protection programs.*

**Response:** This site does not contain any of the sensitive land designations identified above, thus the requirements of this section do not apply.

13. *New construction of bicycle and pedestrian connections along residential rear lot lines is discouraged unless no comparable substitute alignment is possible in the effort to connect common trip origins and destinations or existing segment links.*

**Response:** This project site does not abut any residentially zoned properties, thus the requirements of this section do not apply.

### **60.55.30. Minimum Street Widths.**

*Minimum street widths are depicted in the Engineering Design Manual.*

1. *Any project-specific modifications of the standards contained in the Engineering Design Manual regarding the widths of features relating to the movement of vehicles, including but not limited to rights of way, travel lanes, parking lanes, bike lanes, driveway aprons, curb radii, or other such features shall be processed in accordance with the provisions contained in the Section 145 Design Modifications of the Engineering Design Manual.*

**Response:** All aspects of this proposal comply with the Engineering Design Manual, with the exception of a portion of the 5<sup>th</sup> St frontage improvements. Proposed modifications to the sidewalk section for this area are outlined in detail under the corresponding *Type I Sidewalk Design Modification*, shown under **Section 40.58** of this narrative.

Note that all onsite parking circulation is shown via directional arrows on both the architectural and civil plans for reference. Please see **Arch Site Plans Sheets A-2 and A-3** for reference.

2. *Any project-specific modifications of the standards of the Engineering Design Manual relating to the location and dimensions of required street landscaping and pedestrian features including, but not limited to, sidewalks, planter strips, street trees, street tree wells, street tree easements, or street furniture are subject to the procedures contained in Chapter 40 (Applications). The required application will depend on the scope of the proposed project and the type of application filed with the City.*

**Response:** This proposal includes a request for a **Sidewalk Design Modification** per Section 40.58 to taper the existing sidewalk along SW 5<sup>th</sup> St to meet the required ROW widths at the intersection of SW 5<sup>th</sup> St and SW Western Ave. The City of Beaverton is engineering all right-of-way improvements along SW Western Avenue which wrap the northeast corner of the property terminating approximately 65'-6" from the intersection on SW 5th Street. The existing curb line is required to connect to the City of Beaverton engineered conditions, and to be modified to allow a bicycle lane and vehicle turning lane at the intersection.

In response to the existing topography as well as the engineered improvements referenced above, the SDM proposes a 10'-0" curb tight sidewalk with tree wells in lieu of the standard EDM section for a limited extent (279' +/-) of the overall 593' frontage

along SW 5<sup>th</sup> Street. Please see attached **Architectural Site Plan Sheet A-1** and **Civil Utility Plans** (multiple) for reference.

**60.55.35. Access Standards.**

1. *The development plan shall include street plans that demonstrate how safe access to and from the proposed development and the street system will be provided. The applicant shall also show how public and private access to, from, and within the proposed development will be preserved.*

**Response:** This proposal includes a development plan showing how all vehicular access points provide safe and efficient access from both SW 5<sup>th</sup> St and SW Western Ave, thus the requirements of this section are met. Please see attached **Architectural Site Plan Sheet A-1** and **Civil Utility Plans** (multiple) for reference.

2. *No more than 25 dwelling units may have access onto a closed-end street system unless the decision making authority finds that identified physical constraints preclude compliance with the standard and the proposed development is still found to be in compliance with the Facilities Review criteria of Section 40.03.*

**Response:** This proposal does not include any residential uses, thus the requirements of this section do not apply.

3. *Intersection Standards.*

- A. *Visibility at Intersections. All work adjacent to public streets and accessways shall comply with the standards of the Engineering Design Manual except in Regional and Town Centers.*
  2. *The requirements specified in 60.55.35.3.A. may be lessened or waived by the decision-making authority if the project will not result in an unsafe traffic situation. In making its determination, the decision-making authority shall consider the safety of the users of the intersection (including pedestrians, bicyclists and motorists), design speeds, the intersection sight distance standards of the Engineering Design Manual, and other applicable criteria.*

**Response:** All vehicular access points and intersections have been designed in accordance with the *Engineering Design Manual*, thus the requirements of this section are met.

- B. *Intersection angles and alignment and intersection spacing along streets shall meet the standards of the Engineering Design Manual and Standard Drawings.*
  1. *Local street connections at intervals of no more than 330 feet should apply in areas planned for the highest density multiple use development.*

**Response:** All vehicular intersection angles and intersection spacing have been designed in accordance with the *Engineering Design Manual* as part of the associated *Capital Improvement Project CIP #23328*, thus the requirements of this section are met. Please refer to **Civil Site Utility Plan Sheet C-1** for reference.

- C. *Driveways.*

1. *Corner Clearance for Driveways.* Corner clearance at signalized intersections and stop-controlled intersections and spacing between driveways shall meet the standards of the Engineering Design Manual and Standard Drawings.
2. *Shared Driveway Access.* Whenever practical, access to Arterials and Collectors shall serve more than one site through the use of driveways common to more than one development or to an on-site private circulation design that furthers this requirement. Consideration of shared access shall take into account at a minimum property ownership, surrounding land uses, and physical characteristics of the area. Where two or more lots share a common driveway, reciprocal access easements between adjacent lots may be required.
3. *No new driveways for detached dwellings shall be permitted to have direct access onto an Arterial or Collector street except in unusual circumstances where emergency access or an alternative access does not exist. Where detached dwelling access to a local residential street or Neighborhood Route is not practicable, the decision-making authority may approve access from a detached dwelling to an Arterial or Collector.*

**Response:** This proposed development has been designed to ensure all corner clearances and sight distances are in compliance with the Engineering Design manual. In addition, driveway access points have been designed to optimize connection points and spacing. No dwellings are proposed as part of this project. Thus the requirements of this section are met.

#### **60.55.40. Transit Facilities.**

*Transit routes and transit facilities shall be designed to support transit use through provision of transit improvements. These improvements shall include passenger landing pads, accessways to the transit stop location, or some combination thereof, as required by TriMet and the City, and may also include shelters or a pad for a shelter. In addition, when required by TriMet and the City, major industrial, institution, retail, and office developments shall provide either a transit stop on site or a pedestrian connection to a transit stop adjacent to the site.*

1. *Transit Shelters.* All transit shelters and sidewalk furniture shall meet the following standards.
  - A. *The proposal is located entirely within the existing public right-of-way, public access easement, or property owned by a public agency.*
  - B. *The proposal maintains an unobstructed path of travel of no less than six feet (6') unless a greater unobstructed path is required by this code for a specific sidewalk.*
  - C. *The proposal is not located within eight feet (8') of a point of ingress or egress of an existing structure.*
  - D. *The proposal is not located within a vision clearance area for a street, driveway, or other facility where vehicles regularly travel.*
  - E. *The proposal is not located within twelve feet (12') of a window display area.*
  - F. *The proposal does not consist of solid panels other than what is required to post transit schedules.*

**Response:** This proposal does not include the requirement for either an onsite or public transit facility per Tri Met or the City of Beaverton, therefore the requirements of this section do not apply. There is an existing Tri Met bus stop (Route #53) at the corner of SW 5<sup>th</sup> St and SW Western Ave, which is connected to the onsite pedestrian circulation system via multiple connection points described more fully in other sections of this narrative.

## 60.65 Utility Undergrounding

### 60.65.15. Regulation.

*All existing and proposed utility lines within and contiguous to the subject property, including, but not limited to, those required for electric, communication, and cable television services and related facilities shall be placed underground as specified herein. The utilities required to be placed underground shall be those existing overhead utilities which are impacted by the proposed development and those utilities that are required to be installed as a result of the proposed development.*

1. *At the option of the applicant and subject to rules promulgated by the Oregon Public Utility Commission (PUC), this requirement does not apply to surface mounted transformers, surface mounted connection boxes and meter cabinets, which may be placed above ground, temporary utility service facilities during construction, high capacity electric lines operating at 50,000 volts or above, and that portion of a project where undergrounding will require boring under a Collector or Arterial roadway, and City funded roadway projects which the City Council has specifically considered and declined to fund utility undergrounding as a component of the roadway project, Washington County funded roadway projects, such as MSTIP projects, and Oregon Department of Transportation funded roadway projects.*
2. *The developer shall make all necessary arrangements with the serving private utility to cause the utility service(s) to be placed underground;*
3. *The City reserves the right to approve surface mounted facilities;*
4. *All underground public and private utilities shall be constructed or installed prior to the final surfacing of the streets; and*
5. *Stubs for service connections and other anticipated private extensions at street intersections shall be long enough to avoid disturbing street surfaces and right-of-way improvements such as sidewalks and landscaping areas when service connections are made.*
6. *Unless otherwise specifically required in an existing franchise between the City and the particular private utility, or PUC rule, the applicant or developer responsible for initiating the requirement for placing overhead utilities underground is responsible for the cost of converting all existing customer equipment and private utilities on private or public property, or both to meet utility undergrounding requirements.*
7. *If the private utility service provider requires an applicant, as a component of the applicant's placing private utilities underground, to install facilities to accommodate extra capacity beyond those necessitated by the proposed development, the private utility service provider shall be financially responsible for providing the means to provide such extra capacity.*

**Response:** All utilities serving this project have been designed to be placed underground as specified in this section, thus the requirements of this section are met. Please refer to **Civil Site Utility Plan Sheets C-1 through C-6** for additional information on utility connection type, location and details.

### 60.65.20. Information on Plans.

*The applicant for a development subject to design review, subdivision, partition, or site development permit approval shall show, on the proposed plan or in the explanatory information, the following:*

1. *Easements for all public and private utility facilities;*
2. *The location of all existing above ground and underground public and private utilities within 100 feet of the site;*
3. *The proposed relocation of existing above ground utilities to underground; and*



4. *That above ground public or private utility facilities do not obstruct vision clearance areas pursuant to Section 60.55.35.3 of this Code.*

**Response:** All utilities and utility easements serving this project and within the scope radius are shown to the required level of detail specified in this section, thus the requirements of this section are met. Please refer to ***Civil Site Utility Plan Sheets C-1 through C-6*** for additional information on utility connection type, location and details.

## IV. Conclusion

In considering the above project narrative, response to approval criteria and supplemental graphic and jurisdictional exhibits, we believe that this proposal meets the threshold for approval for all requested land use reviews. The proposed modifications to the existing site and building provide an attractive and inviting experience for staff and visitors alike on this prominent corner, and on balance provides a net benefit for the industrial zone as well as the surrounding community. We hope that the City will support approval of this proposal based on all the merits described herein.

Thank you,

A handwritten signature in black ink, appearing to read "Peter Grimm". The signature is fluid and cursive, with the first name "Peter" written in a larger, more prominent script than the last name "Grimm".

**SCOTT EDWARDS ARCHITECTURE, LLP**

Peter Grimm

Principal

## Exhibit APP 2.1

### Aaron Harris

---

**From:** Peter Grimm <Peter@seallp.com>  
**Sent:** Wednesday, February 22, 2023 12:03 PM  
**To:** Aaron Harris  
**Subject:** [EXTERNAL] RE: OME Qs for the staff report

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**CAUTION:** This email originated from outside the City of Beaverton. Exercise caution when opening attachments or clicking links from unknown senders.

Aaron:

Following up on our conversation today. I see the fence you are referring to, my apologies for not catching that earlier. The intent for the fence in question is for it to be a basic security fence for the exterior tanks, doesn't have to be any taller than 6' and we will design it to comply with all relevant provisions of the zoning code as it pertains to onsite fencing.

Not sure if this impacts the design, but the fence is not readily visible from either Western Ave or 5<sup>th</sup> St. Regardless, we will comply with whatever design provisions are required with regard to height and materials.

Let me know if you have any additional questions for the staff report.

Thanks,  
Peter

---

**From:** Aaron Harris <aharris@beavertonoregon.gov>  
**Sent:** Tuesday, February 21, 2023 9:08 AM  
**To:** Peter Grimm <Peter@seallp.com>  
**Subject:** RE: OME Qs for the staff report

Hi Peter,

The fence I'm referring to isn't on the property line but just west of the proposed additions, just north of the one-way traffic circulation. The landscape plans state 'FENCE' in uppercase letters on Sheets L2 and L4.

Best,  
Aaron

---

**From:** Peter Grimm <[Peter@seallp.com](mailto:Peter@seallp.com)>  
**Sent:** Tuesday, February 21, 2023 8:57 AM  
**To:** Aaron Harris <[aharris@beavertonoregon.gov](mailto:aharris@beavertonoregon.gov)>  
**Subject:** [EXTERNAL] RE: OME Qs for the staff report

**CAUTION:** This email originated from outside the City of Beaverton. Exercise caution when opening attachments or clicking links from unknown senders.

Aaron:

I am uploading the perfection set today, you should see that in the inbox when you return on Tuesday. We have updated

## Exhibit APP 2.1

our landscape planting plans to add additional new trees to mitigate the removal of the (1) diseased Red Oak. Additionally, we have revised our arch site plan to show carpool/vanpool spaces.

For the two remaining questions:

1. There is no fence shown on the landscape planting plan southern boundary. I believe what you are seeing is the proposed waterline loop from 5<sup>th</sup> to Western. That also carries an easement which will be recorded as a Condition of Approval. I believe there is a chain link fence on the RR side of the property line at the southern boundary but we do not have ownership or control over that element.
2. The max height of the Gabion retaining wall along SW 5<sup>th</sup> St is 7'-0" max per detail 2/C2.1 in the civil drawing set.

Let me know if you have any additional questions during your final review of the submittal package. We had a very productive meeting with Kyler and Khoi- they are going to allow the existing SD permit to remain open and the Building Shell permit to be issued independently following DR approval and re-review. All good!

Thanks,  
Peter

---

**From:** Peter Grimm  
**Sent:** Tuesday, January 31, 2023 6:21 PM  
**To:** Aaron Harris <[aharris@beavertonoregon.gov](mailto:aharris@beavertonoregon.gov)>  
**Subject:** RE: OME Qs for the staff report

Aaron:

Can do. I am traveling Wed-Fri this week, can I get it to you Monday? I will need to have the Contractor verify the height of the retaining wall.

For the existing fence along the southern property line, I believe that is a required fence to separate the site from rail traffic (there's a rail line right on the property line). Not sure there's anything we can do about that, I would have to research who owns the rail line and what the safety rules require.

Peter

---

**From:** Aaron Harris <[aharris@beavertonoregon.gov](mailto:aharris@beavertonoregon.gov)>  
**Sent:** Tuesday, January 31, 2023 9:15 AM  
**To:** Peter Grimm <[Peter@seallp.com](mailto:Peter@seallp.com)>  
**Subject:** OME Qs for the staff report

Hi Peter,

I'm working away on the staff report and have a couple of questions for you. First question: can you please provide details describing how the fence identified on the landscape plan near the Southern Property line meets the approval criteria in 60.05.25.9? The application narrative for this section appears to only address the retaining wall along SW 5<sup>th</sup>. Second question: what is the minimum and what is the maximum height of the retaining wall as measured along SW 5th Street? My thanks in advance!

Best,

**Aaron Harris, AICP**  
Senior Planner | Current Planning | Community Development  
City of Beaverton | PO Box 4755 | Beaverton, OR 97076-4755

# Exhibit APP 2.1

**Aaron Harris**

---

**From:** Peter Grimm <Peter@seallp.com>  
**Sent:** Wednesday, March 8, 2023 10:15 AM  
**To:** Aaron Harris  
**Subject:** [EXTERNAL] Organic Milk Exchange: Clarifications

**CAUTION:** This email originated from outside the City of Beaverton. Exercise caution when opening attachments or clicking links from unknown senders.

Arron:

Per your request, the following items are provided as clarifications to the design narrative submitted for the project:

## **BDC Section 60.05.15.2.D**

### **Original Narrative Response:**

*D. When an addition to an existing structure or a new structure is proposed in an existing development, the roof forms for the new structures shall have similar slope and be constructed of the same materials as existing roofs.*

**Response:** The proposed addition to the south of the existing building will contain a flat roof identical in slope to the existing building and also be screened behind a parapet of the same height and geometry as the existing building. Therefore this standard is met. Please refer to the **Building Elevations Sheet A-5** for more detail.

### **Clarification:**

In addition to the roof slope, the proposed new roof will also match the material used on the existing roof.

## **BDC Section 60.05.30.1.E**

### **Original Narrative Response:**

*E. Canopy lighting shall be recessed so that the bulb or lens is not visible from a public right-of-way.*

**Response:** All proposed onsite lighting has been designed to comply with the *City of Beaverton's Technical Lighting Standards*. Thus the requirements of this section are met. Please refer to attached **Site Photometric Plans E1 and E2** for details on fixtures, lighting levels and layout.

### **Clarification:**

Proposed canopy downlights will be flush surface mounted can type fixtures with a recessed lens that will not be visible from the public right of way.

Let me know if there are any other questions or clarifications needed.

Thanks,

**Peter Grimm**

Principal | Architect AIA

[he/him/his]

October 15, 2022

## I. Completeness Response

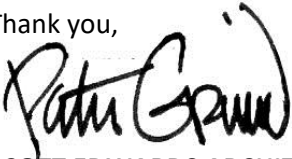
### General Information

This memo is being submitted in response to the letter received from the City of Beaverton on August 16, 2022, listing items deemed incomplete with respect to the *Type II Design Review*, *Type II Parking Determination*, and *Type I Sidewalk Design Modification* requests.

Original text is shown below, and the response lists the appropriate place in either the narrative, graphics or exhibits to find the information. Please note that there were several additional comments that were not listed as essential for completeness, but that applicant has made a diligent effort to address and respond to herein. We believe all comments have been addressed fully. Please let me know if you find any items not fully addressed and we will quickly add additional information requested.

Please also note the Response to incomplete *Site Development* comments originally issued August 10, 2022 at the end of this response letter.

Thank you,



SCOTT EDWARDS ARCHITECTURE, LLP

Peter Grimm

Principal

## Exhibit APP 2.1



Community Development Department | Planning Division  
12725 SW Millikan Way | Beaverton, OR 97076  
General Information: (503) 526-2222 V/TDD  
www.BeavertonOregon.gov

August 16, 2022

**Response:** October 15, 2022

Attn: Tom Byrne

**Response:** Peter Grimm  
Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

**RE: Organic Milk Exchange (DR2022-0098/PD2022-0003)**

Dear Applicant,

Staff has finished its completeness review and has deemed the application incomplete. The purpose of this letter is to inform you of the items necessary to make your application complete. This letter does not identify all of the issues regarding the content of the materials that have been submitted.

Review of the content of the submitted material and staff's recommendation on the proposal will occur during the project review phase of the application process after your proposal is deemed complete.

**COMPLETENESS ISSUES:** Pursuant to Section 50.25.1 of the Development Code, a complete application is one that contains the information required by the Director to address the relevant criteria, development requirements and procedures of this Code. The following items must be addressed and submitted in order for the application to be deemed complete:

**A. WRITTEN STATEMENT:**

1. Please apply for a Sidewalk Design Modification application or provide the standard sidewalk and plater strip cross section per the Engineering Design Manual. According to the applicant's site plan, a curb-tight sidewalk is proposed along SW 5th St. Therefore, the proposal requires approval of a Sidewalk Design Modification application, consistent with BDC Section 40.58. The subject site's previously approved Sidewalk Design Modification (SDM2019-0007) requires consistency with Design Review application DR2018-0162 and therefore cannot be applied to the current land use proposal (DR2022-0098). The recommended alternative would be to provide the standard sidewalk cross section instead of a Sidewalk Design Modification (SDM) application. There are specific approval criteria which must be met in order for a SDM to be approved, if none of the specific criteria in the SDM apply to this proposal then the standard sidewalk will be required

## Exhibit APP 2.1

**Response:** Applicant has concurrently submitted a new request for a *Type I Sidewalk Design Modification*. Please refer to attached SDM narrative and graphic exhibits for clarification on proposed sidewalk design details and methodology.

2. *Please revise the narrative to describe how the applicable off-street loading requirements in BDC 60.25 are satisfied or discuss why the standard is not applicable to the proposal per BDC 60.25.05. Staff does not possess the authority to waive applicable standards through the pre-application process.*

**Response:** Design Review narrative has been revised to add language and tabular values showing how the proposal complies with BDC Section 60.25. Please refer to narrative section.

3. *Please provide a trip generation statement, signed by a registered engineer, that meets the standards in BDC Section 60.55.20. A traffic report is referenced on page 15 of the narrative, but it was not included with the submittal package.*

**Response:** Trip generation memo has been submitted as part of the Parking Determination Request materials. Please see memo from Lancaster Mobley dated September 7th, 2022.

4. *Please provide sufficient quantitative data to enable staff to verify that the proposal meets the 15% threshold required for permanent architectural features per BDC Section 60.05.15.B. Please provide the total square footage for each applicable façade and the square footage of the different permanent architectural features providing articulation and variety. Please also ensure that the elevations drawing provided clearly reflect these features.*

**Response:** Design Review narrative has been revised to show how the proposal complies with BDC Section 60.05.15.B. Please refer to narrative section.

5. *Please update the site plan and narrative to address applicable buffering standards. The property north of the subject site is zoned Community Service (CS). According to BDC 60.05.25.13 and Table 60.05-2, the proposal requires an on-site, five-foot B2 buffer, as measured from the property line.*

**Response:** Design Review narrative, Architectural Site Plan, and Landscape Planting Plan have all been revised to include the required 5' B2 buffer on the north edge of the property. Please refer to narrative section and referenced drawings.



## Exhibit APP 2.1

- Please provide copies of any documents referenced in the project narrative and intended to help demonstrate compliance with applicable code criteria. For example, narrative page 14 references a report that was submitted and approved with a previous application in response to BDC 60.10 (floodplain regulations). Please also revise the narrative response accordingly and explicitly discuss how the criterion is being satisfied.*

**Response:** Design Review resubmittal includes copies of all reports and exhibits referenced in the narrative, including a wetland delineation report from 2018, DEQ authorization, ACOE fill permit, and Traffic Memos.

- Please update the narrative at page 12 to clarify if any retaining walls are proposed. Staff's understanding is that the site includes retaining walls. If the site includes retaining walls, please discuss their proposed/existing height and length and provide a detail of the proposed materials. Please also include them on the landscaping plans.*

**Response:** Design Review narrative has been revised to show extent of retaining walls proposed (and previously constructed under prior DR approval). Please see Section 60.05.25.8 for details on location.

- Please revise the narrative to discuss any proposed solid waste facilities and/or similar improvements, and how they will be screened consistent with BDC Section 60.05.20.2.C.*

**Response:** Design Review narrative has been revised to show how proposal complies with BDC Section 60.05.20.2.C. Please see Section 60.05.20.2.A & C for details.

- Please provide a revised Clean Water Services SPL. See Site Development comments attached for additional details.*

**Response:** Revised and updated Cleanwater Services SPL has been attached to the Design Review resubmittal package.

- Please address the applicable standards at BDC Section 60.55.40 relating to Transit Facilities. Staff notes that there is an existing bus stop at the corner of SW 5<sup>th</sup> and SW Western.*

**Response:** Applicant reviewed all available materials relating to Transit Facilities and did not find any requirement to reconstruct any transit facilities as part of this proposal. There is an existing bus shelter at the NE corner of

## Exhibit APP 2.1

SW 5th St and Western Ave, but it appears to fall within the purview of the adjacent Capital Improvement Permit #3328. If there are additional requirements, applicant is fully willing to comply if we have applicable requirements provided.

11. *Please revise the narrative to address the standards in BDC Section 60.05.20.3.B–F. The proposal includes pedestrian connections. Proposed pedestrian connections should meet the standards in BDC Section 60.05.20.3.*

**Response:** Design Review narrative has been revised to address the requirements of BDC Section 60.05.20.3 B-F pertaining to the onsite pedestrian connections. Please see applicable narrative section for details.

## Exhibit APP 2.1

### **B. PLANS AND GRAPHIC REQUIREMENTS:**

1. Please ensure that all submitted plan sheets that include match lines also include a corresponding version illustrating the entire site. Consistent with application form page 4, any plan sheets utilizing match line sets must also include a 24"x36" sheet depicting the entire site, including match lines, as a cover sheet.

**Response:** All submitted plan graphics utilizing match lines have been revised to also include a single sheet overview of the site to scale.

2. Please provide an existing conditions site plan that illustrates the entire site, including the area behind (west of) the existing building. Similarly, please update the proposed site plan to include the area behind the existing building. Please include all improvements proposed including any building additions, parking areas, paving, curb, landscaping, and/or car/truck circulation areas. Please also include the tax lot line bisecting the subject site (separating tax lots 200 and 300).

**Response:** All submitted architectural and civil plan graphics have been revised to show the existing and proposed conditions to the west of the existing building. Interior tax lot line has also been added to site plan.

3. Please provide both an existing conditions civil plan set, and a proposed civil plan set that includes all street improvements extending out to the right-of-way centerline (along both SW Western and SW 5<sup>th</sup>). Please include dimensions for all infrastructure components, including but not limited to, curbs; sidewalks; landscaping; and street lanes.

**Response:** Existing conditions civil plans have been added, and proposed civil plans show street improvements extending out to the right-of-way centerline. Dimensions have been added for all infrastructure improvements.

4. Please provide revised elevation drawings. Please provide elevation drawings depicting the existing site conditions and a separate set of drawings depicting the proposed elevations. Please clearly identify on the proposed elevations any new building additions, and all permanent architectural features intended to satisfy the provisions at BDC 60.05.15. Staff notes that new paint is not considered an architectural feature for the purposes of meeting the standard. Please update the corresponding portion of the narrative to further discuss what percentage of the proposal provides permanent architectural features. Please provide quantifiable data to support your findings.

**Response:** Existing elevations sheet has been added. In addition, all elevation drawings have added a clear calculation of the proposed

## Exhibit APP 2.1

permanent architectural features, as well as a narrative of how portions of the existing building meet the intent of this standard.

5. Please show the right-of-way widths on the site plan. Consistent with the pre-application notes submitted with this proposal, dedication of street right-of-way may be required. A registered engineer should confirm the right-of-way width and the width should be noted in the site plans.

**Response:** Right-of-way widths are now shown on civil site plan. Additionally, site has been resurveyed to show proposed dedication and resulting site and property line geometry and dimensions are all shown.

6. Please provide a photometric plan for the portions of SW 5<sup>th</sup> St. abutting the subject site. Please do not combine the on-site photometric plan data with the SW 5<sup>th</sup> St. photometric data. Instead, please provide separate plan sheets.

**Response:** Photometrics now include two separate plans, one for onsite lighting, and one for lighting the abutting ROW along SW 5th Street.

7. Please update the landscape plans to include bicycle parking areas, benches, any proposed walls or fences, the proposed location of light poles and other exterior illumination, and any other applicable items listed on pages 5 and 6 of the Design Review application checklist.

**Response:** All features referenced in this comment have been added to the landscape and architectural plans and have been coordinated with the site photometric plans.

8. Please update the landscape plan to identify the location of all refuse storage locations. Please update the narrative to discuss how the proposal meets the standards at BDC 60.05.20.2.

**Response:** All trash will be located inside the building to comply with BDC Section 60.05.20.2. Please see corresponding narrative section for details.

9. Please update the landscape plans to identify the quantity of each type of tree and shrub proposed.

**Response:** Landscape planting plans (and narrative) have been revised to

## Exhibit APP 2.1

show total number and types of planted areas, shrubs, trees, and total coverage ratio. Please see applicable narrative section and plan graphics for details.

10. Please provide maneuvering templates for truck ingress/egress to the site as well as their circulation and maneuvering around the site.

**Response:** Truck maneuvering template sheets have been added to the submittal. Please see corresponding civil sheets for details.

## Exhibit APP 2.1

### **PRELIMINARY STAFF COMMENTS (NOT COMPLETENESS ITEMS):**

While not strictly completeness items, the following are matters that will need to be addressed prior to the Facilities Review Committee meeting. Please note that this list may not be exhaustive of all potential issues that may arise during development but are items that came to the attention of staff during completeness review:

#### 1. **Planning:**

- BDC Chapter 90 defines manufacturing as, “The assembly, fabrication, processing, and/or packaging and storage of products for wholesale distribution and other similar uses.” Based on the current findings as provided, staff believes that the entire site is a manufacturing use and does not believe that we can make affirmative findings that a portion of the site is a storage use. Staff suggests that the proposal is revised to provide sufficient parking to satisfy the applicable parking requirements for a manufacturing use per BDC Table 60.30.10.5.A.

**Response:** Applicant has applied and received approval for a *Type II Parking Determination Request* for a reduced parking count based on the uses specified. Please see attached narrative for additional details.

- Please provide additional information (narrative and plans) to demonstrate that the off-street parking standards at BDC 60.30 are satisfied. Two specific issues noted by staff include number of required parking spaces and parking aisle widths.

**Response:** Revised narrative demonstrates how this proposal complies with the requirements of BDC Section 60.30. Please see the appropriate section for more information.

- Please update the narrative to describe how the BDC 60.05.15.2.D (Roof Forms) is satisfied BDC 60.05.15.2.D stipulates that the roof forms for the new structure will be constructed of the same materials as the existing roof. Narrative page 8 states that the roof will be constructed with a similar material instead of the same materials.

**Response:** Narrative has been revised to address the applicable requirements of BDC Section 60.05.15.2.D. Please see the appropriate section for more information.

- Please provide a detailed response to BDC 60.10.20 to assist staff in making positive findings. On narrative page 14, the applicant responds to the provisions

## Exhibit APP 2.1

at BDC 60.10.20 with yes/no answers.

**Response:** Narrative has been revised to address the applicable requirements of BDC Section 60.10.20. Please see the appropriate section for more information.

- Please update architectural elevations to include the east elevation. The architectural elevations include two west elevations. There is no east elevation labeled. Please update the elevations illustrations for accuracy and consistency.

**Response:** Elevations have been revised and properly tagged. East elevation is now included and labeled correctly.

- Please update the illustrative perspective drawing labels for accuracy. The northeast corner perspective illustration on the elevations drawing appears to be mislabeled. Staff's best guess is that this illustration is depicting the south and west elevations of the building. Please update the elevations illustrations for accuracy and consistency.

**Response:** Perspectives have been revised and are now labeled correctly.

- Staff finds that the colorized perspective illustration shown on the elevations drawing is helpful. Staff requests similar perspective drawings for each of the elevations. These illustrations are particularly helpful for any areas where changes to the façade are proposed.

**Response:** Additional rendered perspectives have been added and labeled at building corners.

- Please contact Trevis Smith in Public Works to ensure that proposed right-of-way improvements along SW Western are consistent with CIP improvements. Please also ensure that the responsibilities, coordination, and timing of street improvements are understood.

**Response:** Applicant team has been in contact with Trevis Smith and we have been assured that this proposal is not in conflict with CIP geometry and dimensional requirements.

- BDC Section 60.05.30 contains the lighting standards required for all pedestrian and vehicular circulation areas. BDC Table 60.05-1 stipulates a minimum required illumination of 1.0 foot-candles in these areas. According to the photometric plan, portions of the site fall below the 1.0 foot-candle threshold on the photometric plan. Please revise the proposal to meet the standard.

## Exhibit APP 2.1

**Response:** Project narrative and photometric drawings have been revised to comply with all requirements in the Engineering Design Manual.

- Page 2 of the application form includes symbology under Section E that makes some of the inputted data illegible. Please revise the application form as need and resubmit.

**Response:** Project application form has been reformatted to make data fields legible.

- The colorized perspective drawing identifies a door in the vicinity that staff presumes to be the easternmost portion of the south-facing façade (the illustration is currently labeled as the northeast corner perspective). Staff notes that this door is not reflected on the elevation drawings. Please update the drawings as needed for consistency and accuracy.

**Response:** Rendered perspectives have been updated and accurately reflect the proposed building geometry and architectural elements.

- Narrative page 1 states that the site area is 4.87 acres. The application form states that the site is 7.5 total acres. Please revise the project materials for accuracy and consistency.

**Response:** Project site area tabulations have been corrected.

- Narrative page 6 references a Design Review Compliance Letter. The applicant has not applied for a DRCL, but a Design Review II application. Please revise the incorrect reference for accuracy and consistency.

**Response:** All references to DRCL have been removed.

- Narrative page 2 states that the applicant is proposing revisions to a previously approved Design Review application. Please revise the narrative to clarify that DR2022-0098 is not a revision to an existing land use approval, but a new land use application.

**Response:** Narrative summary and background have been revised to reflect the fact that this is a new Type II Design Review Request.

- Narrative page 12 states that sensitive wetland areas were addressed in the previous permit and taken care of. Please discuss if the site currently contains sensitive wetlands and provide any supporting studies or information to verify the status of the wetlands. Please further explain how the sensitive wetland areas were taken care of.



## Exhibit APP 2.1

**Response:** No sensitive wetlands exist on the subject property. DEQ issued a summary memo (attached as an Exhibit) confirming this, and the Army COE issued a fill permit for small portions of the site within the original site assessment boundary. This work has been completed under the Army COE fill permit (also attached as an Exhibit).

- Page two of the landscape plan identifies a landscaped area located in the off-street truck loading and circulation area near the south property line. Please expand the narrative to discuss why landscaping is proposed in the circulation area. Alternatively, please revise the landscape plan.

**Response:** Landscape Plans have been revised such that no landscaped areas overlap vehicular circulation areas.

- Staff is unclear what the plan sets are depicting immediately north of the large landscaped area at the northern end of the property. There appears to be an eight-foot sidewalk proposed towards the center of this area. Please update the plan sets to clarify what the four squares located inside the tree symbols depict. Please also clarify what the cross hatching in this area represents. Staff's best guess is that the area is proposed for loading/unloading.

**Response:** This area adjacent to the northern drive aisle was originally a passenger drop off in the prior development plan. This area has been revised to remove drop off area, and add erosion control landscaped plantings at the large undeveloped swath of land north of the existing building.

## Exhibit APP 2.1

### 2. **Site Development Comments:**

- Please review the supplemental completeness notes attached to this letter, dated August 10, 2022, for additional staff comments.

**Response:** Supplemental completeness notes have been reviewed and addressed. Please see response on following pages.

### **RESUBMITTAL**

**Please provide a full electronic resubmittal via the City's website to the planning division.** All submittals should follow the City's naming policy. As a general guideline, please separate materials into PDFs which contain the same material that would be provided in a submittal binder tab for ease of review.

If you have any questions regarding this letter or any other aspect of our process, please don't hesitate to call. I am including a list of the primary members of the Facilities Review Committee who were involved in the completeness review.

LAND USE & DESIGN: Aaron Harris (503) 616-8453  
TRANSPORTATION: Kate McQuillan (503) 526-2427  
SITE DEVELOPMENT: Kyler Jacobo (503) 707-6776  
PUBLIC WORKS: Trevis Smith (503) 526-2283/(503) 367-9952

We look forward to working with you on this project.

Sincerely,

Aaron Harris  
Senior Planner

cc: Project fil

## Exhibit APP 2.1



City of Beaverton  
Community Development Department  
Site Development Division  
12725 SW Millikan Way 4<sup>th</sup> Floor  
Beaverton, OR 97076  
Tel: (503) 350-4021  
Fax: (503) 526-2550  
www.BeavertonOregon.gov

---

### COMPLETENESS NOTES

---

**Project Name:** Organic Milk Exchange

**Application Number:** DR2022-0098

**Date:** August 10, 2022

**Prepared by:** Kyler Jacobo – Site Development Division

**Ph:** (503) 707-6776 **Fx:** (503) 526-2550 **Email:** kjacob@BeavertonOregon.gov

---

**☒ Incomplete based on requirements established in the pre-application**

**meeting for this project:**

1. Please provide an updated Clean Water Services Service Provider Letter.
  - **Response:** *The CWS SPL has been obtained and is included with this resubmittal*
2. Please provide an updated Tualatin Valley Fire & Rescue Service Provider Letter
  - **Response:** *The TVFR SPL will be forthcoming. TVFR visited our office after we submitted the SPL request and noted what and how they want us to provide the diagrams on the plans. The reviewer has the revised information and will send the approval once he's had a chance to review again and we will send that to COB once obtained. They had no concerns about fire access for this building that is less than 30 feet to top of parapet.*
3. Show tie-ins to the new water laterals to be installed by the CIP project, with 8" new fire service, and 6" domestic service stubbed at the ROW. Existing water services and structures will need to be abandoned. Please contact Trevis Smith ([tsmith@beavertonoregon.gov](mailto:tsmith@beavertonoregon.gov)) for the most recent capital improvement project files.
  - **Response:** *The CIP and project laterals have not and are not changing. See attached memo. Timing of the CIP water and private water will need more discussion and consideration but there is no plan to change the current SD permit lateral locations and Trevis agreed with these as they are designed.*
4. Confirm if water easement location will need to change based on new water lateral

## Exhibit APP 2.1

- **Response:** *The water main line and easement are not changing. We did have to adjust the location of one of the hydrants, thus the easement as recorded will need to be revised and recorded.*
5. Provide updated existing conditions that show what is at the site currently.
- **Response:** *Applicant has performed all due diligence possible to ascertain and note current existing conditions onsite, given the nature of the sitework which was partially constructed and then put on pause for 2 years. This is extremely complicated. What is known is that most of the storm manholes and the approved detention systems have been installed. Partial installation of one of the large water quality vaults is complete and one of the water quality Contech catch basins has been installed. The remaining utilities have not been installed and the curbs, sidewalks and other improvements have not been installed. The 5<sup>th</sup> Ave right of way has work and the offsite Storm filter CB has not been installed. NOTE: the new public storm filter catch basin can be installed per plan with the adjustment of the gas line. It's two driveways west, not one driveway west. Please note that applicant will work with Contractor and inspector as part of the approved and restarted sitework scope to ensure that final site utilities are constructed per proposed civil plans.*
6. Remove indicated areas of future construction and show what is proposed with this land use application.
- **Response:** *The plans have removed reference to future.*
7. Provide 5<sup>th</sup> street plan and profile.
- **Response:** *The engineer has requested that they submit the entire engineering plan set which includes all the 5<sup>th</sup> ave ROW work. See the C4 series plans.*
8. Provide public water line profile.
- **Response:** *The engineer has requested that they submit the entire engineering plan set which includes all the public water line work. See C5.8 and C5.9.*
9. Provide erosion control and demolition plans. Call out the required removal for existing water structures in the demolition plans.
- **Response:** *The current permit calls out demolition of utilities on the utilities plans. The plans were and are approved as is. We will provide a demo plan as requested with the formal SD permit revision submittal. As mentioned the water lateral coordination is substantially coordinated and there's no reason to change it.*
  - *Erosion control 1200CN permit plans are in the SD permit set. C7 series plan sheets.*
10. Include sheets for the 5<sup>th</sup> street public stormwater facility in utility plans.
- **Response:** *The storm filter CB is shown on C4.2 & C4.1. This location is and has been vetted. The gas line will need to be rerouted. This is located at the west side of the driveway two driveways west of the site not one driveway as was thought when the inspector visited the site.*

## Exhibit APP 2.1

11. Provide cut fill balance from previous land use approval, and update if there are any changes to grading in floodplain.

- **Response:** *The proposed and permitted work is providing a net cut relative to the existing flood plain and floodway. The net cut consists on the east side of an approximately 8' wide by 266' long by 2' triangle which is about 79 cu feet of cut east of the new driveway apron to 5<sup>th</sup>. There is an additional approximately 147' long by 0.5' deep cut which his approximately 3 cubic yards of net cut west of the proposed driveway apron. The entire right of way is a cut. No Fill is proposed within the 100 year flood plain. The flood plain is noted on all plans with a line type of ----- --FP----- that follows the COM line in 5<sup>th</sup> Street.*

**☒ While not strictly completeness items, the following are matters that will need to be addressed with the land application, prior to the Facilities Review Committee meeting. Submittal of this information is necessary no later than 14 days after the application is made complete:**

1. Update stormwater report calculations for impervious surface area triggered for water quality and quantity to demonstrate how this impervious surface area amount is smaller than the original approval.

- **Response:** *The analysis and calculations will be updated once with the formal permit revision. The Site Development and Right of Way work are not being reviewed with land use so the concept of how storm water is being managed is exactly the same as shown in the current approved site development permit. Engineering by inspection is a valid assessment. All impervious water is shown to be collected and treated and detained to the flow requirements approved in the original SD permit approval. Since the total impervious area has been substantially reduced, the entire north west parking area is now not being installed, by inspection the existing approved storm water analysis would be adequate. We will detail this for the SD permit revision once the LU is approved. The C9 sheets have been revised to show the current planed impervious areas.*

**END OF SECTION**



Exhibit APP 2.1  
EXHIBIT DR01b

Community Development Department | Planning Division  
12725 SW Millikan Way | Beaverton, OR 97076  
General Information: (503) 526-2222 V/TDD  
www.BeavertonOregon.gov

November 15, 2022

Attn: Peter Grimm  
Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

**RE: Organic Milk Exchange (DR2022-0098/PD2022-0003/SDM2022-0004)**

Dear Applicant,

Staff has finished its completeness review and has deemed the application incomplete. The purpose of this letter is to inform you of the items necessary to make your application complete. This letter does not identify all of the issues regarding the content of the materials that have been submitted.

Review of the content of the submitted material and staff's recommendation on the proposal will occur during the project review phase of the application process after your proposal is deemed complete.

**COMPLETENESS ISSUES:** Pursuant to Section 50.25.1 of the Development Code, a complete application is one that contains the information required by the Director to address the relevant criteria, development requirements and procedures of this Code. The following items must be addressed and submitted in order for the application to be deemed complete:

**A. WRITTEN STATEMENT:**

1. Please provide a cut fill balance memo demonstrating there is a net cut. Provide table with the net volume calculation at 1-foot interval for floodplain area analysis. Memo must be stamped by a professional engineer. State the datum used in calculation and the base flood elevation. A response to this comment is not sufficient, a separate stamped memo is required. Please provide this assessment with the next submission.

**Response:** Please see attached stamped and signed cut and fill balance / flood plain memo dated 11/22/2022 from Chris Delauriers at TM Rippey, consulting civil engineer on the project. Please refer to **Exhibit DR05d** for more information.

## Exhibit APP 2.1

### **B. PLANS AND GRAPHIC REQUIREMENTS:**

1. Consistent with application form page 4, any plan sheets utilizing match line sets must also include a 24"x36" sheet depicting the entire site, including match lines, as a cover sheet. Please provide a landscaping plan that depicts the entire site.

**Response:** 24x36 Landscape Plan has been added to the graphic resubmittal. Please refer to **Sheet L4- Planting Plan Overall**.

2. The revised site plan identifies proposed additions to the existing building. Please provide a roof plan that demonstrates conformance with BDC Section 60.05.15.2 for any new additions proposed.

**Response:** Architectural Roof Plan has been added to the graphic resubmittal. Please refer to **Sheet A3.5- Architectural Roof Plan**.

## Exhibit APP 2.1

### **PRELIMINARY STAFF COMMENTS (NOT COMPLETENESS ITEMS):**

While not strictly completeness items, the following are matters that will need to be addressed prior to the Facilities Review Committee meeting. Please note that this list may not be exhaustive of all potential issues that may arise during development but are items that came to the attention of staff during completeness review:

#### **Planning:**

- Upon resubmittal, please provide a single narrative document that combines all of the applicable code standards for the three applications proposed. It is not necessary, for example, to address the project's Design Review standards in multiple different narrative documents. If you would like an example of this from another project we would be happy to provide a compiled narrative example.

**Response:** Narrative has been combined and streamlined to only show information once and referenced into the 3 separate applications as appropriate.

- Staff understands the justification for the applicant's Sidewalk Design Modification proposal only for those portions of the site adjacent to the existing retaining wall along SW 5<sup>th</sup> St as the sidewalk transitions from Western Avenue. The portions of the street and sidewalk west of the existing retaining wall should be constructed to city standards for a collector street (please see the attached Engineering Standard Drawing). Please revise the applicable portions of the narrative and plans as necessary. Please note that the sidewalk should in all cases run 6 inches from the back of the right of way line, any difference in width as the sidewalk transitions from curb tight along the portion of the retaining wall near Western Avenue to the standard cross section should be located in the planter strip, the width of the sidewalk clear area should always meet the EDM standards.

**Response:** Per latest conversations between Chris Delauriers at TM Rippey (project civil engineer) and City staff, the final curb location and sidewalk / landscape strip geometry will be determined as part of the review process. Applicant's understanding is that final linework and configuration will be included as a condition of approval at the conclusion of the land use review process.

- Please provide documentation to verify that the identified street dedications adjacent to the site were completed prior to this land use submittal. Staff is unclear how and when this dedication process was conducted.

**Response:** Per latest conversations with Ownership, Surveyor and City staff, some but not all final dedications were completed prior to the transfer of Ownership in 2021. All remaining required property dedications will be completed after the land use review process, prior to the issuance of building



## Exhibit APP 2.1

permits. Applicant's understanding is that this is typically the appropriate sequence of operations and that this requirement will be included as a condition of approval at the conclusion of the land use review process.

- Please revise the response to BDC 60.05.15.4.C to clarify that any existing foundations that exceed four feet above finished grade will not move further out of compliance and that all new elevations are proposed to meet the standard.

**Response:** Narrative response to Section 60.05.15.4.C has been revised to clarify that existing and new building portions comply with the requirements and meet the standard.

- Please expand the narrative response at 60.05.20.2 to describe how waste haulers are expected to serve the site. According to the narrative, all recycling and solid waste storage will be located inside the building.

**Response:** Narrative response to Section 60.05.20.2 has been revised to show how waste haulers will service the properly effectively over time.

- The driveway width at the southern end of the site measures 20'5". BDC 60.30.15 requires 24 feet of width for two-way traffic circulation. One-way traffic circulation requires striping to delineate appropriate traffic circulation patterns. Please expand the narrative to specify if one- or two-way traffic is proposed and how the standard is satisfied.

**Response:** Civil site plan has been revised to show one way striping at the drive aisle indicated. Thus the drive aisle width meets the standard.

- Please revise the proposal to provide a second pedestrian connection along the 5<sup>th</sup> Street frontage, consistent with BDC 60.05.20.3.C.

**Response:** Civil site plan has been revised to show a 2<sup>nd</sup> pedestrian connection to the SW 5<sup>th</sup> St frontage. Thus the proposal meets the requirements of this section. See revised **Civil Site Plan, Arch Site Plan and Landscape Planting Plan** for clarification.

- Please revise the narrative response at BDC 60.05.15.4.B with quantitative data to address the maximum 30 percent standard for exterior building materials.

**Response:** Per the requirements of BDC Section 60.05.15.4.B, the net ratio of plain concrete remaining at the modified building elevations is as follows:

East Elevation:	415/1640sf	25.3%
North Elevation:	390/1500sf	26.0%
Combined Total:	805/3140sf	25.6%

Area used for calculation includes all existing tilt concrete wall panels that are

## Exhibit APP 2.1

proposed to be modified by adding or subtracting permanent architectural features. See **Architectural Elevations** for additional details.

- The applicant's response to BDC 60.05.15.5.B is vague. The language discusses "no significant rooftop mounted equipment" and that visibility of the equipment is not anticipated. Please revise the response to clearly state whether or not rooftop mounted equipment is either existing or proposed.

**Response:** Narrative response to BDC Section 60.05.15.5.B has been revised to clarify that no new rooftop mounted equipment is proposed as part of this project. Thus the project complies with the requirements of this section.

- As needed, please revise the landscaping plan to ensure that a tree is planted for every 30 lineal feet of building frontage, consistent with BDC 60.05.25.5.D. This requirement is only applicable to those portions of the building being modified with this proposal.

**Response:** Current Landscape Planting Plan shows new street trees at 30'-0" on center at all portions of the building being modified as part of this proposal. Note that 225' of the East Elevation as well as 158' of the North Elevation of the existing building are not being modified and thus this requirement does not apply to that portion of the total frontage.

- Please revise the narrative response to BDC 60.05.25.8 to discuss how the retaining wall materials are similar to materials in other elements of the landscape plan or related buildings, or otherwise incorporates landscape/decorative features.

**Response:** Narrative addresses the placement rationale and prior approval of the retaining wall gabion design. The texture and placement of this landscape element is unique to that location onsite and thus stands on it's own as a material choice that lends texture and visual interest to the landscape concept.

- Portions of the photometric plan in the northwestern corner of the access/circulation area identify illumination below 1.0 foot-candles. Please revise the proposal for compliance with BDC Table 60.05-1.

**Response:** Photometrics have been revised for both SW 5<sup>th</sup> St ROW and onsite lighting to show compliance with BDC Table 60.05-1 min and max illumination levels as well as min / max light pole heights. Thus the proposal meets the requirements of this section.

- Please revise the narrative response to BDC 60.05.30.2 with quantitative data to demonstrate that all proposed lighting meets the applicable height standards.

## Exhibit APP 2.1

**Response:** Photometrics have been revised for both SW 5<sup>th</sup> St ROW and onsite lighting to show compliance with BDC Table 60.05-1 min and max illumination levels as well as min / max light pole heights. Thus the proposal meets the requirements of this section.

- The applicant's response to BDC 60.10.20 states that the floodplain boundary exists entirely within the 5<sup>th</sup> Street right-of-way according to the "best available evidence." Please specify what evidence is being referenced and provide supplemental documentation as needed. The City's GIS maps indicate small portions of floodplain located on the subject site.

**Response:** Please see attached stamped and signed cut and fill balance / floodplain memo dated 11/22/2022 from Chris Delauriers at TM Rippey, consulting civil engineer on the project. See **Exhibit DR05d**.

- Please revise the required parking tables contained in the narrative for consistency with the applicant's traffic memo addendum. Ancillary office uses should not be calculated separately as described in the narrative. The required number of parking spaces and square footage of each use proposed (manufacturing/storage warehouse) should be consistent across both documents.

**Response:** Narrative response to BDC Section 60.30.05 has been revised to align tabular proposed parking values with attached parking memo.

- The applicant has requested a Sidewalk Design Modification. Please revise the response to BDC 60.55.30.1 for accuracy.

**Response:** Narrative response to BDC Section 60.55.30.1 has been revised to include language referencing the proposed concurrent *Type I Sidewalk Design Modification*.

### **1. Site Development Comments:**

- Please review the supplemental completeness notes attached to this letter, dated November 3, 2022, for additional staff comments.

**Response:** See next page for detailed response to each item listed under Site Development comments.

### **RESUBMITTAL**

**Please provide a full electronic resubmittal via the City's website to the planning division.** All submittals should follow the City's naming policy. As a general guideline, please separate materials into PDFs which contain the same material that would be provided in a submittal binder tab for ease of review.

If you have any questions regarding this letter or any other aspect of our process, please don't hesitate to call. I am including a list of the primary members of the Facilities Review

## Exhibit APP 2.1

Committee who were involved in the completeness review.

## Exhibit APP 2.1

LAND USE & DESIGN: Aaron Harris (503) 616-8453  
TRANSPORTATION: Kate McQuillan (503) 526-2427  
SITE DEVELOPMENT: Kyler Jacobo (503) 707-6776

We look forward to working with you on this project.

Sincerely,

Aaron Harris  
Senior Planner

cc: Project file



## Exhibit APP 2.1

City of Beaverton  
Community Development Department  
Site Development Division  
12725 SW Millikan Way 4<sup>th</sup> Floor  
Beaverton, OR 97076  
Tel: (503) 350-4021  
Fax: (503) 526-2550  
www.BeavertonOregon.gov

---

### COMPLETENESS NOTES

---

**Project Name:** Organic Milk Exchange

**Application Number:** DR2022-0098

**Date:** November 3, 2022

**Prepared by:** Kyler Jacobo – Site Development Division

**Ph:** (503) 707-6776 **Fx:** (503) 526-2550 **Email:** kjacobo@BeavertonOregon.gov

---

**Incomplete based on requirements established in the pre-application meeting for this project:**

1. Provide a cut fill balance memo demonstrating there is a net cut. Provide table with the net volume calculation at 1-foot interval for floodplain area analysis. Memo must be stamped by a professional engineer. State the datum used in calculation and the base flood elevation. A response to this comment is not sufficient. Please provide this assessment with the next submission.

**Response:** Please see attached stamped and signed cut and fill balance / flood plain memo dated 11/22/2022 from Chris Delauriers at TM Rippey, consulting civil engineer on the project.

## Exhibit APP 2.1

☒ **While not strictly completeness items, the following are matters that will need to be addressed after land use approval prior to construction:**

1. Update stormwater report calculations for impervious surface area triggered for water quality and quantity to demonstrate how this impervious surface area amount is smaller than the original approval.

**Response:** Updated Stormwater Calcs will be provided as part of the plan review process. It is assumed this can be a condition of final approval.

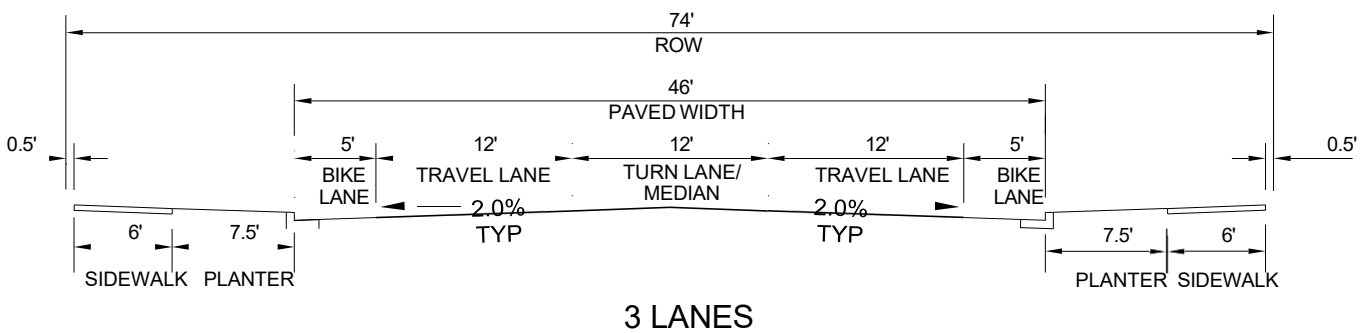
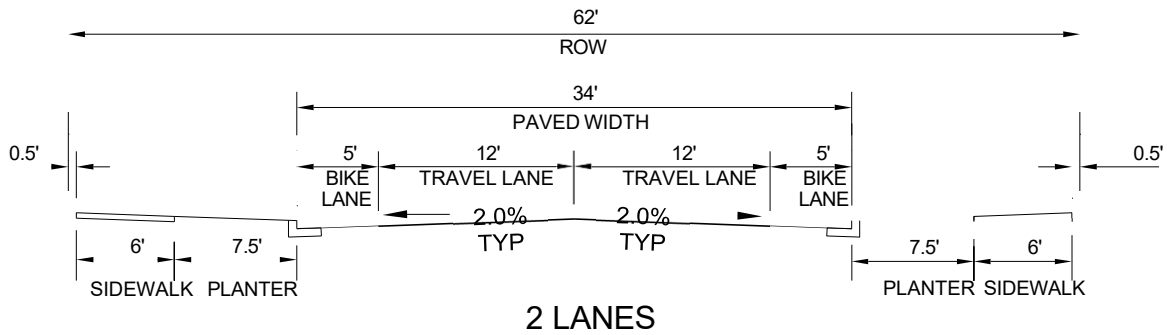
2. Show a minimum 12" vertical clearance for public water line from communication conduit at station 11+83.2. Current separation shown on sheet C5.9 is only 4".

**Response:** This technical requirement will be provided as part of the plan review process. It is assumed this can be a condition of final approval.

3. Provide manhole data for invert elevation out at 48" manhole that flows into detention chambers on sheet C5. No invert is shown for north flow out of manhole.

**Response:** This technical requirement will be provided as part of the plan review process. It is assumed this can be a condition of final approval.

# Exhibit APP 2.1



**NOTES:**

1. A planter strip is required on all Collectors.
2. Paved width and planter strip are measured to face of curb.
3. Provide 0.5 feet from right-of-way line to the back of sidewalk for maintenance and survey monument protection.
4. Street trees and street lights are required and shall be located within the planter strip.
5. Engineer/Designers required to check for special district design parameters. Contact Community Development - Planning Division for additional information.
6. Power, street lights, traffic signals, and all other franchise utility boxes/vaults shall be located outside of ADA ramps & landings.





**Exhibit APP 2.1**  
EXHIBIT DR01c

Community Development Department | Planning Division  
12725 SW Millikan Way | Beaverton, OR 97076  
General Information: (503) 526-2222 V/TDD  
www.BeavertonOregon.gov

December 20, 2022

Scott Edwards Architecture  
Attn: Peter Grimm  
2525 E Burnside Street  
Portland, OR 97214

**RE: Organic Milk Exchange (DR2022-0098 / PD2022-0003 / SDM2022-0004)**

Dear Peter Grimm,

**TENTATIVE KEY DATES OF THE PROPOSAL**

The applicant deemed the applications (DR2022-0098 / PD2022-0003 / SDM2022-0004) complete on December 13, 2022 and provided a 14-day continuance to December 27, 2022. The dates listed in the table below presume that all missing items are provided to staff no later than December 27, 2022.

If all necessary actions and deadlines have not been met as identified below, you may wish to seek a continuance of your decision date. The following table highlights key dates for the processing of your proposal. The dates below require that the noticing board be posted by January 5, 2023. If a notice board is not posted on the site by January 5<sup>th</sup>, then please consult staff for a modified timeline:

<i>DATE</i>	<b>ACTION</b>
<b>December 29, 2022</b>	The notice sign and affidavit of posting form is available for pick up at City Hall. Please see back side of the affidavit for sign posting requirements.
<b>January 5, 2023</b>	The notice sign must be posted on the subject site by this date. NOTE: Please complete the affidavit of posting and submit to project planner.
<b>January 25, 2023</b>	The Facilities Review Meeting will take place on this date. The applicant will receive the Facilities Review Report on January 20, 2023.
<b>February 8, 2023</b>	Within approximately fourteen (14) calendar days after the Facilities Review Committee meeting, the Director shall issue a written decision on the application to the applicant, the property owner, the NAC in which the subject property is located, and interested parties that submitted written comments prior to or on the comment closing date. The land use order shall include a statement that the decision is final but may be appealed as provided in Section 50.65. within twelve (12) calendar days after the date of the signed notice is dated and mailed.

**PRELIMINARY STAFF COMMENTS (NOT COMPLETENESS ITEMS):**

While not strictly completeness items, the following are matters that will need to be addressed prior to the Facilities Review Committee meeting. Please note that this list may not be exhaustive of all potential issues that may arise during development but are items that came to the attention of staff during completeness review:

## Exhibit APP 2.1

### A. Planning Comments:

1. Staff understands the justification for the applicant's Sidewalk Design Modification proposal only for those portions of the site adjacent to the existing retaining wall along SW 5th St as the sidewalk transitions from Western Avenue. The portions of the street and sidewalk west of the existing retaining wall should be constructed to city standards for a collector street. Please revise the applicable portions of the narrative and plans as necessary. Please note that the sidewalk should in all cases run 6 inches from the back of the right of way line, any difference in width as the sidewalk transitions from curb tight along the portion of the retaining wall near Western Avenue to the standard cross section should be located in the planter strip, the width of the sidewalk clear area should always meet the EDM standards.

**Response:** Based on feedback obtained from the facilities review coordination call with City staff on Dec 20<sup>th</sup>, applicant has revised the frontage improvements along SW 5th St, west of the proposed curb cut / apron, to align with required standards as described in the *City of Beaverton Engineering Design Manual*. The remaining portion of the SW 5<sup>th</sup> St frontage will remain as designed and described in the SDM application narrative in response to the limitations inherent to that portion of the site frontage.

2. Please revise the response to BDC 60.05.15.4.C to clarify that any existing foundations that exceed four feet above finished grade will not move further out of compliance and that all new elevations are proposed to meet the standard.

**Response:** Narrative language in response to BDC 60.05.15.4.C has been revised to clarify compliance with the requirements of this section.

3. Please revise the narrative response at BDC 60.05.15.4.B with quantitative data to address the maximum 30 percent standard for exterior building materials.

**Response:** Narrative language in response to BDC 60.05.15.4.B has been revised to clarify compliance with the requirements of this section.

4. Please revise the narrative response to BDC 60.05.30.2 with quantitative data to demonstrate that all proposed lighting meets the applicable height standards.

**Response:** Narrative language in response to BDC 60.05.30.2 has been revised to clarify compliance with the requirements of this section.

5. Please include a sentence in the project narrative confirming that there are no existing on-site trees except the single tree identified on the landscape plans that is proposed for removal. Alternatively, please revise the narrative and landscape plans to identify any additional existing trees on-site.

**Response:** Narrative language in response to BDC 60.05.25.05.B.3 has been revised to clarify that there is only a single existing tree onsite, and that it has been determined to be diseased and recommended for removal by a licensed arborist.

## Exhibit APP 2.1

6. Please ensure that the project narrative discusses one-way traffic circulation for the areas along the southern property line, consistent with the civil site plan illustration.

**Response:** Narrative language in response to BDC 60.55.30.1 has been revised to clarify compliance with site circulation standards, and directional arrows have been added to the Architectural Site Plans (**Sheets A-2 and A-3**).

### **B. Site Development Comments:**

1. Provide a cut fill balance memo demonstrating there is a net cut. Provide table with the net volume calculation at 1-foot interval for floodplain area analysis. Memo must be stamped by a professional engineer. State the datum used in calculation and the base flood elevation. A response to this comment is not sufficient. Please provide this assessment with the next submission.

**Response:** Applicant has revised Cut / Fill Memo (**Exhibit DR05d**) to add the required information requested by City staff.

2. Please see the attached Site Development memo, dated December 16, 2022, that identifies additional items that will need to be addressed after land use approval prior to construction.

**Response:** Applicant has reviewed the attached memo from Site Development dated December 16, 2022 and understands that there will be additional items that will be reviewed and addressed after land use approval as part of the permit review process.

If you have any questions regarding this letter or any other aspect of our process, please don't hesitate to contact us at:

LAND USE & DESIGN: Aaron Harris, (503) 616-8453, [aharris@beavertonoregon.gov](mailto:aharris@beavertonoregon.gov)  
TRANSPORTATION: Kate McQuillan, (503) 526-2427, [kmcquillan@beavertonoregon.gov](mailto:kmcquillan@beavertonoregon.gov)  
Jabra Khasho, (503) 526-2221, [jkhasho@beavertonoregon.gov](mailto:jkhasho@beavertonoregon.gov)  
SITE DEVELOPMENT: Kyler Jacobo, (503) 526-2550, [kjacobob@beavertonoregon.gov](mailto:kjacobo@beavertonoregon.gov)

We look forward to working with you on this project.

Sincerely,

Aaron Harris  
Senior Planner

cc: Project File



## Exhibit APP 2.1

City of Beaverton  
Community Development Department  
Site Development Division  
12725 SW Millikan Way 4<sup>th</sup> Floor  
Beaverton, OR 97076  
Tel: (503) 350-4021  
Fax: (503) 526-2550  
[www.BeavertonOregon.gov](http://www.BeavertonOregon.gov)

---

### COMPLETENESS NOTES

---

**Project Name:** Organic Milk Exchange

**Application Number:** DR2022-0098

**Date:** December 16, 2022

**Prepared by:** Kyler Jacobo – Site Development Division

**Ph:** (503) 707-6776 **Fx:** (503) 526-2550 **Email:** [kjacob@BeavertonOregon.gov](mailto:kjacob@BeavertonOregon.gov)

---

**Incomplete based on requirements established in the pre-application meeting for this project:**

1. Provide a cut fill balance memo demonstrating there is a net cut. Provide table with the net volume calculation at 1-foot interval for floodplain area analysis. Memo must be stamped by a professional engineer. State the datum used in calculation and the base flood elevation. A response to this comment is not sufficient. Please provide this assessment with the next submission.

---

**While not strictly completeness items, the following are matters that will need to be addressed after land use approval prior to construction:**

1. Update stormwater report calculations for impervious surface area triggered for water quality and quantity to demonstrate how this impervious surface area amount is smaller than the original approval.
2. Show a minimum 12" vertical clearance for public water line from communication conduit at station 11+83.2. Current separation shown on sheet C5.9 is only 4".

## Exhibit APP 2.1

3. Provide manhole data for invert elevation out at 48" manhole that flows into detention chambers on sheet C5. No invert is shown for north flow out of manhole.

Received  
Planning Division  
02/17/2023

Exhibit APP 2.1

EXHIBIT DR03



12725 SW Millikan Way, P.O. Box 4755, Beaverton, OR 97076 [www.beavertonoregon.gov](http://www.beavertonoregon.gov)

March 30, 2022

Scott Edwards Architecture  
Attn.: Kyle Rodrigues  
2525 E. Burnside Street  
Portland, OR 97232

**Subject: Organic Milk Exchange (PA2022-0007)**

Dear Kyle Rodrigues,

Thank you for attending the Pre-Application Conference held on March 16, 2022. We are pleased to provide you with the following notes prepared in response to your proposal.

Comments prepared by staff are reflective of the proposal considered at the Pre-App. A copy of your proposal was also sent to other members of staff who did not attend the Pre-App but have provided written comments hereto. Please feel free to contact anyone who provided comments. Contact names, telephone numbers and e-mail addresses are listed herein.

Following every Pre-App, staff understands that there may be changes to the plan or use considered. If these changes effectively re-design the site plan or involve a change to a use not discussed, please be advised that such change could require different land use application(s) than were identified by staff at the Pre-App. It's also possible that different issues or concerns may arise from such change. In these cases, we encourage applicants to request a second Pre-App for staff to consider the change and provide revised comments accordingly.

In part, the Pre-App is intended to assist you in preparing plans and materials for staff to determine your application(s) to be "complete" as described in Section 50.25 of the City Development Code. For your application(s) to be deemed complete on the first review, you must provide everything required as identified on the Application Checklist(s) (provided at the Pre-App) in addition to any materials or special studies identified in the summary notes hereto. If you have questions as to the applicability of any item on the checklist(s) or within this summary, please contact me directly.

On behalf of the staff who attended the Pre-App, we thank you for sharing your proposal with us. If we can be of further assistance, please do not hesitate to call.

Sincerely,

Aaron Harris  
Senior Planner  
(503) 616-8453

**Exhibit APP 2.1**  
**PRE-APPLICATION CONFERENCE**  
**MEETING SUMMARY NOTES**  
**Prepared for**  
**Organic Milk Exchange**  
**PA 2022-0007, March 16, 2022**

The following pre-application notes have been prepared pursuant to Section 50.20 of the Beaverton Development Code. All applicable standards, guidelines and policies from the City Development Code, Comprehensive Plan and Engineering Design Manual and Standard Drawings identified herein are available for review on the City's web site at: [www.beavertonoregon.gov](http://www.beavertonoregon.gov). Copies of the Development Code and Comprehensive Plan are also available for review at the City's Customer Service Kiosk located within the Community Development Department. Copies of these documents are also available for purchase.

The following is intended to identify applicable code sections, requirements, and key issues for your proposed development application. Items checked are to be considered relevant to your proposed development.

---

**PRE-APPLICATION CONFERENCE DATE:** March 16, 2022

**PROJECT INFORMATION:**

Project Name: Organic Milk Exchange

Project Description: Revisions to work previously approved via Design Review DR2018-0162. The revised scope of work now includes: 1) A reduction of the parking shown on the east side of the building, 2) Removal of the retail and kitchen addition on the building's north side, 3) New storefront openings and entry canopy at the building's northwest corner, 4) A building addition on the building's south side, 5) Demo of existing canopies and loading docks on the building's west side, 6) New overhead doors for loading on the building's west side.

Property/Deed Owners: Bacchus Investors LLC and  
Bearcat Investment Property LLC  
Attn.: Todd Collins  
2 Centerpointe Drive #550  
Lake Oswego, OR 97035

Site Address: 5051 SW Western Avenue

Tax Map and Lots: 1S114CB00200

Zoning: Industrial (IND)

Comp Plan Designation: Industrial

Site Size: Approximately 4.87 acres

**APPLICANT INFORMATION:**

Applicant's Name: Scott Edwards Architecture  
Attn.: Kyle Rodrigues  
2525 E. Burnside Street  
Portland, OR 97232

Applicant's Rep: Scott Edwards Architecture  
Attn.: Kyle Rodrigues  
2525 E. Burnside Street  
Portland, OR 97232

Phone / e-mail: (503) 515-6245/krodrigues@seallp.com

## Exhibit APP 2.1

### PREVIOUS LAND USE HISTORY:

ADJ2018-0008  
CU2018-0021  
CU2018-0022  
DR2018-0162  
SDM2019-0007

### SECTION 50.25 (APPLICATION COMPLETENESS):

The completeness process is governed by Section 50.25 of the Development Code. The applicant is encouraged to contact staff to ask any questions or request clarification of any items found on the application checklists that were provided to the applicant at the time of the pre-application conference. In addition, the applicant should be aware that staff is not obligated to review any material submitted 14 days or later from the time the application has been deemed "complete" that is not accompanied with a continuance to provide staff the necessary time to review the new material.

### APPLICATION FEES:

Based on the plans and materials provided, the identified application fees (land use only) are as follows (including the City's 3.5% technology fee:

<b>Design Review Two</b>	$\$2,687 + \$94.05 = \$2,781.05$
<i>possible</i> <b>Design Review Three</b>	$\$5,909 + \$206.82 = \$6,115.82$
<i>possible</i> <b>Sidewalk Design Modification</b>	$\$168 + \$5.88 = \$173.88$

\* **See Key Issues/Considerations** for description of applications and associated process. Application fees may be subject to increase. The fees in effect at the time a complete application is received will control.

### SECTION 50.30 (NEIGHBORHOOD REVIEW MEETING):

Based on the information presented at the pre-application, a Type 2 (Design Review Two) or a Type 3 (Design Review Three) application will be required. A Neighborhood Review Meeting is required for Type 3 applications. Staff recommend coordinating with the Denny Whitford/Raleigh West Neighborhood Advisory Committee (NAC) if a Type 3 application will be required. Contact: Miles Glowacki, Neighborhood and Public Involvement Program Coordinator, 503.526.3706, [mglowacki@BeavertonOregon.gov](mailto:mglowacki@BeavertonOregon.gov) and Denny Whitford/Raleigh West NAC Co-Chair Ernie Conway, [e-citizen@consistency.net](mailto:e-citizen@consistency.net) or Co-Chair Sherry Moore, [abiding1968@aol.com](mailto:abiding1968@aol.com).

### CHAPTER 20 (LAND USES):

Zoning: Industrial (IND)

Applicable Code Sections: 20.15.15 Site Development Standards and 20.15.20 Land Uses

### CHAPTER 30 (NON-CONFORMING USES):

Proposal subject to compliance to this chapter?  Yes  No

### CHAPTER 40 (PERMITS & APPLICATIONS):



## Exhibit APP 2.1

Facilities Review Committee review required?

Yes

No

**Please Note:** Applicant’s written response to Section 40.03 (Facilities Review) should address each criterion. If response to criterion is “Not Applicable”, please explain why the criterion is not applicable.

### APPLICABLE APPLICATION TYPE(S):

	Application Description	Code Reference	Application Type (process)			
1.	Design Review Two	40.20.15.2	<input type="checkbox"/> Type 1	<input checked="" type="checkbox"/> Type 2	<input type="checkbox"/> Type 3	<input type="checkbox"/> Type 4
1.	possible Design Review Three	40.20.15.3	<input type="checkbox"/> Type 1	<input type="checkbox"/> Type 2	<input checked="" type="checkbox"/> Type 3	<input type="checkbox"/> Type 4
3.	possible Sidewalk Design Modification	40.58.15	<input checked="" type="checkbox"/> Type 1	<input type="checkbox"/> Type 2	<input type="checkbox"/> Type 3	<input type="checkbox"/> Type 4

**Comments:** In order for your application to be deemed complete, a written statement is necessary, supported by substantial evidence in response to all applicable approval criteria. Your application narrative will need to explain how and why the proposed application will meet the approval criteria for the land use applications identified above. Approval criteria and development regulations in effect at the time an application is received will control. Approval criteria and development regulations are subject to change.

### CHAPTER 60 (SPECIAL REGULATIONS):

The following special requirements when checked are applicable to your development. Please review special requirements in the preparation of written and plan information for a formal application:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> <b>Section 60.05 (Design Review Principles Standards and Guidelines)</b> | <input type="checkbox"/> Section 60.07 (Drive-Up Window Facilities)           |
| <input checked="" type="checkbox"/> <b>Section 60.10 (Floodplain Regulations)</b>                            | <input type="checkbox"/> Section 60.15 (Land Division Standards)              |
| <input type="checkbox"/> Section 60.20 (Mobile & Manufactured Home Regulations)                              | <input checked="" type="checkbox"/> <b>Section 60.25 (Off-Street Loading)</b> |
| <input checked="" type="checkbox"/> <b>Section 60.30 (Off-Street Parking)</b>                                | <input type="checkbox"/> Section 60.33 (Park and Recreation Facilities)       |
| <input type="checkbox"/> Section 60.35 (Planned Unit Development)  | <input type="checkbox"/> Section 60.40 (Sign Regulations)                     |
| <input type="checkbox"/> Section 60.45 (Solar Access Protection)   | <input type="checkbox"/> Section 60.50 (Special Use Regulations)              |
| <input checked="" type="checkbox"/> <b>Section 60.55 (Transportation Facilities)</b>                         | <input type="checkbox"/> Section 60.60 (Trees and Vegetation)                 |
| <input checked="" type="checkbox"/> <b>Section 60.65 (Utility Undergrounding)</b>                            | <input type="checkbox"/> Section 60.67 (Significant Natural Resources)        |
| <input type="checkbox"/> Section 60.70 (Wireless Communication)  |   |

**Comments:** For the application(s) listed above to be deemed complete, written analysis will need to identify and explain how the proposal meets all applicable provisions/requirements as checked above. See *Key Issues / Considerations* herein for additional notes.

## Exhibit APP 2.1

### OTHER DEPARTMENT/AGENCY CONTACTS:

Your project may require review by other City departments and outside agencies. Staff recommend contacting the following persons at the City of Beaverton or other agencies when their name is checked. In some instances, some or all of these staff persons may submit written comments for the pre-application conference. These comments may be discussed at the pre-application conference and will be attached to this summary:

Recommended  
contact for  
further  
information  
if checked



#### Clean Water Services

(CWS not sent copy of Pre-Application materials)

Clean Water Services (CWS) regulates sanitary sewer, storm and surface water management within Washington County in coordination with the City of Beaverton. CWS also conducts environmental review for proposed development projects that are located in proximity to sensitive areas (generally wetlands, riparian areas and stream corridors). Staff recommends that applicants contact CWS staff as early as possible in order to obtain a Service Provider Letter (SPL). For many development permits, the SPL is required before the application is determined to be complete (BDC 50.25.1.F) which starts the Beaverton land use review processes. CWS environmental regulations are explained in Chapter 3 of the Design and Construction Standards at: [www.cleanwaterservices.org/permits-development/design-construction-standards](http://www.cleanwaterservices.org/permits-development/design-construction-standards)

If no sensitive areas exist on or within 200 feet of the project site, CWS can also issue a statement indicating no sensitive areas exist which the city will also accept as documentation under Section 50.25.1.F. To start the environmental review process and obtain an SPL, complete the pre-screening site assessment form. For more information about CWS environmental review, you may email [splreview@cleanwaterservices.org](mailto:splreview@cleanwaterservices.org) or contact **Laurie Bunce**, CWS Engineering Technician, at (503) 681-3639.



**Jeremy Foster**, Tualatin Valley Fire & Rescue,  
503-259-1414 / [Jerem/Foster@tvfr.com](mailto:Jerem/Foster@tvfr.com)

No comments provided. TVF&R requires a Service Provider Letter (SPL).



**Lawrence Arnbrister**, Building, City of Beaverton  
(503) 526-2408 / [larnbrister@beavertonoregon.gov](mailto:larnbrister@beavertonoregon.gov)

No comments provided.



**Kyler Jacobo**, Site Development, City of Beaverton  
(503) 350-4055 / [sshields@beavertonoregon.gov](mailto:sshields@beavertonoregon.gov)

Plan reviewed. Written comments attached.



**Elizabeth Cole**, Recycling & Waste Reduction Program Coordinator, City of Beaverton  
(503) 526-2460 / [ecole@beavertonoregon.gov](mailto:ecole@beavertonoregon.gov)

Comments attached.



**Marah Danielson**, Senior Planner, ODOT  
(503) 731-8258 / [marah.b.danielson@odot.state.or.us](mailto:marah.b.danielson@odot.state.or.us)

Plans routed



**Kate McQuillan**, Transportation Planner, City of Beaverton  
(503) 526-2427 / [kmcquillan@beavertonoregon.gov](mailto:kmcquillan@beavertonoregon.gov)

Plan reviewed.

## Exhibit APP 2.1



**Naomi Vogel**, Washington County Land Use and Transportation  
(503) 846-7639 [Naomi\\_Vogel@co.washington.or.us](mailto:Naomi_Vogel@co.washington.or.us)



### KEY ISSUES/CONSIDERATIONS:

Staff has identified the following key development issues, or design consideration or procedural issues that you should be aware of as you prepare your formal application for submittal. The identification of these issues or considerations here does not preclude the future identification of other key issues or considerations:

1. **Land Use Applications** In review of the plans and materials submitted for consideration, staff has identified the following land use applications. Please note that the City of Beaverton allows and staff recommends concurrent review of land use applications where applicable.
  - a. **Design Review Two** (Type 2). The Design Review Two application may be applied for if the applicant's ultimate plans demonstrate compliance with all applicable Design Review Standards.
  - b. **Possible Design Review Three** (Type 3). The Design Review Three application may be required if the proposal does not meet all applicable Design Standards. If a Design Review Three application is required, the applicant may choose to address a mix of Design Standards and Design Guidelines.
  - c. **Possible Sidewalk Design Modification**. The Sidewalk Design Modification application may be required if the sidewalk width, planter strip width, or both minimum standards specified in the *Engineering Design Manual* are proposed to be modified.
2. **Parking Lot Design**. The applicant's plans indicated change to the existing onsite parking area. As with the Design Review standards, any modifications to the site's parking shall be made to come into compliance with the current off-street parking requirements found in Section 60.30.
3. **Parking Requirements**. The subject site is partially located within Parking Zone A and partially located within Parking Zone B. According to BDC Section 60.30.10.2.A.4, the entire subject site is therefore subject to the Parking Zone A standards. The minimum parking ratio for Storage Warehouse in the Industrial Zone is 0.3 spaces per 1,000 square feet of gross floor area and a maximum of 0.4 spaces per 1,000 square feet of gross floor area. In calculating the required number of vehicle parking spaces, fractions equal or more than 0.5 shall be rounded up to the nearest whole number. Fractions less than 0.5 shall be rounded down to the nearest whole number. The stall width for self-parking of long duration is 8.5 feet; for higher turnover self-parking is 9.0 feet. Short-term bicycle parking is not required for Industrial land uses per BDC Table 60.30.15.5.B. Long-term bicycle parking spaces for Storage Warehouse in the Industrial Zone shall be provided at a rate of one space per 80,000 square feet of floor area, or two spaces (whichever standard results in the greatest number of required spaces). Long-term bicycle parking spaces accommodate persons that can be expected to leave their bicycle parked longer than two hours. Cover or shelter for long-term bicycle parking shall be provided. Bicycle parking design is subject to standards outlined in Section 340.2 of the Engineering Design Manual.
4. **Pedestrian Circulation**. Both the Facilities Review and Design Review criteria speak to safe and efficient vehicular and pedestrian circulation patterns within the boundaries of the development and in connection to the surrounding circulation system.
5. **Stormwater Report**. A stormwater report is required to show any changes to impervious surfaces. Please see the attached memorandum from Site Development for additional information.

## Exhibit APP 2.1

6. **Garbage & Recycling.** Please contact Elizabeth Cole, listed above to discuss the City's trash enclosure standards and to help assess the needs for the site.
7. **Traffic Impact Analysis.** It is unclear whether or not the proposal triggers the requirement to complete a full Traffic Impact Analysis (TIA). Please see the attached memorandum from Senior Planner Kate McQuillan for additional information.
8. **Service Provider Letters (SPL).** The City of Beaverton requires service provider letters from special districts who provide services to the subject site. Service Provider Letters are required prior to your application being deemed complete in the land use process. Please see the attached memorandum from Site Development for additional information. Required SPL's include the following:
  - a. **Clean Water Services (CWS):** All development within the City requires a Clean Water Services SPL for environmental review. Information can be found at Clean Water Services Website <https://www.cleanwaterservices.org/permits-development/step-by-step-process/environmental-review/>
  - b. **Tualatin Valley Fire & Rescue (TVF&R):** TVF&R requires an SPL to address fire code issues related to development. The SPL form can be found at the following link <https://www.tvfr.com/FormCenter/Public-Records-7/Service-provider-letter-for-city-of-Beav-62>
  - c. **Water Service:** All developments require a Water Service Provider Letter to address water service provision. The SPL form can be found attached to these pre-application conference notes and should be submitted to [mailboxengineering@beavertonoregon.gov](mailto:mailboxengineering@beavertonoregon.gov) once completed.
9. **Electronic Plan Review.** The City of Beaverton offers electronic plan submission for Planning, Site Development, and Building permit review. For more information please visit our Apply for Permits page at <https://www.beavertonoregon.gov/2047/Apply-for-Permits> or contact staff.
10. **System Development Charges.** The Washington County Transportation Development Tax (TDT) will be due for developments prior to issuance of building permits, in addition to other System Development Charges. The SDC charges are not assessed or evaluated through the land use application review process.

The TDT is based on the estimated traffic generated by each type of development. The TDT is collected prior to the issuance of a building permit; or in cases where no building permit is required (such as for golf courses or parks), prior to final approval of a development application.

To estimate the tax please use Washington County's TDT Self Calculation Form: [www.co.washington.or.us/LUT/Divisions/LongRangePlanning/PlanningPrograms/TransportationPlanning/transportation-development-tax.cfm](http://www.co.washington.or.us/LUT/Divisions/LongRangePlanning/PlanningPrograms/TransportationPlanning/transportation-development-tax.cfm)). For more information please contact Jabra Khasho, City of Beaverton Transportation Engineer, at (503) 526-2221 or [jkhasho@BeavertonOregon.gov](mailto:jkhasho@BeavertonOregon.gov).

For information regarding sanitary sewer, storm sewer, water, park, Metro construction excise, School District construction excise, and other applicable fees please use the Building Division link: <http://www.beavertonoregon.gov/DocumentCenter/Home/View/605> or contact the Building Department at [cddmail@BeavertonOregon.gov](mailto:cddmail@BeavertonOregon.gov).



## TRANSPORTATION NOTES FROM PRE-APPLICATION MEETING

### Community Development Department

Project Name: **Organic Milk Exchange**

Pre-Application Conference #: **PA2022-0007**

**Date:** March 24, 2022

**Applicant:** Kyle Rodrigues, Scott Edwards Architecture

**Project Planner:** Aaron Harris, Senior Planner

**Notes prepared by:** Kate McQuillan, AICP, Senior Planner

 (503) 526-2427  [kmcquillan@beavertonoregon.gov](mailto:kmcquillan@beavertonoregon.gov)

These comments are based on the information provided at the **3/16/22 Pre-Application Conference Meeting** for a proposal at **5051 SW Western Avenue**. The summary notes below are to highlight key transportation issues that need to be addressed in any future land use applications for the discussed proposal. Any proposed development and its associated transportation impacts shall be in compliance with the City of Beaverton's Transportation System Plan (TSP) and the Engineering Design Manual 2019 (EDM) in addition to all applicable sections of the Beaverton Development Code (BDC).

### GENERAL NOTES

As discussed during the pre-application meeting conference, the proposal for the Organic Milk Exchange will be a new land use application that would, if approved, supercede the previous 2018 land use approvals. However there is discussion as to re-opening the Site Development permit for the prior approval. The previous Site Development permit included requirements for right of way dedication and frontage improvements along SW 5<sup>th</sup> Avenue. Staff assume that the frontage improvements incorporated into the Site Development permit will continue be constructed.

### REQUIREMENTS TO BE ADDRESSED

#### ***Right of Way Dedication***

You may be required to dedicate public street right of way on SW 5<sup>th</sup> Avenue, a street classified as Collector (BDC 60.55.30, and EDM Standard Drawing 200). You will need a registered engineer to confirm the right-of-way width and note the width in submitted site plans.

*\*Staff understand that the previously approved land use decision (DR2018-0162) included a condition of approval to dedicate sufficient right of way along the site's frontage of SW 5<sup>th</sup> Avenue to meet the minimum collector width standards. The current Site Development permit would necessitate the ROW. Staff are unsure as to whether or*

## Exhibit APP 2.1

*the dedication was provided. Please include existing ROW widths in submitted land use applications so staff can determine whether or not right of way dedication is needed.*

### **Traffic Impact Analysis**

It is unclear whether or not the proposal triggers the requirement to complete a Traffic Impact Analysis. Please provide verification from a registered traffic engineer with additional details on the uses proposed for the site as well as the square footage of the various uses. The applicant may subtract estimated trip generation of any existing land uses on the site. BDC 60.55.20 defines the thresholds for when a Traffic Impact Analysis is required.

### **Frontage Improvements**

The following frontage improvements will be required and will need to be reflected in the submitted land use application:

*\*As noted in the "General Notes" section of this memo, the below comments related to Frontage Improvements are in response to the existing Site Development permit that the applicant team noted they intend re-open. **Should this scenario change, and a new site development permit is desired, the below comments may change.***

Construct full half street improvements to the minimum street standards for Collector along the site's frontage to SW 5<sup>th</sup> Avenue. (EDM Standard Drawings 200-2).

Provide photometric data demonstrating that illumination for any public transportation facilities meets the minimum lighting levels established in the Engineering and Design Manual (EDM) Section 450.

Provide on-street lighting consistent with EDM Section 450 and as recommended in a required lighting analysis for the site's frontage on SW 5<sup>th</sup> Avenue.

### **Off-Street Loading Requirements**

Off-street loading requirements set forth in BDC 60.25 are not applicable at this time.

Provide a site plan showing the turning movements for freight / delivery truck vehicles both within the internal site's circulation, as well as the ingress and egress to the site.

### **Off-Street Parking (Vehicles and Bicycles)**

The proposed development requires the minimum and maximum number of parking spaces as detailed in BDC 60.30.10.

*\*As shared in the pre-application meeting, the applicable parking ratio for this proposal would be manufacturing which requires a minimum of 1.6 vehicle parking spaces per 1,000 square feet of gross floor area. Please see Table 60.30.10.5.A.*

The proposed parking areas must meet parking design standards within BDC 60.30.15 and 60.30.20.

## Exhibit APP 2.1

- The proposed parking area(s) must meet the parking lot design standards within the City's Engineering Design Manual Section 210.21, subsections I and N.
- The proposal is subject to additional parking lot and circulation standards as part of Design Review including but not limited to landscape buffer between parking lots and public streets; landscaped islands in parking areas; limitations to siting parking areas in relation to public streets; etc. Please see BDC 60.05.20 for all applicable standards.
- The proposed development is required to provide the minimum number of both short term and long term bicycle parking as detailed on BDC 60.30.10. The location of bicycle parking and design features for long term bicycle parking will also be required.

### ***Bicycle and Pedestrian Circulation***

- Provide site plans that show the proposed development must provide reasonably direct, paved walkways with a minimum five feet of unobstructed width as outlined in BDC 60.55.25.10. Walkways are required through parking areas, connected to building entrances, and must utilize different paving materials.
- Walkways that border perpendicular parking spaces shall be a minimum 7-foot wide unless concrete wheel stops, bollard, curbing, landscaping or other improvements are provided to prevent parked vehicles from obstructing the walkway (BDC 60.55.25.10.E).

### ***Access / Driveways***

The applicant must provide site plans that show the following:

- Driveway meets the minimum width shown in EDM Standard Drawings 210 & 211. (BDC 60.55.35.3)
- Driveway meets the minimum spacing standards for both the nearest neighboring driveway and the nearest public intersection as detailed in EDM Section 210.21. (BDC 60.55.35.3)
- Demonstrate that any access(es) to public rights of way meet the minimum is required to submit verification that the minimum sight distance standards in EDM Section 210.21 can be met. Verification may be required from a registered engineer in the state of Oregon. (BDC 60.55.35.3)

## **ADDITIONAL APPLICATIONS**

### ***Sidewalk Design Modification***

If the minimum sidewalk standards cannot be met due to topographic issues, physical conditions, or environmental conditions, the applicant may choose to pursue a Sidewalk Design Modification, a Type-1 land use application (see BDC Section 40.55). This land use application requires that the applicant demonstrate approval criteria can be met.

### ***Design Exception Request***

Applicants may submit a one-time request for a Design Exception to the Engineering Design Manual are made to the City's Public Works Engineer Department (EDM Section 160). The

## Exhibit APP 2.1

application form and instructions can be found on the Public Works website at:  
<https://www.beavertonoregon.gov/234/Design-Exceptions-Revisions-Appeals>

### SYSTEM DEVELOPMENT CHARGES

Washington County Transportation Development Tax (TDT) will be due for developments prior to issuance of building permits; or in cases where no building permit is required (such as for golf courses or parks), prior to final approval of a development application.

The TDT is based on the estimated traffic generated by each type of development. To estimate the tax please use Washington County's TDT Self Calculation Form: [www.co.washington.or.us/LUT/Divisions/LongRangePlanning/PlanningPrograms/TransportationPlanning/transportation-development-tax.cfm](http://www.co.washington.or.us/LUT/Divisions/LongRangePlanning/PlanningPrograms/TransportationPlanning/transportation-development-tax.cfm)). For more information please contact Jabra Khasho, City of Beaverton Transportation Engineer, at (503) 526-2221 or [jkhasho@BeavertonOregon.gov](mailto:jkhasho@BeavertonOregon.gov).

This proposal may be eligible for the "Change-In-Use Discount" for TDT. If eligible, this discount could provide up to a 75% discount on TDT for certain redevelopment or reuse of existing buildings for the first 5,000 square feet converted to a more intensive use. Please consult Washington County's website on TDT for program details.

Additional SDC's May Apply. For information regarding sanitary sewer, storm sewer, water, park, Metro construction excise, School District construction excise, and other applicable fees please use the Building Division link: <http://www.beavertonoregon.gov/DocumentCenter/Home/View/605> or contact the Building Department at [cddmail@BeavertonOregon.gov](mailto:cddmail@BeavertonOregon.gov).

### OTHER REVIEWING TRANSPORTATION AGENCIES

**OREGON DEPARTMENT OF TRANSPORTATION- RAIL AND PUBLIC TRANSIT DIVISION** – The proposed development is located within close proximity to a rail crossing which is under the regulatory jurisdiction of the Oregon Department of Transportation Rail and Public Transit Division. A Crossing Order approved by ODOT Rail may be required. Please contact Carrie Martin at (503) 986-6801, or [Carrie.A.Martin@odot.state.or.us](mailto:Carrie.A.Martin@odot.state.or.us). (BDC 60.55.10.1)

**TRIMET** - The proposed development is in close proximity to bus and/or light rail service provided by TriMet. Note that City staff may route future land use applications to TriMet staff for review. (BDC 60.55.10.1, and BDC 60.55.40)





## Exhibit APP 2.1

City of Beaverton  
Community Development Department  
Site Development Division  
12725 SW Millikan Way 4<sup>th</sup> Floor  
Beaverton, OR 97076  
Tel: (503) 350-4021  
Fax: (503) 526-2550  
[www.BeavertonOregon.gov](http://www.BeavertonOregon.gov)

---

### PRE-APPLICATION CONFERENCE MEETING SUMMARY

#### Site Development & Engineering

---

**Project Name:** Organic Milk Exchange

**Pre-Application Conference Number:** PA2022-0007

**Date:** March 16, 2022

**Prepared by:** Kyler Jacobo-Site Development Division

**Ph:** (503) 707-6776 **Fx:** (503) 526-2550 **Email:** [kjacob@BeavertonOregon.gov](mailto:kjacob@BeavertonOregon.gov)

---

#### General Notes:

This development shall be in compliance with the City of Beaverton and Clean Water Services standards in place at the time of site development permit issuance (SD2019-0021). Any site plan modifications will be processed through plan revisions. Please refer to City Engineering Design Manual (EDM) for [site plan submittal requirements](#). Site plans will need to be on 22x34-inch sheets. The project was reviewed for compliance with City of Beaverton (COB) 2019 EDM and the 2017 R&O 17-5 Clean Water Services (CWS) Design & Construction Standards (DCS).

Developments and other activities which create or modify 1,000 square feet or greater of impervious surface are required to provide stormwater management. A revised storm water report prepared by a professional civil engineer will be required to process any site plan revisions and will need to document how the proposal will provide water quantity (CWS DCS Section 4.03), and water quality (CWS DCS Section 4.05). Additional standards are outlined in City EDM Section 530 for surface water management design standards and CWS DCS Section 4.08. Please refer to Table 530.1 of EDM for facility order of preference. LIDA are summarized in CWS DCS Table 4-1 and sizing per Section 4.06.

City of Beaverton sanitary sewer and storm drainage are in the vicinity of this project and can serve this site. There is ongoing capital improvement project for water along SW Western Ave adjacent to this site, please contact Trevis Smith for coordination ([tsmith@beavertonoregon.gov](mailto:tsmith@beavertonoregon.gov)). The site is currently served by an 8" City of Beaverton sanitary sewer located on-site in the northeastern corner of the lot. The site's sanitary lateral is connected to an existing manhole on this 8" system. The on-site 8" line drains to a 10" line on SW 5<sup>th</sup> St. An additional 18" sanitary sewer main exists on SW 5<sup>th</sup> St. Two City of Beaverton storm drainage systems exist adjacent to the site. One 15" line exists on SW Western Ave located to the east of the lot, and a manhole on a 12" line exist on SW Western Ave near the intersection with SW 5<sup>th</sup> St to northeast corner of the lot.

City of Beaverton is the water provider for this site. There is ongoing capital improvement project for water along SW Western Ave adjacent to this site. This development will need to connect to new 8" fire service line, and new 6" domestic water service at the ROW. The existing water services

## Exhibit APP 2.1

and structures will need to be abandoned. This includes fire services between ROW connection and existing fire vault, and section of 12-inch waterline that will be left in place to temporarily provide service to the lot until existing services are abandoned. In addition, demolition of the existing fire service vault, and domestic water service meter boxes are required. An amended SPL will be required, please see next page for contact information.

Tualatin Valley Fire and Rescue (TVFR) is the fire district, see next page for contact information. A permit will be required.

An amended Clean Water Services (CWS) Pre-screen or Service Provider Letter (SPL) will be required with the land use application (see contact information on next page). An amended 1200-C will also be required as a part of any plan revisions.

Per sections 307 and 311 of Oregon Uniform Plumbing Code, storm and/or sanitary sewer that serve/crosses more than one lot shall be a public system or as approved by the building division plumbing code.

A professional surveyor will need to document where existing utility lines and any easement limits are in relation to property boundaries. Proposed relocations of any public utilities and easements will need to be shown with the Land Use application. Please note that no permanent structures including building footings, doors swinging out and roof eaves can encroach into existing public utility systems and associated easements.

With any frontage improvements/dedication, per EDM Section 130, the minimum width for a Public Utility Easement (PUE) shall be 8 feet. The PUE shall be located along all property lines adjacent to public rights-of-way. SWM facilities, including side slopes, retaining walls, perimeter fencing (when required) and all associated structures, shall not be installed within a PUE. Meter boxes or other public water infrastructure shall not be located in a PUE.

With any frontage improvements street tree plantings and any storm water facility plantings must be shown with the land use application and must be per jurisdictional approved planting lists.

Per Beaverton development code 60.65, any affected overhead utilities, as well as new connections into the site must be placed underground.

The plans or other submittals must document how a future building is elevated or entire structure is dry-floodproofed per FEMA definitions. See next page for flood elevation information.

Floodplain regulations are found in Chapter 60 of the City Development Code, Chapter 9.05 of the City Code, and Chapter 5, Section 5.10 of CWS DCS.

Survey datum information on site plans must be documented with the land use application. Within the floodplain, the flood conveyance and storage of the site at each 1-foot contour must be preserved or enhanced with a zero-rise certification by a registered professional engineer.

If the total building improvements are valued at or more than a substantial improvement (\$3,517,490), the existing building must be dry-floodproofed or elevated to the design flood elevation (DFE 207.0 feet NAVD88). For improvements determined less than the substantial improvement value, anything new or affected by the new construction in the existing building will need to be at least wet-floodproofed to the design flood elevation.

# Exhibit APP 2.1

## Floodplain valuation – Substantial Improvements

Site Address: 5051 SW Western Ave

Date: 3/28/2022

From Washington County Assessor: Market rate of structure: \$7,034,980

Substantial Improvements Valuation (Maximum to be Permitted): 50% \* \$7,034,980 = 3,517,490

Assessment & Taxation Report			
<b>General Property Information</b>			
Site Address:	5051 SW WESTERN AVE. BEAVERTON OR, 97005		
Tax Lot ID:	15114CB00200		
Property Account ID:	R102971		
Property Classification:	2310 - COMMERCIAL IN INDUSTRIAL ZONE IMPROVED - <a href="#">See full list of Codes</a>		
Neighborhood Code:	Y217		
Latitude / Longitude:	45.4828837 / 122.783582		
Ownership Information:	BACCCHUS INVESTORS LLC BEARCAT INVESTMENT PROPERTIES LLC 2 CENTERPOINTE DR. #500 LAKE OSWEGO, OR, 97035		
Tax Statement History:	<a href="#">See property tax information for all accounts on this parcel</a>		
Tax Statement History:	<a href="#">See property tax information for account R102971</a>		
<b>Sales / Deed Information</b>			
Sale Date	Sale Instrument	Deed Type	Sale Price
12/27/2021	2021132467	WARRANTY DEED	\$10,100,000
05/03/2018	2018031324	WARRANTY DEED	\$8,920,000
02/23/2004	2004021128	WARRANTY DEED	\$4,275,000
<b>Assessed Values for Account R102971</b>			
Roll Date:	10/01/2021		
Taxcodes:	051.91		
Market Land Value:	\$1,644,060		
Market Bldg Value:	\$7,034,980		
Special Market Value:	\$0		
Market Total Value:	\$8,679,040		
Taxable Assessed Value:	\$4,443,570		
Legal:	Lot:		
Lot Size:	A&T Acres: 4.87		
Bldg Sq Ft:	0		
Year Built:	N/A		
<b>Improvement Information</b>			
Total Improvement Value:			
Plumbing			
Bedrooms			

## Resources:

- For more detailed information regarding existing utilities, topography, and geological information necessary for preparation of various applications submit as-built request online at:  
<https://apps2.beavertonoregon.gov/CO/publicworks/asbuiltrequestform.aspx>

## Permits & approvals identified as likely to be needed with this development:

<input checked="" type="checkbox"/>	City of Beaverton permit- Site Development permit SD2019-0021
<input checked="" type="checkbox"/>	Contact: Site Development Division at (503) 350-4021 or sitedevelopment@beavertonoregon.gov
<input checked="" type="checkbox"/>	City of Beaverton Street cut moratorium – SW Western Ave
<input checked="" type="checkbox"/>	City of Beaverton Building permit Contact: Building Division at (503) 526-2493
<input checked="" type="checkbox"/>	Must underground all utilities (PGE, communications etc.) to site as well as any affected overhead utilities.

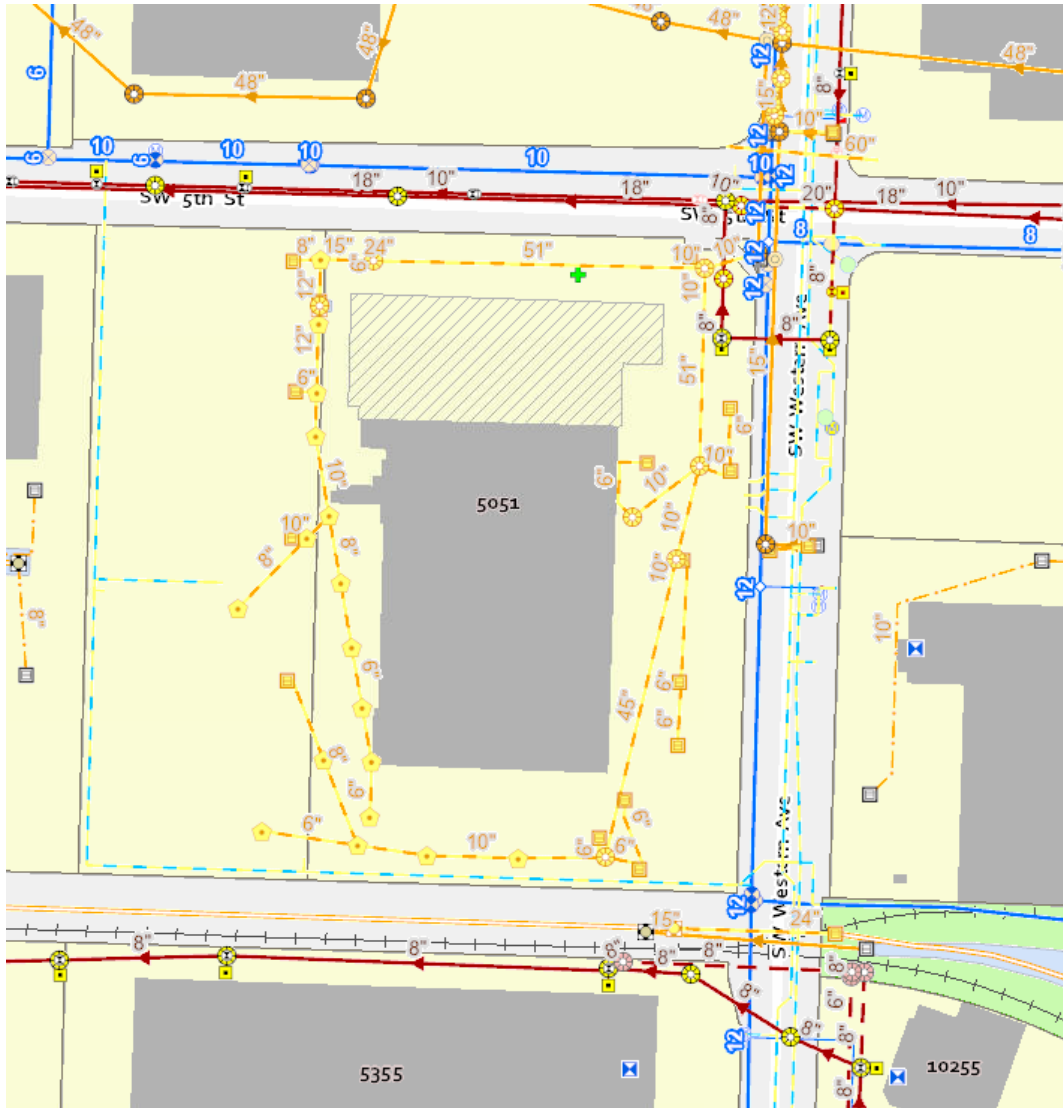
## Exhibit APP 2.1

<input checked="" type="checkbox"/>	<p>City of Beaverton utility system &amp; SPL's</p> <p>Contact: Engineering at (503) 526-2269 or <a href="mailto:engineering@beavertonoregon.gov">engineering@beavertonoregon.gov</a></p>
<input checked="" type="checkbox"/>	<p>Tualatin Valley Fire and Rescue - Permit</p> <p>Contact: DFM Jeremy Foster at (503) 259-1414 or <a href="mailto:Jeremy.Foster@tvfr.com">Jeremy.Foster@tvfr.com</a></p>
<input checked="" type="checkbox"/>	<p>Oregon DOT (Salem Office) Commerce and Compliance Division, Rail Safety Section</p> <ul style="list-style-type: none"> <li>• <input checked="" type="checkbox"/> Contact: Chris Malm, Rail Safety Section Manager 503-476-6863 or <a href="mailto:Christopher.S.MALM@odot.state.or.us">Christopher.S.MALM@odot.state.or.us</a></li> </ul>
<input checked="" type="checkbox"/>	<p>Clean Water Services District</p> <ul style="list-style-type: none"> <li>• <input checked="" type="checkbox"/> Prescreen Letter/Service Provider Letters/Wetlands/Creeks/Springs</li> </ul> <p>Contact: Lindsey Obermiller at (503) 681-3653 or email <a href="mailto:SPLReview@cleanwaterservices.org">SPLReview@cleanwaterservices.org</a></p> <ul style="list-style-type: none"> <li>• <input checked="" type="checkbox"/> Source Control Permit (all non-residential) - Contact: Source Control Division at (503) 681-5175</li> </ul>
<input checked="" type="checkbox"/>	<p>Oregon Department of Environmental Quality</p> <ul style="list-style-type: none"> <li>• <input checked="" type="checkbox"/> DEQ 1200-C Erosion Control Permit (for disturbance of 5 or more acres) - Submit to City of Beaverton Site Development for processing: 503-350-4021</li> </ul>
<input checked="" type="checkbox"/>	Mapped FEMA Floodplain
<input checked="" type="checkbox"/>	Map Number 41067C0531E
<input checked="" type="checkbox"/>	<p>Level of 100 year flood in vicinity of the site, Base Flood Elevation (BFE): 206.0' NAVD88</p> <ul style="list-style-type: none"> <li>• <input checked="" type="checkbox"/> Cut and fill grading balance required</li> <li>• <input type="checkbox"/> Must flood proof* non-residential building</li> </ul> <p>*ASCE/SEI 24-05, 2011 OSSC (2009 IBC) Appendix G (Flood Resistant Construction)</p> <p>OR</p> <ul style="list-style-type: none"> <li>• <input checked="" type="checkbox"/> Certified minimum finish floor required</li> <li>• <input checked="" type="checkbox"/> 1 foot <input type="checkbox"/> 2 feet above BFE</li> </ul>

## Exhibit APP 2.1

<input checked="" type="checkbox"/>	A downstream storm water analysis is required for this development per CWS 2.04.2.m.3. For development constructing new impervious surface of greater than 5,280 square feet, or collecting and discharging greater than 5,280 square feet of impervious area, perform a capacity and condition analysis of existing downstream storm facilities and conveyance elements receiving flow from the proposed development.
<input checked="" type="checkbox"/>	Geotechnical report may be required
<input checked="" type="checkbox"/>	Submit City of Beaverton Stormwater Management Worksheet
<input checked="" type="checkbox"/>	<p>Storm water facilities required</p> <ul style="list-style-type: none"><li>• <input checked="" type="checkbox"/> Water Quantity</li><li>• <input checked="" type="checkbox"/> Water Quality</li></ul> <p>The engineer of record can request fee in lieu for quality treatment if development meets criteria set forth in CWS DCS Section 4.05.2.b and City EDM Section 530.1.A.4.</p> <p>Payment of credit against SWM SDC for detention facilities is covered in CWS DCS Section 4.03.1.</p>

# Exhibit APP 2.1



Red = City Sanitary Line

Orange = City Storm Line



Exhibit APP 2.1

12725 SW Millikan Way | PO Box 4755 | Beaverton, OR 97076

Public Works Department

p: 503-526-2269

www.BeavertonOregon.gov

Water Service Provider Letter (SPL)

PLEASE RETURN THIS FORM TO:

PRE-APPLICATION DATE: \_\_\_\_\_

APPLICANT:

SITE INFORMATION:

Contact: \_\_\_\_\_

Tax Map(s): \_\_\_\_\_ Lot Number(s): \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

Size: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Email: \_\_\_\_\_

Nearest cross-street (or directions to site): \_\_\_\_\_

OWNER(S):

Contact: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

PROPOSED PROJECT NAME: \_\_\_\_\_

PROPOSED DEVELOPMENT ACTION (ex. Design Review, Land Division, Conditional Use, etc.): \_\_\_\_\_

EXISTING USE: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_

RESIDENTIAL: \_\_\_\_\_ INDUSTRIAL/COMMERCIAL: \_\_\_\_\_ CONDITIONAL USE: \_\_\_\_\_

Single Fam. \_\_\_\_\_ Multi-Fam. \_\_\_\_\_ Type of Use: \_\_\_\_\_ No. of Students/Employees/Etc.: \_\_\_\_\_

No. of Units: \_\_\_\_\_ Gross Floor Area \_\_\_\_\_ SQ. FT. Gross Floor Area \_\_\_\_\_ SQ FT.

Average Daily Demand (gallons/day): \_\_\_\_\_ Peak Daily Demand (gallons/day): \_\_\_\_\_ Peak Hour (gallons/day): \_\_\_\_\_

FIRE FLOW REQUIRED: (gpm): \_\_\_\_\_ IRRIGATION FLOW REQUIRED: (gpm): \_\_\_\_\_

\*\*\*FOR INTERNAL USE ONLY – DO NOT WRITE BELOW THIS LINE\*\*\*

\*\*\*Both agency signatures required

TVWD [ ] ADEQUATE [ ] INADEQUATE SERVICE LEVEL TO SERVE THE PROPOSED PROJECT. Describe why service level is inadequate and needed improvements or modification required to provide adequate services. (Use additional sheets to explain if necessary)

SIGNATURE: \_\_\_\_\_ TITLE: \_\_\_\_\_ DATE: \_\_\_\_\_

COB [ ] ADEQUATE [ ] INADEQUATE SERVICE LEVEL TO SERVE THE PROPOSED PROJECT. Describe why service level is inadequate and needed improvements or modification required to provide adequate services. (Use additional sheets to explain if necessary)

SIGNATURE: \_\_\_\_\_ TITLE: \_\_\_\_\_ DATE: \_\_\_\_\_



# Recycling & Garbage Enclosure Guidelines

This document is intended to serve as a resource in determining the minimum space that should be included for shared garbage and recycling collection areas in plans for commercial and multifamily developments. They should be used in conjunction with the relevant sections of the Beaverton Development Code and the Beaverton Code referenced below.

The City of Beaverton is committed to helping build a more sustainable community, one that minimizes its use of natural resources, protects the environment, and creates a healthy, positive and safe setting for all of its community members. By providing garbage and recycling service that meets the needs of the user (customer/tenant) and service provider while also minimizing service frequency, and therefore greenhouse gas emissions, we are able to contribute to this vision.

## Regulations

Beaverton Code [4.08.530](#) requires all businesses to recycle and as of 2021, qualified food generating businesses will be required to have weekly food scraps collection. Property owners and managers must provide services that enable tenants to be in compliance with Beaverton code.

City of Beaverton [Solid Waste & Recycling Administrative Rules](#) section E.3.a et seq. requires that multifamily and commercial property owners subscribe to weekly garbage and recycling service and shall provide a sufficient number and adequate size to prevent overflow of waste materials. Recycling and food scraps containers must be in both quantity and location reasonably similar to garbage and must be convenient for tenants to use.

All garbage and recycling facilities are required to be screened from public view by the [Beaverton Development Code](#) (Section 60.05.20.2) and will require land use approval to modify or construct. Please contact the Planning Division at 503-526-2420 for more information on screening requirements.

## Cost and collection efficiency and environmental sustainability

The most efficient and cost-effective collection service is one that minimizes the number of service stops per week and the number of times the driver gets out the truck. Properly designed enclosures should:

- Be designed to contain one week's worth garbage, recycling and food scraps.
- Be of adequate size and number to prevent overflow of garbage, recycling and food scraps.
- Allow the service vehicle to access the receptacle without the driver needing to physically move it.



## Exhibit APP 2.1

Maximizing efficiencies help keep solid waste service rates reasonable. Enclosures, and the truck access to them, should be designed to enable the most cost-effective and efficient service possible.

Designing for the most efficient enclosure possible reduces local truck traffic, saving money on road maintenance and repair, and reducing the city's green-house gas emissions which will help us reach our Climate Action Plan goal of zero emissions by 2050.

### What to avoid

#### Inadequate size

If the enclosure is too small, receptacles may get placed outside of the enclosure which conflicts with Beaverton Development Code. Small enclosures can make it difficult to impossible for the user and service provider to access the receptacles. A larger enclosure allows for flexible service levels and is more easily adapted to the changing needs of businesses, e.g. a restaurant may require room for a food scrap collection receptacle in addition to garbage and recycling, whereas an office building will generally not require these additional services.

If a roof is added to the enclosure, a minimum of 16 feet vertical clearance is necessary to allow lids to be opened and closed and the container to be removed for servicing. Clearance outside of the container is required to be 25 feet for front load container servicing.

#### Inadequate gates

Trucks require a minimum of 65 feet of straight on access in front of the enclosure to service containers.

Gates should be a minimum of 10 feet wide per container without a center post. Gates must lock in the open and closed position. The gates should open to a minimum of 120 degrees. For example, if you intend to have two containers in one enclosure, the gates should be 20' wide without a center post.

#### Location

Trucks should be able to safely enter the property and re-enter traffic without the need of backing. An enclosure at the end of an alley or in a place without adequate room for service vehicles to turnaround creates a dangerous situation for collection staff, as well as for vehicles, bicyclists and pedestrians.

The largest and most common truck used is about 37 feet in length. Driveways and lots should be designed to accommodate trucks with a turn radius of 60 feet, overhead clearance of 14 feet and weight of 55,000 lbs.

### Enclosure designs

Plans submitted to the City should detail the location(s) and size of the enclosure(s). The plan should also show container footprints. Applicants are encouraged to contact Beaverton's Solid Waste & Recycling program with any questions, 503-526-2460 or email [RecyclingMail@BeavertonOregon.gov](mailto:RecyclingMail@BeavertonOregon.gov).

## Exhibit APP 2.1

### Table A: Service level recommendations

All recommendations below assume once a week service as the preferred level of service; it is the most cost-effective, reduces green-house gas emissions and traffic. Food may be an exception and in some situations collected more than once a week. Please note, these are starting points, exact service levels will vary based on several factors (layout, type of business, number of employees etc.).

Table 1

<b>Land Use</b>	<b>Garbage</b>	<b>Mixed recycling</b>	<b>Glass recycling</b>	<b>Food waste</b>
Multi-family residential	40 gallons per living unit	40 gallons per living unit	3 gallon per living unit	---
Grocery	Compactor	Compactor for cardboard plus 6 cubic yards	64 gallons	16 cubic yards
Hotel w/restaurant	18 cubic yards	12 cubic yards	64 gallons	3 cubic yards
Hotel without restaurant	12 cubic yards	6 cubic yards	35 gallons	---
Office	3 yards per 20,000 sf	3 yards per 20,000 sf	35 gallons per 20,000 sf	---
Restaurant	3 cubic yards per 1500 sf	6 cubic yards per 1500 sf	35 gallons per 1500 sf	3 cubic yards per 1500 sf
Retail	3 yards per 8,000 sf	3 yards per 8,000 sf	35 gallon per 8,000 sf	---

## Exhibit APP 2.1

### Table B: Receptacles sizes

Containers (excludes carts) should have a minimum of one foot clearance on all sides.

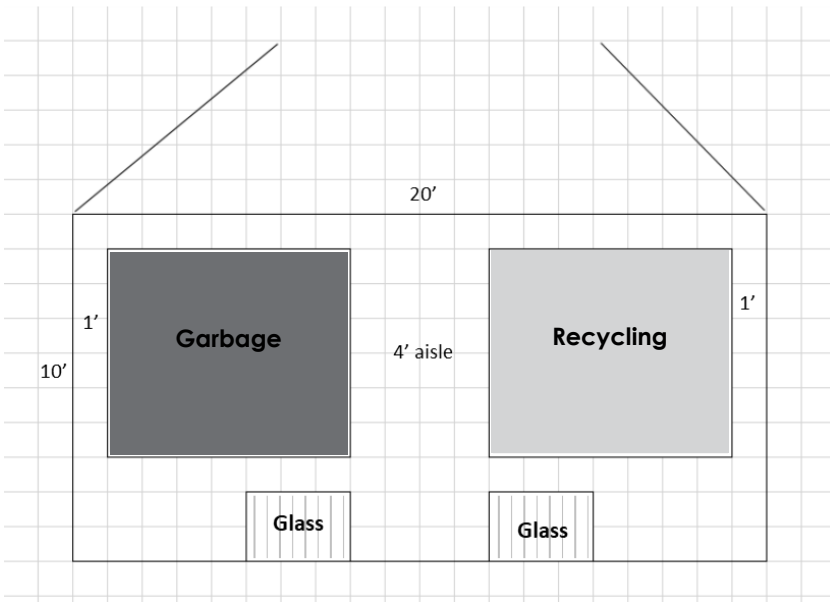
Volume	Foot Print	Height
35-gallon cart (.20 cubic yard)	21" W x 24" D	39 inches
65-gallon cart (.34 cubic yard)	27" W x 29" D	41 inches
95-gallon cart (.52 cubic yard)	30" W x 34.0" D	46 inches
1 cubic yard	84" W x 24" D	37.5 inches (with casters)
1.5 cubic yards	84" W x 36" D	43.5 inches (with casters)
2 cubic yards	84" W x 36" D	49.5 inches (with casters)
3 cubic yards	84" W x 45" D	55.5 inches (with casters)
4 cubic yards	84" W x 54" D	61.5 inches (with casters)
6 cubic yards	84" W x 68" D	60 inches (no casters)

## Exhibit APP 2.1

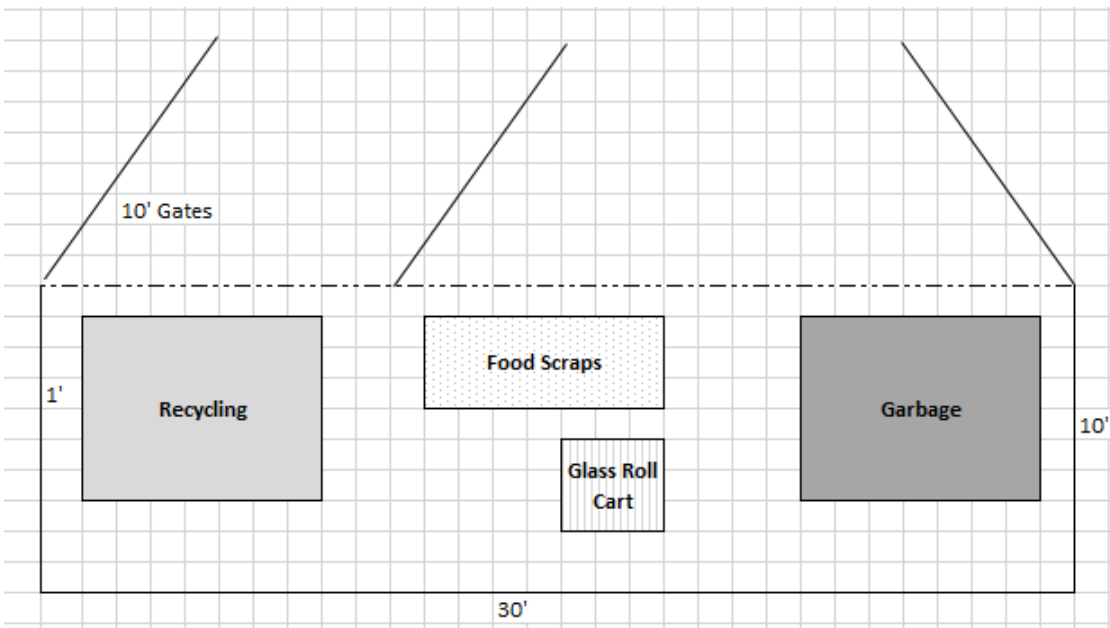
### Examples of receptacle layouts

- Layout dimensions are approximate.
- Receptacle layouts show interior dimensions, no curb, footings or other obstructions.
- Provide a minimum of one foot interior clearance between receptacles (excluding carts) and other obstructions (walls, curbs, equipment, trees).
- Provide a minimum of sixteen foot vertical clearance to open lids (from ground to top of lid) and vehicle access.
- Provide a minimum 10 foot gate to easily remove receptacles. No center post.

#### A. 10 x 20 (residential – 200 sf)



#### B. 10 x 30 (commercial w/food scraps – 300 sf)





## Business food scraps separation requirements

### Public benefits of a regional solid waste system

Through its management of the regional solid waste system, Metro seeks to:

- Protect people's health
- Protect the environment
- Get good value for the public's money
- Keep our commitment to the highest and best use of materials
- Be adaptable and responsive in managing materials
- Ensure services are available to all types of customers

*In July 2018, the Metro Council adopted a policy that requires certain types of businesses to keep their food scraps out of the garbage starting in 2020.*

### What types of materials are included in the food scraps program?

The program is for food scraps only. Food scraps include excess, spoiled or unusable and inedible food such as waste from fruits, vegetables, meats, dairy products, fish, shellfish, nuts, seeds, grains, coffee grounds and similar material that results from the storage, preparation, cooking, handling, selling or serving of food for human consumption. Food scraps do not include large amounts of oils and meats that are collected for rendering or other beneficial uses or any food fit for human consumption that has been set aside, stored properly and is accepted for donation.

*It is important to note that the program covers food scraps that are generated "back-of-house."* Back-of-house is the area of business operation where food preparation areas and kitchens are located and that is not accessible to customers. The food scraps separation requirement *does not apply* to food that is generated front-of-house. Front-of-house is the area of a business accessible to customers where food is consumed and where some establishments' customers are asked to dispose of garbage and food scraps, such as at quick-serve restaurants. A business may choose to include front-of-house food scraps in its collection program, but the business must take full responsibility for ensuring that the food scraps are free of non-food items, such as cups, napkins, cutlery and other materials, before placing the food scraps in their collection bin.

### What types of businesses are required to participate in the food scraps separation program?

**Grocery Stores:** Establishments that sell food and beverages including grocery stores, warehouse clubs, wholesalers, and specialty food stores.

**Restaurants:** Establishments that prepare meals, snacks and beverages, to customers' order, for immediate consumption on and off premises. This includes organizations and corporate campuses with full service and on-site cafeterias as well as catering companies.

**Lodging and Hotels:** Establishments primarily engaged in providing short-term lodging with full service restaurants or on-site food preparation.

**Hospitals:** Establishments, licensed as hospitals, with full-service restaurants or on-site food preparation.

**Nursing and Residential Care Facilities:** Establishments primarily engaged in providing residential care with full-service restaurants or on-site food preparation. This includes retirement and assisted living facilities.

**Correctional Facilities:** Jails, prisons, or other place of incarceration with on-site cafeterias or food preparation.

## Exhibit APP 2.1

### Business food scraps collection requirements

**Colleges and Universities:** Higher-education institutions with full-service restaurants or on-site food preparation including those that offer two- to four-year programs in the arts and sciences, technical and vocational schools, and junior and community colleges.

**Elementary and Secondary Education:** Schools with on-site cafeterias or food preparation including a centralized kitchen that prepares food for delivery to multiple school locations.

**Food and Beverage Manufacturers:** Establishments primarily engaged in producing food and beverage products such as fruit and vegetable canning, chocolate and confectionery manufacturing, meat, poultry and seafood processing, commercial bakeries, and breweries.

**I own or manage a food service business described above. When does my business need to have a food scraps separation program in place to comply with the requirements?**

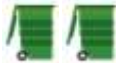
#### **Business Group 1:**

- **Implementation period begins March 31, 2020.**
- **Businesses that generate 1,000 pounds or more of food scraps per week.**  
(Equivalent to about four 60-gallon roll carts per week)



#### **Business Group 2:**

- **Implementation period begins March 31, 2021.**
- **Businesses that generate 500 pounds or more of food scraps per week.**  
(Equivalent to about two 60-gallon roll carts per week)



#### **Business Group 3:**

- **Implementation period begins September 30, 2022.**
- **Businesses that generate 250 pounds or more of food scraps per week.**  
(Equivalent to about one 60-gallon roll cart per week)



*(Conversion Factors: 800 pounds per yard and 4 pounds per gallon; 60-gallon roll cart = 240 pounds)*

### **How do I know when my business needs to comply with the requirement?**

The **Food Scraps Generation Estimation Guide** (see page 4) will help you estimate the quantity of food scraps your business generates and determine when your business needs to comply with the requirements.

If your business has practices in place to prevent food waste, you may generate less than indicated by industry averages. Individual estimates may also vary depending on the type of food service. For example, full-service, sit-down restaurants are more likely to generate higher quantities of food scraps compared to quick-serve or take-out restaurants. Technical assistance specialists from your city or county's garbage and recycling department can help you estimate your food scraps generation levels through free on-site assistance. They will also help with program set-up, training and problem-solving.

## Exhibit APP 2.1

### Business food scraps collection requirements

The Estimation Guide was developed based on industry data from published reports and studies including work done by the California Department of Resources Recycling and Recovery (CalRecycle). CalRecycle conducts periodic in-depth studies of waste generated by businesses to better understand the types and amounts of materials generated. The per-employee generation rates for each business type used in the Food Scraps Generation Estimation Guide were developed based on these in-depth studies. These rates represent industry averages that can be used to help estimate the quantity for food scraps your business generates. This source data is also used by the U.S. Environmental Protection Agency and other agencies for similar purposes. Metro will continue to refine the Food Scraps Generation Estimation Guide as updated or improved data become available.

#### **How does the food scraps separation requirement apply to:**

**Businesses that are part of a chain with multiple locations?** The requirement is based on the amount of food waste generated per location, rather than the entire chain. For example, if one location generates 1,000 pounds of food scraps per week or more, that location is part of Group 1. If another location produces less than 1,000 pounds of food scraps per week, that location is subject to the requirement at a later date.

**Facilities with multiple buildings with common ownership such as a college or corporate campus?** The requirement is based on the total amount generated by all food-related operations such as cafeterias and catering for the entire campus. If the campus as a whole generates 1,000 pounds of food scraps per week or more, then the campus is included in Group 1, even if no single building on the campus disposes of more than 1,000 pounds of food scraps per week.

**Businesses in a shopping mall or multi-tenant building with shared garbage collection service?** The requirement is based on the amount of food scraps generated at each individual business located in the mall or building, rather than the total amount generated by all the food-related businesses located in the mall or building. For example, if one business generates 1,000 pounds of food scraps per week, that business is subject to the requirement in Group 1.

#### **I read this document and it didn't answer all of my questions. Who can I call for more information?**

Call Metro at 503-234-3000 to speak with someone who may be able to answer any questions about this policy that are not addressed here.

## Exhibit APP 2.1

### Business food scraps collection requirements

#### Food Scraps Generation Estimation Guide

To estimate the quantity of food scraps your business generates and determine when you likely need to have a food scraps separation system in place, select your business category and enter the number of full-time employees that work at your business.

<b>Grocery stores</b>	# of full-time employees	× 4000 pounds of food scraps per employee per year	÷ 52 weeks per year	= pounds of food scraps per week
<b>Restaurants<sup>1</sup></b>	# of full-time employees	× 2760 pounds of food scraps per employee per year	÷ 52 weeks per year	= pounds of food scraps per week
<b>Lodging and hotels</b>	# of full-time employees	× 1200 pounds of food scraps per employee per year	÷ 52 weeks per year	= pounds of food scraps per week
<b>Hospitals</b>	# of full-time employees	× 300 pounds of food scraps per employee per year	÷ 52 weeks per year	= pounds of food scraps per week
<b>Nursing and residential care facilities</b>	# of full-time employees	× 300 pounds of food scraps per employee per year	÷ 52 weeks per year	= pounds of food scraps per week
<b>Correctional facilities</b>	# of full-time employees	× 1700 pounds of food scraps per employee per year	÷ 52 weeks per year	= pounds of food scraps per week
<b>Colleges and universities</b>	# of full-time employees	× 300 pounds of food scraps per employee per year	÷ 52 weeks per year	= pounds of food scraps per week
<b>Elementary and secondary schools</b>	Elementary and secondary schools will be included in Group 3, starting in September 2022, regardless of the amounts of food scraps they generate.			
<b>Food and beverage manufacturers</b>	Food scraps generation and handling vary widely by food product manufacturer. City and county technical assistance staff will help these businesses determine if and when they will need to have a program in place.			

**Source for Business Generation Estimates:** Cascadia Consulting Group. *2014 Generator-Based Characterization of Commercial Sector Disposal and Diversion in California*. Publication # DRRR 2015-1543. California Department of Resources and Recycling and Recovery, September 2015.  
<http://www.calrecycle.ca.gov/publications/Documents/1543/20151543.pdf>

<sup>1</sup> For organizations and corporate campuses with full service and on-site cafeterias that are not included as another business category such as hospitals, colleges and universities or correctional facilities, enter the number of full-time employees involved with food preparation and service.



# Exhibit 3.3

## DRAWING INDEX

### ARCHITECTURAL

- A1 OVERALL SITE PLAN
- A2 DIMENSIONED SITE PLAN - NORTH
- A3 DIMENSIONED SITE PLAN - SOUTH
- A3.5 ROOF PLAN
- A4 EXTERIOR ELEVATION - EXISTING
- A5 EXTERIOR ELEVATION - PROPOSED
- A6 BUILDING PERSPECTIVES

### CIVIL

- C0 TITLE SHEET
- C0.1 GENERAL NOTES AND LEGEND
- C0.2 CITY OF BEAVERTON GENERAL NOTES
- C0.3 RIGHT OF WAY EASEMENT DEDICATION PLAN
- C0.4 DIMENSIONED SITE PLAN
- C1 EXISTING CONDITIONS PLAN - KEY MAP
- C1.0 EXISTING CONDITIONS PLAN - NORTHEAST
- C1.1 EXISTING CONDITIONS PLAN - NORTHWEST
- C1.2 EXISTING CONDITIONS PLAN - SOUTHWEST
- C1.3 EXISTING CONDITIONS PLAN - SOUTHEAST
- C2 SW 5TH STREET TYPICAL SECTIONS
- C2.1 SW 5TH STREET TYPICAL SECTIONS
- C2.2 RETAINING WALL ELEVATION DETAIL
- C3 DETAILS
- C3.1 DETAILS
- C3.2 DETAILS
- C3.3 DETAILS
- C3.4 DETAILS
- C3.5 DETAILS
- C3.6 DETAILS
- C3.7 DETAILS
- C3.8 DETAILS
- C3.9 DETAILS
- C4 SW 5TH STREET PLAN AND PROFILE
- C4.1 SW 5TH STREET PLAN AND PROFILE
- C4.2 SW 5TH STREET GRADING DETAILS
- C5 STORMWATER PLAN - KEY MAP
- C5.0 STORMWATER PLAN - NORTHEAST
- C5.1 STORMWATER PLAN - NORTHWEST
- C5.2 STORMWATER PLAN - SOUTHWEST
- C5.3 STORMWATER PLAN - SOUTHEAST
- C5.4 SANITARY SEWER & WATER PLAN - NORTHEAST
- C5.5 SANITARY SEWER & WATER PLAN - NORTHWEST
- C5.6 SANITARY SEWER & WATER PLAN - SOUTHWEST
- C5.7 SANITARY SEWER & WATER PLAN - SOUTHEAST
- C5.8 PUBLIC WATER LINE PROFILE
- C5.9 PUBLIC WATER LINE PROFILE
- C6 GRADING PLAN - KEY MAP
- C6.0 GRADING PLAN - NORTHEAST
- C6.1 GRADING PLAN - NORTHWEST
- C6.2 GRADING PLAN - SOUTHWEST
- C6.3 GRADING PLAN - SOUTHEAST
- C7 EROSION & SEDIMENT CONTROL COVER SHEET
- C7.1 CLEARING & DEMOLITION, MASS GRADING EROSION & SEDIMENT CONTROL PLAN
- C7.2 GRADING & UTILITY CONSTRUCTION EROSION & SEDIMENT CONTROL PLAN
- C7.2.1 GRADING & UTILITY CONSTRUCTION EROSION & SEDIMENT CONTROL PLAN
- C7.3 EROSION & SEDIMENT CONTROL DETAILS
- C8 ON-SITE PAVING PLAN - KEY MAP
- C8.0 ON-SITE PAVING PLAN - NORTHEAST
- C8.1 ON-SITE PAVING PLAN - NORTHWEST
- C8.2 ON-SITE PAVING PLAN - SOUTHWEST
- C8.3 ON-SITE PAVING PLAN - SOUTHEAST
- C9 PRE-DEVELOPMENT STORM BASIN MAP
- C9.1 POST-DEVELOPMENT STORM BASIN MAP

### LANDSCAPE

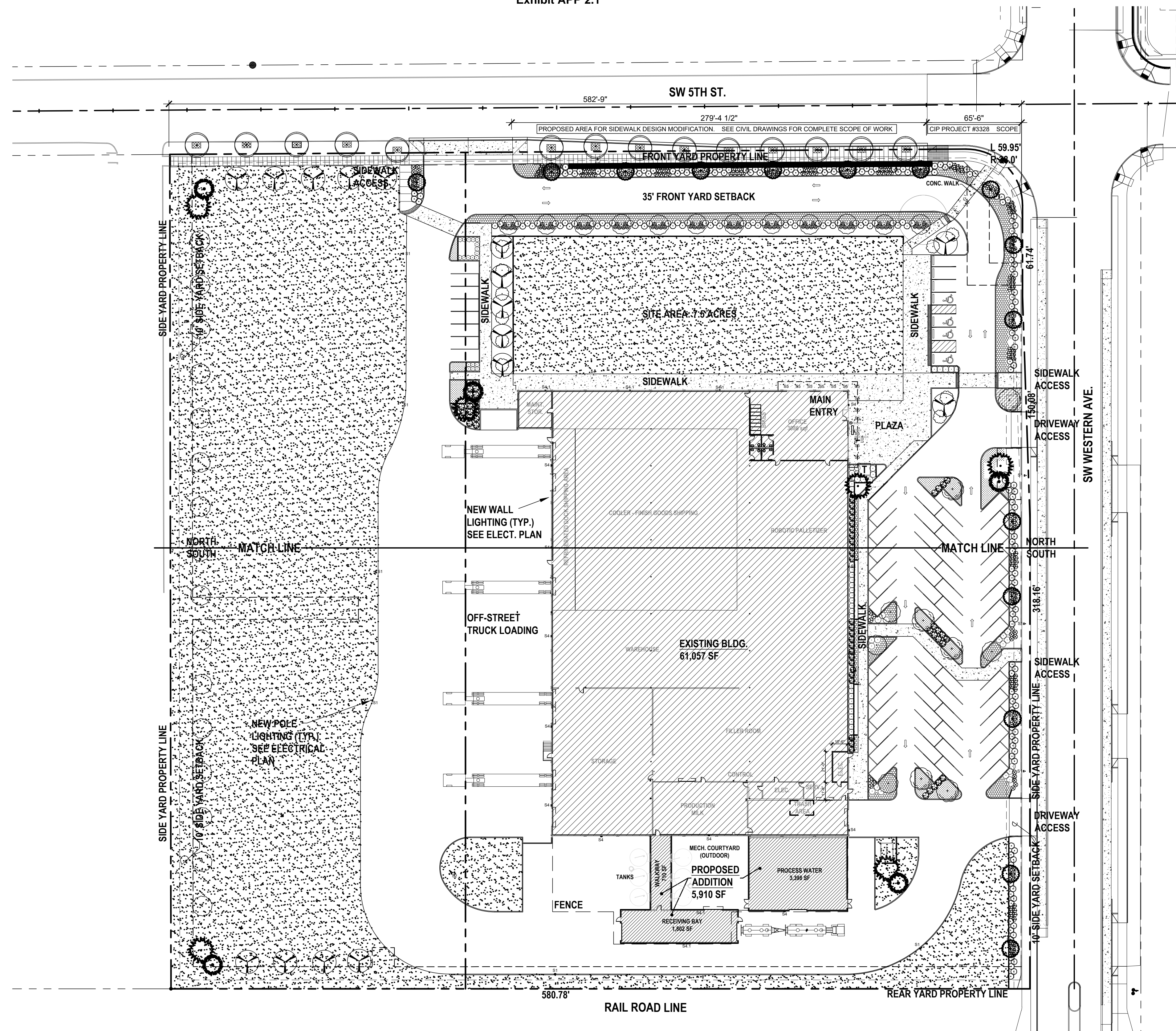
- L1 PLANTING PLAN - NORTH
- L2 PLANTING PLAN - SOUTH
- L3 PLANTING PLAN - WEST
- L4 PLANTING PLAN - OVERALL

### ELECTRICAL / LIGHTING

- E0.04 SITE PHOTOMETRIC
- E1.00 STREET LIGHTING PHOTOMETRIC



ORGANIC MILK EXCHANGE  
 DESIGN REVIEW RESUBMITTAL  
 NOV. 30, 2022



OVERALL SITE PLAN  
SCALE: 1" = 40'-0"



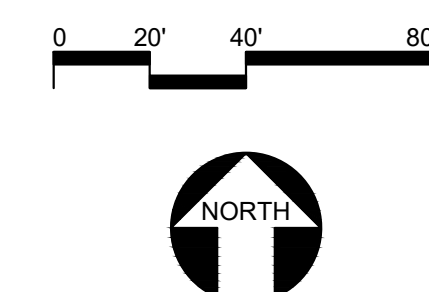
ORGANIC MILK EXCHANGE

OVERALL SITE PLAN

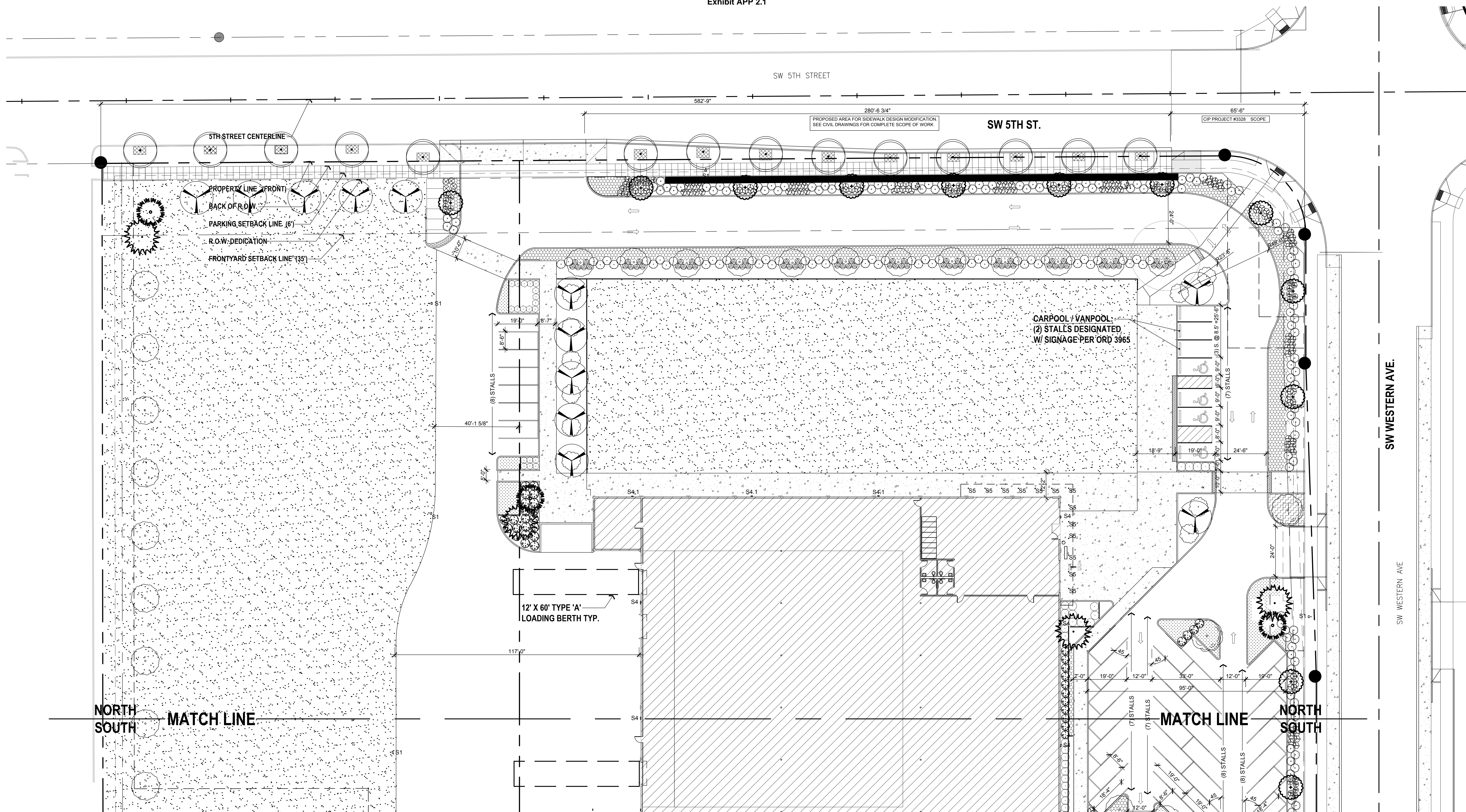
5051 SW WESTERN AVE.  
BEAVERTON, OR 97005

Job No: 22022  
Date: 01/04/23

A-1







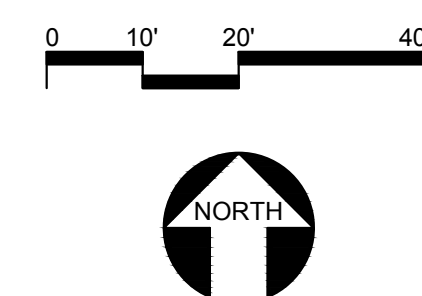
ORGANIC MILK EXCHANGE

DIMENSIONED SITE PLAN - NORTH

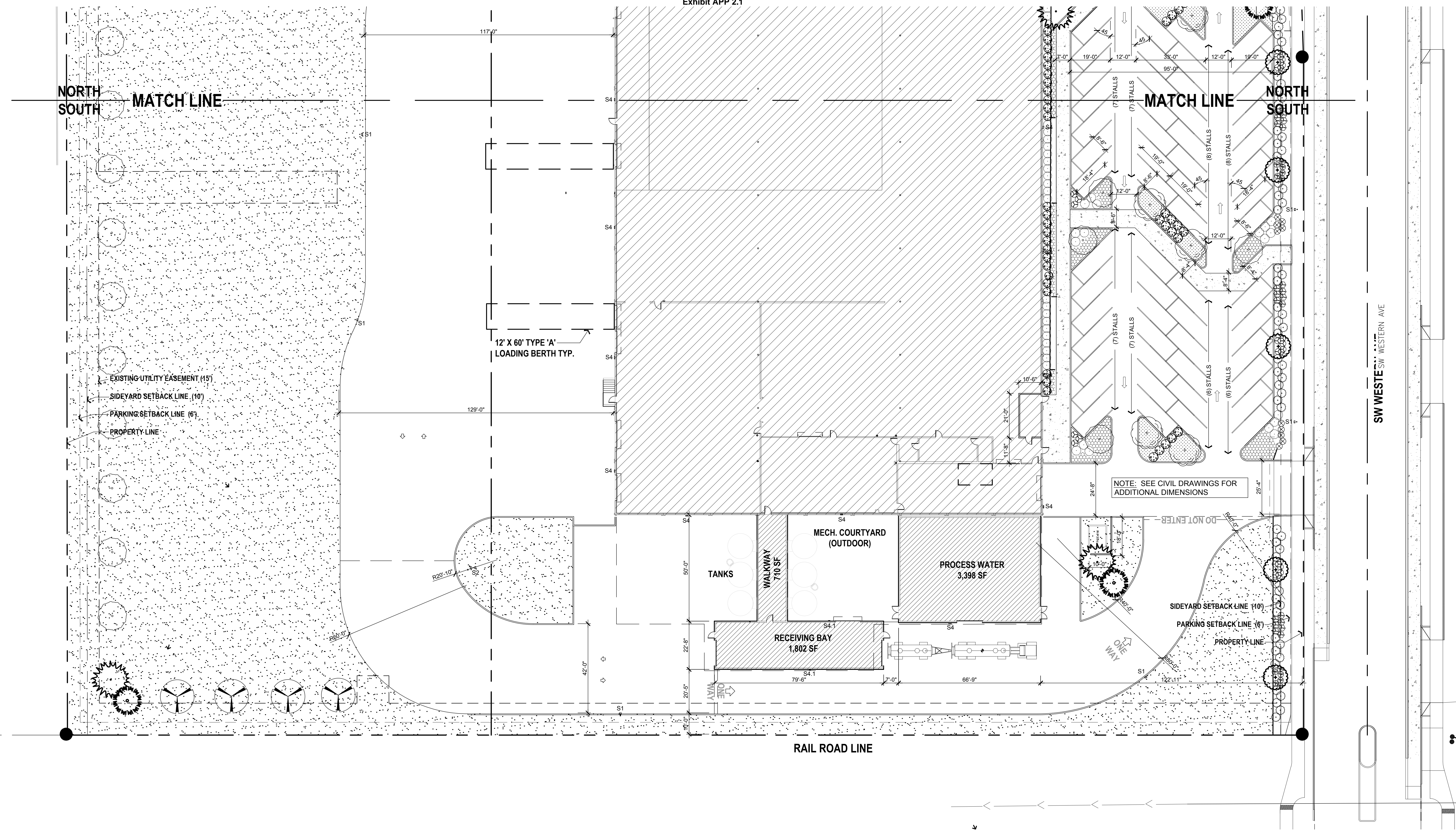
5051 SW WESTERN AVE.  
BEAVERTON, OR 97005

Job No: 22022  
Date: 01/04/23

A-2



**S|E|A**  
SCOTT EDWARDS ARCHITECTURE LLP



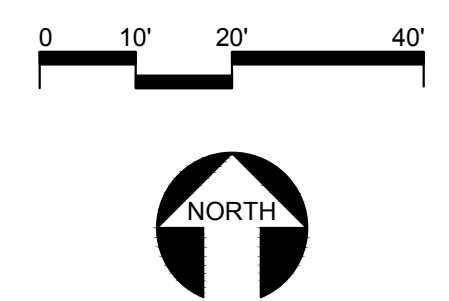
ORGANIC MILK EXCHANGE

DIMENSIONED SITE PLAN - SOUTH

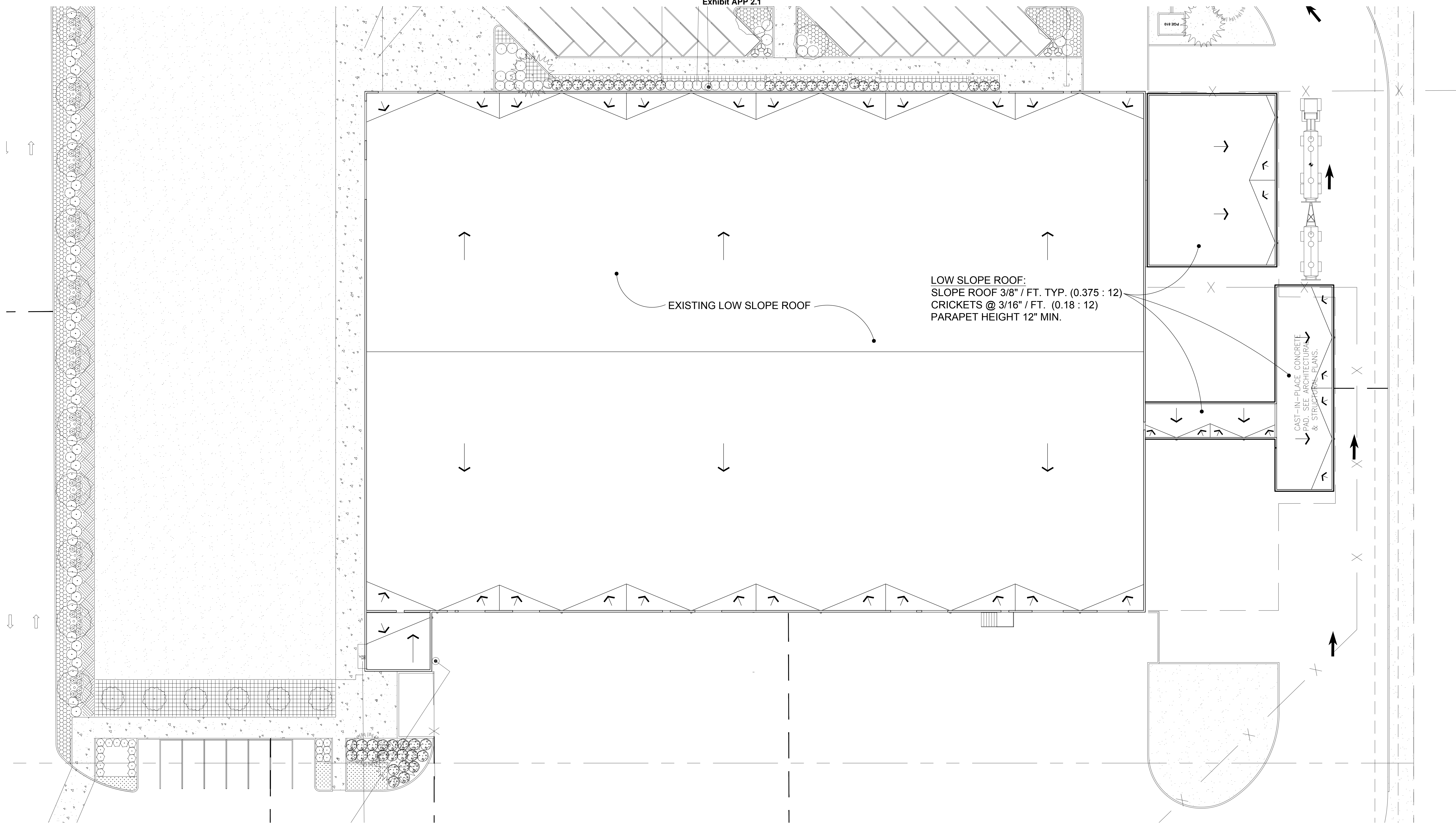
5051 SW WESTERN AVE.  
BEAVERTON, OR 97005

Job No: 22022  
Date: 01/04/23

A-3







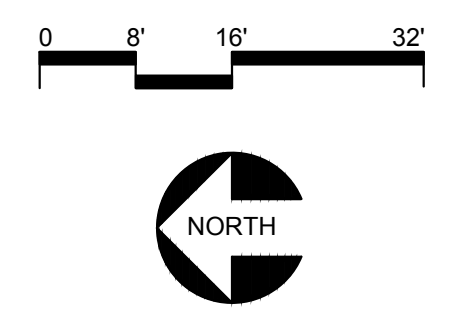
ORGANIC MILK EXCHANGE

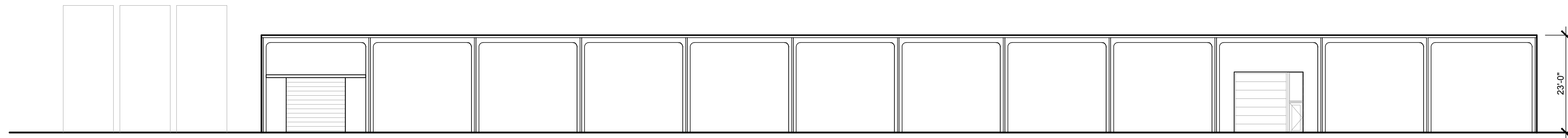
ROOF PLAN

5051 SW WESTERN AVE.  
BEAVERTON, OR 97005

Job No: 22022  
Date: 01/04/23

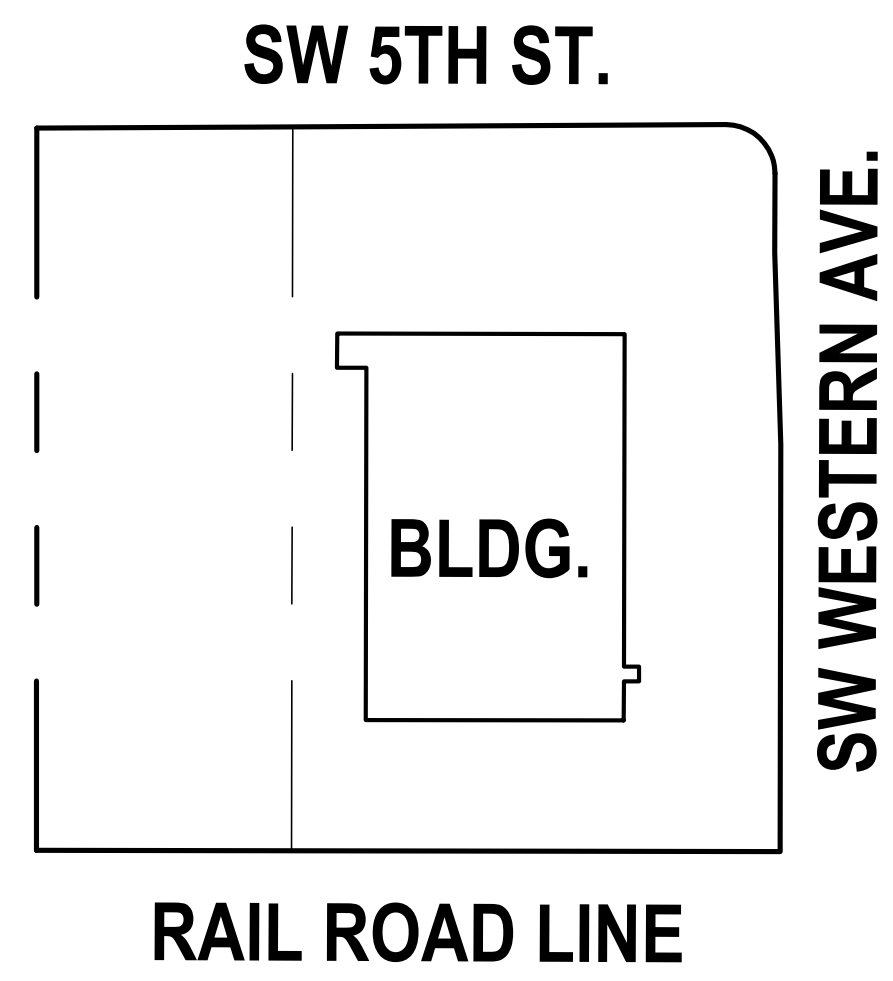
A-3.5



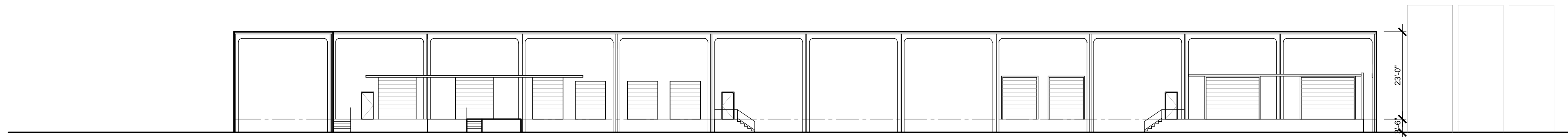


EAST ELEVATION

SCALE: 1/16" = 1'-0"

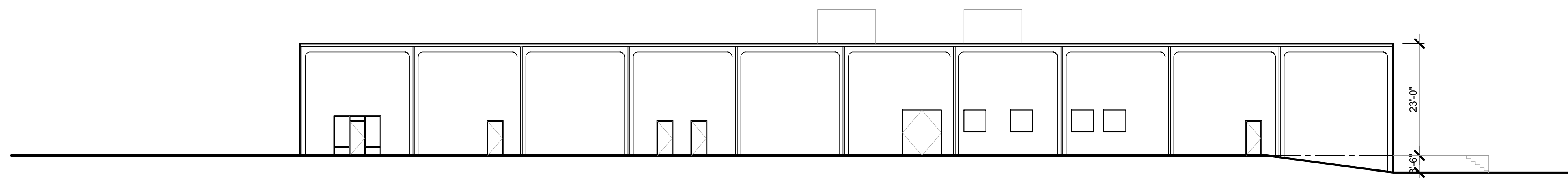


KEY SITE PLAN  
SCALE: 1:150



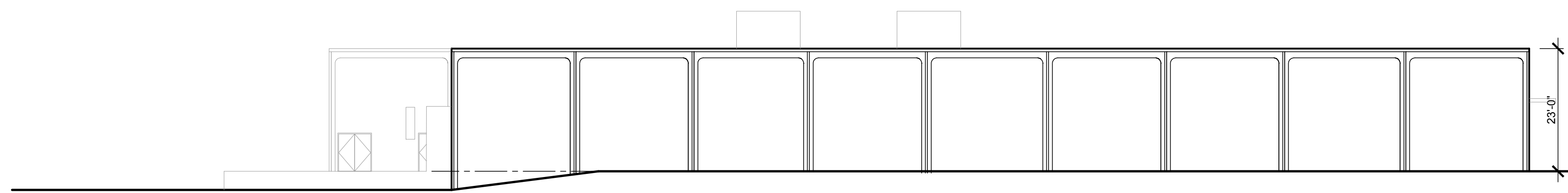
WEST ELEVATION

SCALE: 1/16" = 1'-0"



NORTH ELEVATION

SCALE: 1/16" = 1'-0"



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

ORGANIC MILK EXCHANGE

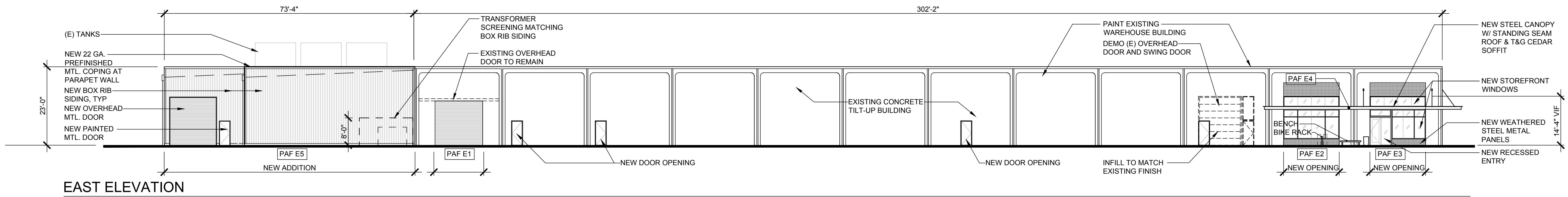
5051 SW WESTERN AVE.  
BEAVERTON, OR 97005

BUILDING ELEVATIONS - EXISTING CONDITION

Job No: 22022  
Date: 11/30/22

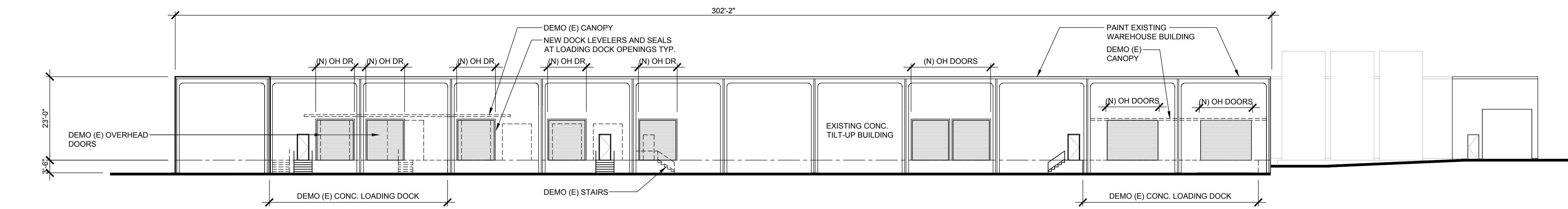
A-4





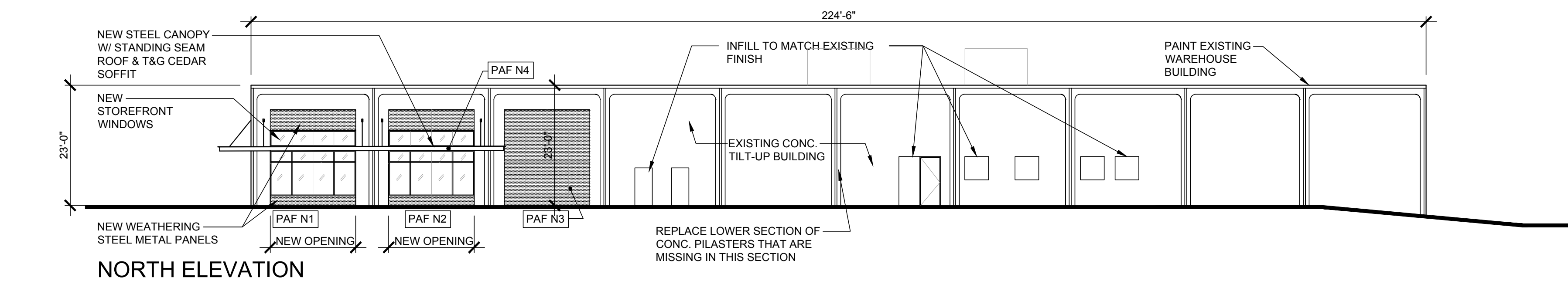
EAST ELEVATION

SCALE: 1/16" = 1'-0"



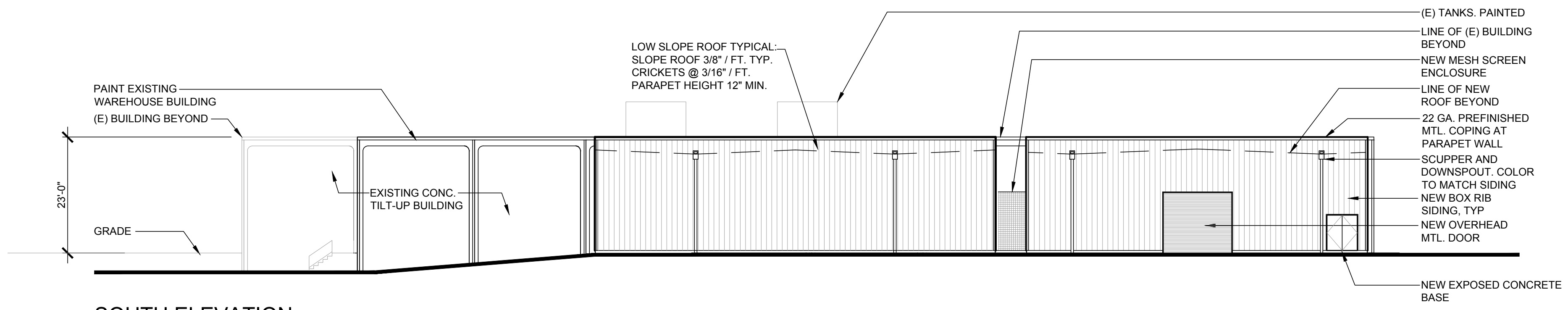
WEST ELEVATION

SCALE: 1/16" = 1'-0"



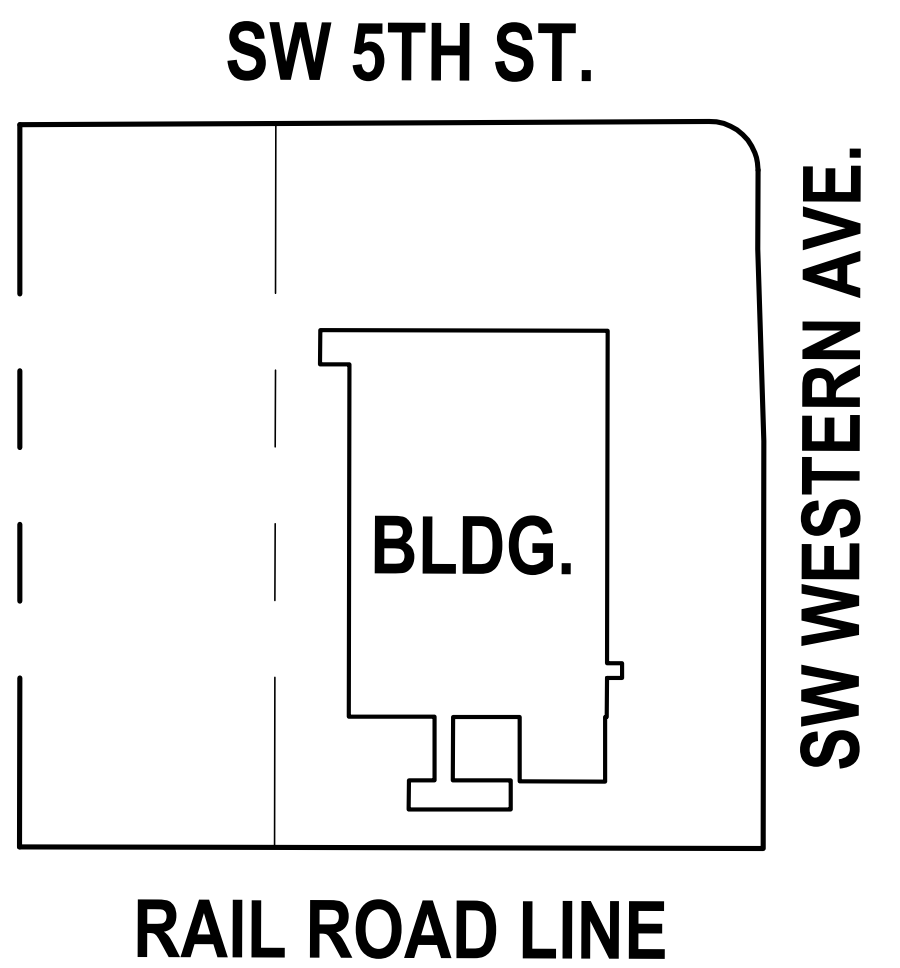
NORTH ELEVATION

SCALE: 1/16" = 1'-0"



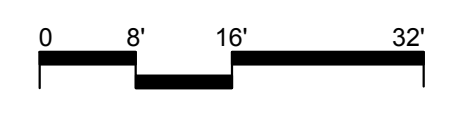
SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



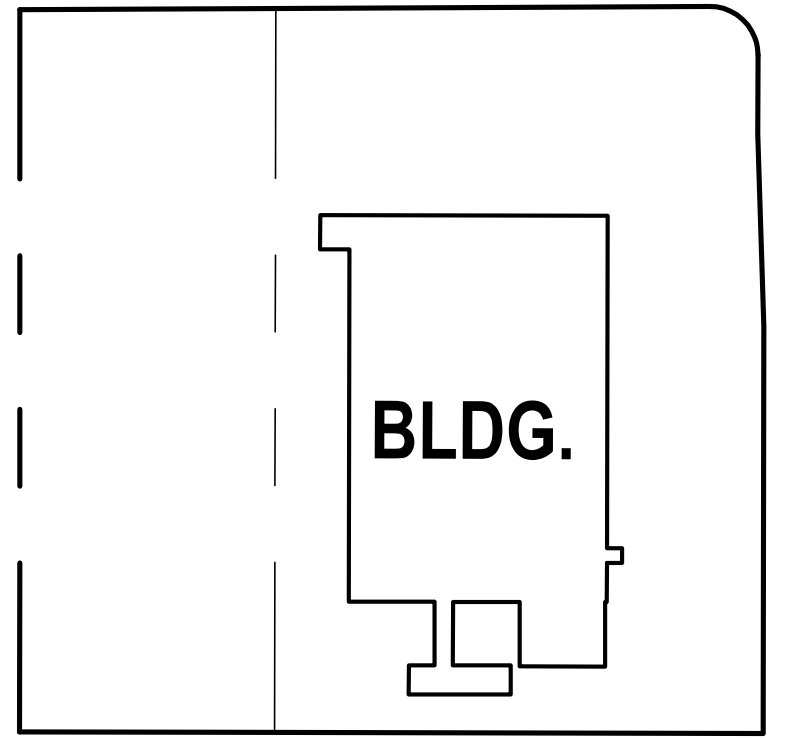
KEY SITE PLAN  
SCALE: 1:150

PERMANANT ARCHITECTURAL FEATURES (PAF XX)			
PER BDC 60.05.15.B			
APPLICABLE TO NORTH AND EAST ELEVATIONS			
EAST ELEVATION AREA:	302 X 23	=	6,946 SF
REQUIRED PERCENT:	X 0.15	=	1,042 SF
PAF FEATURE	DIMENSIONS	=	AREA
E1	LOADING DOOR	14.5 X 13.25	= 192 SF
E2	WINDOWS/MATERIAL	16.3 X 18.3	= 298 SF
E3	WINDOWS/MATERIAL	16.3 X 18.3	= 298 SF
E4	CANOPY		= 50 SF
E5	BLDG ADDITION	73 X 23	= 1,679 SF
.	TOTAL PAF AREA:		= 2,517 SF
.	PAF PERCENTAGE:		= 36 %
NORTH ELEVATION AREA:	224.5 X 23	=	5,163 SF
REQUIRED PERCENT:	X 0.15	=	774 SF
PAF FEATURE	DIMENSIONS	=	AREA
N1	WINDOWS/MATERIAL	16.3 X 18.3	= 298 SF
N2	WINDOWS/MATERIAL	16.3 X 18.3	= 298 SF
N3	CHANGE OF MATERIAL	16.3 X 18.3	= 298 SF
N4	CANOPY		= 45 SF
.	TOTAL PAF AREA:		= 939 SF
.	PAF PERCENTAGE:		= 18 %





SW 5TH ST.



SW WESTERN AVE.

RAIL ROAD LINE

KEY SITE PLAN  
SCALE: 1:150



NORTHEAST CORNER PERSPECTIVE  
SCALE: NTS



NORTHWEST CORNER PERSPECTIVE  
SCALE: NTS



SOUTHWEST CORNER PERSPECTIVE  
SCALE: NTS



SOUTHEAST CORNER PERSPECTIVE  
SCALE: NTS

ORGANIC MILK EXCHANGE

BUILDING PERSPECTIVES

5051 SW WESTERN AVE.  
BEAVERTON, OR 97005

Job No: 22022  
Date: 11/30/22

BUILDING PERSPECTIVE IMAGES ARE PROVIDED AS A COURTESY. IN RESPONSE TO A COMPLETENESS ITEM REQUEST BY PLANNING DEPARTMENT STAFF.

THESE IMAGES ARE DIAGRAMMATIC, INTENDED TO COMMUNICATE THE LOCATION AND CONFIGURATION OF NEW OPENINGS AND BUILDING COMPONENTS. THESE IMAGES ARE NOT ACCURATE REPRESENTATIONS OF SITE GRADING, PAVING, LANDSCAPING AND BUILDING FINISH MATERIALS.

A-6



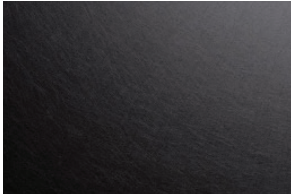
Received  
Exhibit APP 2.1  
Planning Division  
02/17/2023



Painted box-rib aluminum panels  
Painted aluminum trim and fascia  
Painted aluminum standing seam  
Color: Zinc gray



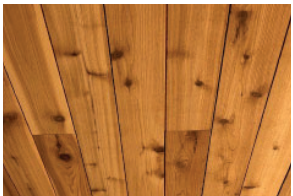
Painted metal canopy edge and flashing  
Color: Black



Anodized aluminum storefront frame  
Color: Black



Weathered steel storefront panels  
Color: Natural rust finish



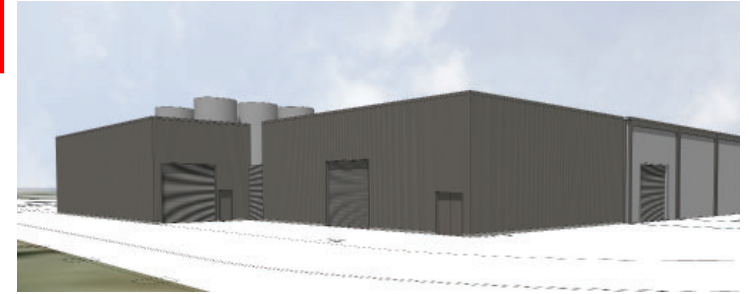
Cedar wood soffit at canopy  
Finish: Clear sealed



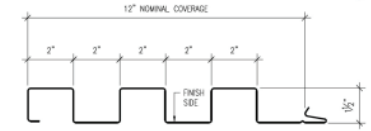
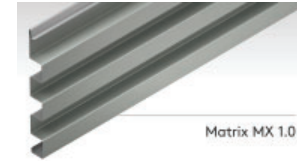
Painted tilt-up concrete wall  
Color: Medium and dark gray

Materials Board

EXHIBIT DR07



View of proposed south additions



Box-rib metal cladding



View of new entry at northeast corner



View of typical concrete bays

Organic Milk Exchange

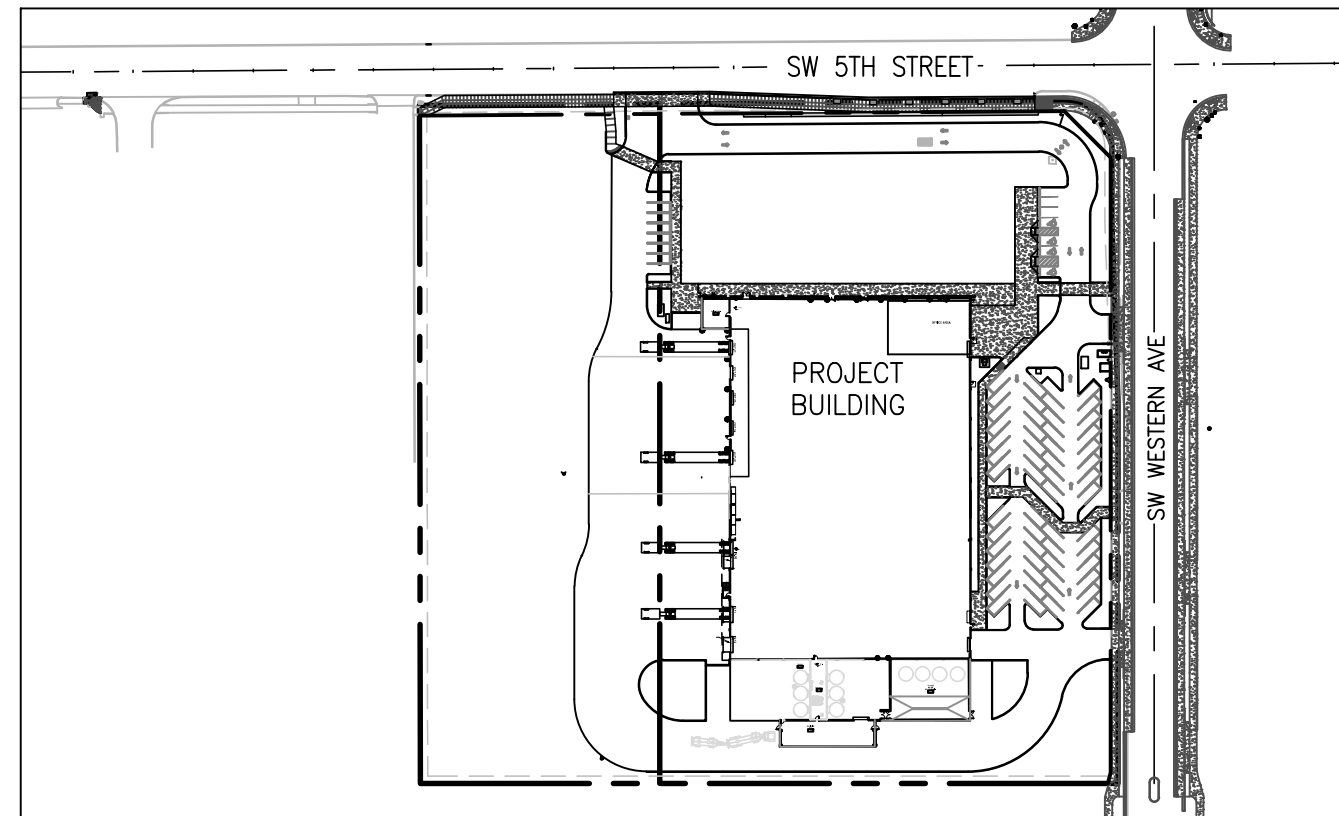
5051 SW Western Ave, Beaverton, OR 97005

Project #22022 07.15.2022



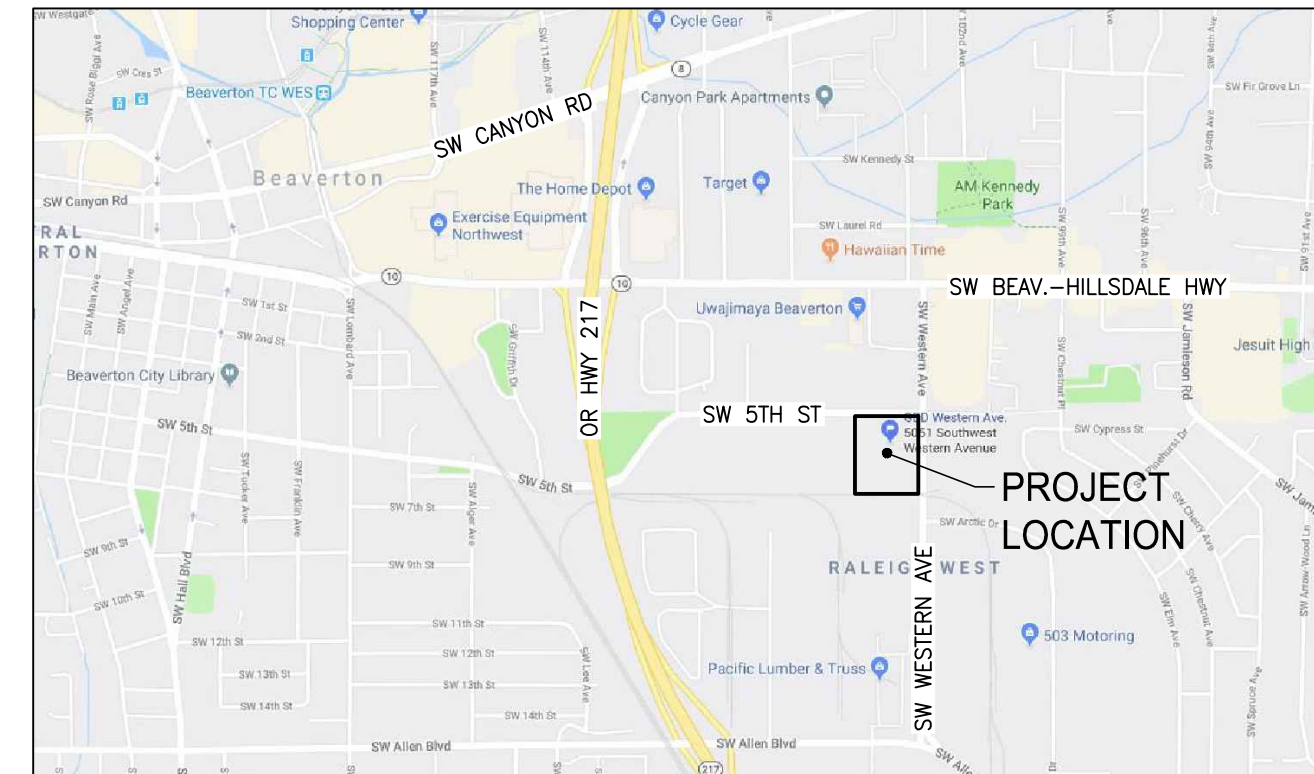
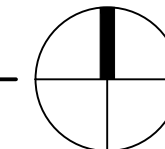
Scott  
Edwards  
Architecture

# 5051 SW WESTERN AVENUE



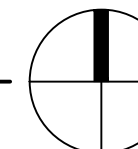
**SITE MAP**

NOT TO SCALE



**VICINITY MAP**

NOT TO SCALE



**PROJECT LOCATION**

5051 SW WESTERN AVE.  
BEAVERTON, OR 97005  
LATITUDE = 45° 28' 58" N, LONGITUDE = 122° 47' 01" W

**PROPERTY DESCRIPTION**

TAX LOTS 200 & 300 LOCATED IN SECTION 14, TOWNSHIP 1 SOUTH, RANGE 1 WEST WASHINGTON COUNTY, OREGON

**CITY OF BEAVERTON NOTES**

1. PRIVATE PLUMBING SYSTEMS OR SYSTEMS NOT COVERED BY THE SITE DEVELOPMENT PERMIT ARE DEPICTED ON THESE PLANS. THE CONTRACTOR SHALL CONTACT THE CITY OF BEAVERTON BUILDING DIVISION PLUMBING SECTION AT 503 526 2943 AND REQUEST A CONFERENCE WITH THE PLUMBING SECTION LEAD REVIEWER FOR INFORMATION ON OBTAINING ADDITIONAL PERMIT(S) AND INSPECTION(S).
2. PRIVATE ELECTRICAL SYSTEMS OR SYSTEMS NOT COVERED BY THE SITE DEVELOPMENT PERMIT ARE DEPICTED ON THESE PLANS. THE CONTRACTOR SHALL CONTACT THE CITY OF BEAVERTON ELECTRICAL DIVISION PLUMBING SECTION AT 503 526 2943 AND REQUEST A CONFERENCE WITH THE ELECTRICAL SECTION LEAD REVIEWER FOR INFORMATION ON OBTAINING ADDITIONAL PERMIT(S) AND INSPECTION(S).

**PROJECT TEAM**

**DEVELOPER / OWNER**  
KEYSTONE-PACIFIC, LLC  
CONTACT: JOSEPH MCCARTHY  
18555 SW TETON AVENUE  
TUALATIN, OREGON 97062  
PHONE: 503 303 0360  
E-MAIL: joe.mccarthy@keystone-pacific.com

**ARCHITECT**  
SEA ARCHITECTS  
CONTACT: PETER GRIM  
2525 E BURNSIDE  
PORTLAND, OR 97214  
PHONE: 503 226 3617  
E-MAIL: Peter@seallp.com

**CIVIL ENGINEER**  
T.M. RIPPEY CONSULTING ENGINEERS  
CONTACT: CHRIS DESLAURIERS, PE  
7650 SW BEVELAND ST, SUITE 100  
TIGARD, OR 97223  
PHONE: 503 443 3900  
E-EMAIL: cdeslauriers@tmrippey.com

**SURVEYOR**  
FORD ENGINEERING, INC.  
CONTACT: FRED FORD  
12205 IOKA WAY NW  
SILVERDALE, WA 98383  
PHONE: 503 624 2050  
E-MAIL: fcf@fordeng.com

**SHEET INDEX**

- C0 TITLE SHEET
- C0.1 GENERAL NOTES AND LEGEND
- C0.2 CITY OF BEAVERTON GENERAL NOTES
- C0.3 RIGHT OF WAY & EASEMENT DEDICATION PLAN
- C0.4 DIMENSIONED SITE PLAN
- C1 EXISTING CONDITIONS PLAN KEY MAP
- C1.0 EXISTING CONDITIONS PLAN NORTHEAST
- C1.1 EXISTING CONDITIONS PLAN NORTHWEST
- C1.2 EXISTING CONDITIONS PLAN SOUTHWEST
- C1.3 EXISTING CONDITIONS PLAN SOUTHEAST
- C2 SW 5TH STREET TYPICAL SECTIONS
- C2.1 SW 5TH STREET TYPICAL SECTIONS
- C2.2 RETAINING WALL ELEVATION DETAIL
- C3 DETAILS
- C3.1 DETAILS
- C3.2 DETAILS
- C3.3 DETAILS
- C3.4 DETAILS
- C3.5 DETAILS
- C3.6 DETAILS
- C3.7 DETAILS
- C3.8 DETAILS
- C3.9 DETAILS
- C4 SW 5TH STREET PLAN AND PROFILE
- C4.1 SW 5TH STREET PLAN AND PROFILE
- C4.2 SW 5TH STREET GRADING DETAILS
- C5 STORMWATER PLAN KEY MAP
- C5.0 STORMWATER PLAN NORTHEAST
- C5.1 STORMWATER PLAN NORTHWEST
- C5.2 STORMWATER PLAN SOUTHWEST
- C5.3 STORMWATER PLAN SOUTHEAST
- C5.4 SANITARY SEWER & WATER PLAN NORTHEAST
- C5.5 SANITARY SEWER & WATER PLAN NORTHWEST
- C5.6 SANITARY SEWER & WATER PLAN SOUTHWEST
- C5.7 SANITARY SEWER & WATER PLAN SOUTHEAST
- C5.8 PUBLIC WATER LINE PROFILE
- C5.9 PUBLIC WATER LINE PROFILE
- C6 GRADING PLAN KEY MAP
- C6.0 GRADING PLAN NORTHEAST
- C6.1 GRADING PLAN NORTHWEST
- C6.2 GRADING PLAN SOUTHWEST
- C6.3 GRADING PLAN SOUTHEAST
- C7 EROSION & SEDIMENT CONTROL COVER SHEET
- C7.1 CLEARING & DEMOLITION, MASS GRADING EROSION & SEDIMENT CONTROL PLAN
- C7.2 GRADING & UTILITY CONSTRUCTION EROSION & SEDIMENT CONTROL PLAN
- C7.2.1 GRADING & UTILITY CONSTRUCTION EROSION & SEDIMENT CONTROL PLAN
- C7.3 EROSION & SEDIMENT CONTROL DETAILS
- C8 ON-SITE PAVING PLAN KEY MAP
- C8.0 ON-SITE PAVING PLAN NORTHEAST
- C8.1 ON-SITE PAVING PLAN NORTHWEST
- C8.2 ON-SITE PAVING PLAN SOUTHWEST
- C8.3 ON-SITE PAVING PLAN SOUTHEAST
- C9 PRE-DEVELOPMENT STORM BASIN MAP
- C9.1 POST-DEVELOPMENT STORM BASIN MAP

Received  
Planning Division  
02/17/2023

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226 - 3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**Preliminary**  
10/17/2022 10:54:54 AM  
REGISTERED PROFESSIONAL ENGINEER  
CHRIS J. DESLAURIERS  
EXP: 12/31/2023

PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

**REVISIONS**

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
TITLE SHEET

C0



**GENERAL UTILITY NOTES**

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CITY OF BEAVERTON ENGINEERING DESIGN MANUAL (EDM), AND CLEAN WATER SERVICES (CWS) RESOLUTION AND ORDER (R&O) 17-5.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2017 OREGON PLUMBING SPECIALTY CODE, CURRENT BUILDING CODE, AND THE CURRENT FIRE CODE, AS ADOPTED BY THE CITY OF BEAVERTON.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL NOTIFY THE OREGON UTILITY NOTIFICATION CENTER (800 332 2344) THREE BUSINESS DAYS PRIOR TO ANY EXCAVATION.
- EXISTING CONDITIONS BASED ON TOPOGRAPHIC, BOUNDARY, AND UTILITY SURVEY PREPARED BY FORD ENGINEERING, INC., DATED AUGUST 2018.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF PRIVATE UTILITIES SUCH AS GAS, TELEPHONE, POWER, CABLE TELEVISION, ETC. CONFIRM VAULT LOCATIONS WITH ARCHITECT. NOTE: WATER VAULTS TO BE PLACED OUTSIDE OF PUBLIC UTILITY EASEMENTS (PUE).
- THE CONTRACTOR SHALL KEEP THE ARCHITECT AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 48-BUSINESS HOUR NOTICE IS REQUIRED.
- THE CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS. EXISTING UTILITIES AND POINTS OF CONNECTION TO EXISTING UTILITIES AND LOCATIONS WHERE NEW UTILITIES WILL CROSS EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BY POTHOLES PRIOR TO CONSTRUCTION OR ORDERING MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE POTHOLES SUCH THAT IF CONFLICTS ARE ENCOUNTERED, SUFFICIENT TIME EXISTS TO PREPARE MODIFIED DESIGNS AND HAVE THE MODIFICATIONS APPROVED BY THE JURISDICTION WITHOUT IMPACTING THE PROJECT SCHEDULE.
- THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
- INSTALL CLEANOUTS AT 100' MAX. AND AT ALL LATERALS PER CODE. PROVIDE CLEANOUTS AS REQUIRED BY THE 2017 OREGON PLUMBING SPECIALTY CODE. NOT ALL REQUIRED CLEANOUTS ARE SHOWN.
- UTILITIES WITHIN TWO FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE 2017 OREGON PLUMBING SPECIALTY CODE.
- CHANGES IN DIRECTION OF DRAINAGE AND SEWER PIPING SHALL BE MADE BY THE APPROPRIATE USE OF APPROVED FITTINGS AND SHALL BE OF THE ANGLES PRESENTED BY ONE-SIXTEENTH BEND, ONE-EIGHTH BEND, ONE-SIXTH BEND OR OTHER APPROVED FITTINGS OF EQUIVALENT SWEEP.
- IF DEWATERING IS REQUIRED DURING CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DEWATERING PLAN CONSISTENT WITH CITY OF BEAVERTON REQUIREMENTS AND OBTAIN APPROVAL OF THE PLAN FROM THE CITY PRIOR TO PROCEEDING WITH DEWATERING.
- THE CONTRACTOR SHALL CLEAN ALL CATCH BASINS AND STORM LINES IMPACTED BY SITE DEVELOPMENT FOLLOWING COMPLETION OF CONSTRUCTION OR AS DIRECTED BY THE CITY OF BEAVERTON. NO SEDIMENT SHALL BE ALLOWED TO ENTER THE STORM SYSTEM.
- COORDINATE WITH CITY OF BEAVERTON WATER DEPARTMENT (ONE WEEK IN ADVANCE OF COMMENCING WORK) ON NEW FIRE AND DOMESTIC WATER TAPS AT EXISTING PUBLIC WATER MAINS AND NEW DOMESTIC WATER SERVICE AND METER. CITY OF BEAVERTON'S APPROVED CONTRACTOR TO TAP MAINS, AT THE OWNER'S EXPENSE. INSTALL SERVICE PIPES FROM MAIN TO METER AND FROM METER TO BUILDING (AND FUTURE BUILDING LOCATION) RISER ROOM AND INSTALL A CITY OF BEAVERTON APPROVED 6-INCH REDUCED PRESSURE STYLE DOMESTIC BACKFLOW PREVENTER IN AN ABOVE GRADE HEATED ENCLOSURE ADJACENT TO THE RIGHT OF WAY. CONTRACTOR TO PROVIDE 4"-THICK CONCRETE PAD ON 6" OF 1"-0" COMPACTED CRUSHED AGGREGATE FOR DOMESTIC BACKFLOW PREVENTER ENCLOSURE. EXTEND PAD 12" BEYOND PERIMETER OF BACKFLOW PREVENTER ENCLOSURE. PROVIDE DRAINAGE TO CITY APPROVED WEEP HOLE LOCATION AT CURB AT WESTERN AVENUE. COORDINATE WITH BUILDING PLUMBING DESIGNER. PROVIDE DEDICATED ELECTRICAL CIRCUIT FOR BACKFLOW PREVENTER HEATED ENCLOSURE. THE DOMESTIC WATER METER WILL ULTIMATELY BE 6-INCH COMPOUND METER, BASED ON BUILDING DEMAND UNDER FULL PRODUCTION. INITIALLY A 2-INCH METER WILL BE INSTALLED IN THE 6-INCH COMPOUND METER VAULT. INSTALL 6"x2" REDUCERS AT FLANGE CONNECTIONS TO ALLOW INSTALLATION OF 2-INCH METER. SIZE OF DOMESTIC SERVICE, CAPACITY OF METER, BUILDING DOMESTIC WATER DEMAND AND SIZE OF PIPING TO BUILDING IS TO BE CONFIRMED BY BUILDING PLUMBING DESIGNER PRIOR TO CONSTRUCTION OR ORDERING MATERIAL. ALL PIPE FITTINGS BETWEEN DOMESTIC METER AND BUILDING TO BE FULLY MECHANICALLY RESTRAINED. CONTRACTOR TO CONFIRM REQUIRED BACKFLOW PREVENTER TYPE PRIOR TO CONSTRUCTION OR ORDERING MATERIALS AND COORDINATE WITH BUILDING PLUMBING DESIGNER. CONTRACTOR TO DETERMINE IF REMOTE METER READER IS REQUIRED AND PROVIDE AS DIRECTED BY CITY OF BEAVERTON WATER DEPARTMENT. IRRIGATION CONNECTION IS TO BE DOWNSTREAM OF BUILDING WATER METER AND TO BE OF CITY OF BEAVERTON WATER DEPARTMENT APPROVED TYPE. SEE LANDSCAPE PLANS FOR DISCUSSION OF IRRIGATION BACKFLOW PREVENTER AND CONTINUATION TO IRRIGATION SYSTEM. NO CONNECTIONS MAY OCCUR BETWEEN DOMESTIC METER AND BACKFLOW PREVENTERS INSIDE BUILDING. FIRE LINE SIZE IS ASSUMED AND TO BE CONFIRMED BY BUILDING FIRE SYSTEM DESIGNER BASED ON THEIR FLOW TESTING. ALL PIPING, VALVES, FITTINGS, ETC. FROM WATER METER OUTLET FLANGE CONNECTION TO BUILDING INTERIOR TO BE INSTALLED BY A STATE OF OREGON LICENSED PLUMBER.
- FIRE DCDA TO BE AT RIGHT OF WAY WITH SIZE TO BE DETERMINED BY BUILDING FIRE SYSTEM DESIGNER. FDC TO BE ROUTED THROUGH DCDA VAULT WITH CHECK VALVE AND DRAIN INSIDE DCDA VAULT. PROVIDE PUMP WITH DISCHARGE FROM VAULT TO CITY OF BEAVERTON APPROVED WEEP HOLE LOCATION. PROVIDE DEDICATED ELECTRICAL CIRCUIT, CONDUIT, AND CONDUCTORS FOR PUMP, CONTRACTOR TO COORDINATE WITH SITE/BUILDING ELECTRICAL DESIGNER. SIZE OF FDC PIPE IS ASSUMED AND TO BE CONFIRMED BY BUILDING FIRE SYSTEM DESIGNER. FDC TO CONFORM TO REQUIREMENTS OF CITY OF BEAVERTON AND TUALATIN VALLEY FIRE AND RESCUE (TVF&R). CONTRACTOR TO SUBMIT PLANS AND PERMIT APPLICATION TO THE CITY OF BEAVERTON BUILDING DEPARTMENT PLUMBING AND ELECTRICAL DIVISIONS FOR PIPING, VAULT, FDC, ELECTRICAL SERVICE, TESTING, AND INSPECTION BETWEEN VAULT AND BUILDING. ALL FITTINGS BETWEEN DCDA VAULT AND BUILDING OR FDC TO BE FULLY MECHANICALLY RESTRAINED. CONTRACTOR TO OBTAIN SEPARATE PERMIT FROM LIFE AND SAFETY PERMIT FROM THE CITY OF BEAVERTON FOR THE FDC AND FIRE LINES.
- PUBLIC WATER LINE, FITTINGS, VALVES, HYDRANTS, AND COMPONENTS TO CONFORM TO THE REQUIREMENTS OF CITY OF BEAVERTON WATER DEPARTMENT. ALL PIPE, VALVES, BENDS, HYDRANTS, AND FITTINGS TO BE FULLY MECHANICALLY RESTRAINED WITH MEGA LUG RESTRAINER GLANDS. HYDRANTS TO ALSO CONFORM TO REQUIREMENTS OF TVF&R. ON-SITE 15 FT. WIDE PUBLIC WATER EASEMENTS TO BE DEDICATED TO THE CITY OF BEAVERTON FOLLOWING CONSTRUCTION.
- CONTRACTOR SHALL CONTACT THE CITY OF BEAVERTON WATER DEPARTMENT ONE BUSINESS WEEK PRIOR TO ABANDONING THE EXISTING WATER SERVICE. SEE CITY OF BEAVERTON DRAWING 660-1.
- BUILDING SANITARY, KITCHEN WASTE, AND PROCESS WASTE PIPE SIZES ARE ASSUMED AND TO BE CONFIRMED BY BUILDING PROCESS TREATMENT, KITCHEN, AND PLUMBING DESIGNERS BASED ON THEIR CALCULATION OF DESIGN FIXTURE DISCHARGE. SEE BUILDING PLUMBING PLANS FOR SANITARY CONTINUATION WITHIN BUILDING. CONTRACTOR TO OBTAIN FINAL SIZING PRIOR TO ORDERING MATERIAL.
- GREASE INTERCEPTOR SIZE IS ASSUMED. CONTRACTOR TO OBTAIN FINAL SIZING FROM BUILDING PLUMBING AND KITCHEN EQUIPMENT DESIGNERS PRIOR TO ORDERING INTERCEPTOR. ROUTE 2-INCH VENT PIPE FROM INTERCEPTOR TO EXTERIOR OF ADJACENT BUILDING. SEE BUILDING PLUMBING PLANS FOR CONTINUATION. INSTALLATION OF VENT PIPE TO BE PERFORMED BY A STATE OF OREGON LICENSED PLUMBER.
- PROCESS WASTE SEWER SAMPLING MANHOLE TO CONFORM TO CITY OF BEAVERTON REQUIREMENTS. PROVIDE POWER CONDUIT AND CONDUCTORS AND DEDICATED ELECTRICAL CIRCUIT AS REQUIRED. COORDINATE WITH BUILDING ELECTRICAL DESIGNER.
- CORE EXISTING ON-SITE PUBLIC SANITARY MANHOLE FOR BUILDING SERVICE CONNECTION. MODIFY CHANNEL AND RELOCATE STEPS AS REQUIRED. REMOVE LID AND ROTATE AS REQUIRED TO MATCH INTERNAL STEPS AND FINISHED GRADE. REMOVE EXISTING SANITARY SEWER PIPING TO SOUTH.
- CONNECT TO EXISTING SITE SANITARY SEWER LATERAL ON SITE. INVERT ELEVATION LISTED IS ASSUMED AND TO BE CONFIRMED BY CONTRACTOR. REMOVE OR ABANDON EXISTING SANITARY SEWER.
- CONTRACTOR TO COORDINATE WITH MECHANICAL DESIGNER AND NW NATURAL FOR NATURAL GAS CONNECTION AND METER. SIZE IS ASSUMED AND TO BE CONFIRMED BY CONTRACTOR WITH MECHANICAL DESIGNER.



**GENERAL GRADING NOTES**

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF 2019 CITY OF BEAVERTON ENGINEERING DESIGN MANUAL (EDM) AND THE PROJECT GEOTECHNICAL ANALYSIS.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS, INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL NOTIFY THE OREGON UTILITY NOTIFICATION CENTER (800 332 2344) THREE BUSINESS DAYS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF PRIVATE UTILITIES SUCH AS GAS, TELEPHONE, POWER, CABLE TELEVISION, ETC. CONFIRM VAULT LOCATIONS WITH ARCHITECT. NOTE: ALL VAULTS TO BE PLACED OUTSIDE OF PUBLIC UTILITY EASEMENTS (PUE).
- THE CONTRACTOR SHALL KEEP THE ARCHITECT AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 48-BUSINESS HOUR NOTICE IS REQUIRED.
- EXISTING CONDITIONS BASED ON TOPOGRAPHIC, BOUNDARY, AND UTILITY SURVEY PREPARED BY FORD ENGINEERING, INC., DATED AUGUST 2018.
- GRADING ELEVATIONS AS SHOWN ON PLANS ARE FINISHED GRADE, WHICH INCLUDES PAVING, BASE ROCK, LANDSCAPING, AND SUBGRADE SOIL.
- SEE PROJECT GEOTECHNICAL ANALYSIS PREPARED BY GEOTECH SOLUTIONS, INC., DATED JUNE 2018 FOR EXCAVATION, FILL, PAVING, AND COMPACTION REQUIREMENTS.
- IF DEWATERING IS REQUIRED DURING CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DEWATERING PLAN CONSISTENT WITH CITY OF BEAVERTON REQUIREMENTS AND OBTAIN APPROVAL OF THE PLAN FROM THE CITY PRIOR TO PROCEEDING WITH DEWATERING.
- THE CONTRACTOR SHALL CLEAN ALL CATCH BASINS AND STORM LINES IMPACTED BY SITE DEVELOPMENT FOLLOWING COMPLETION OF CONSTRUCTION OR AS DIRECTED BY THE CITY OF BEAVERTON. NO SEDIMENT SHALL BE ALLOWED TO ENTER THE STORM SYSTEM.
- SITE RETAINING WALLS (OTHER THAN AT TRUCK DOCKS) TO BE CONTRACTOR DESIGN-BUILD MODULAR BLOCK. MATERIAL TO BE AS APPROVED BY ARCHITECT.
- CONTRACTOR TO COORDINATE WITH THE CITY OF BEAVERTON SITE DEVELOPMENT INSPECTOR AND THE PROJECT GEOTECHNICAL ENGINEER FOR OBSERVATION OF THE PROOF ROLL OF SUBGRADE AND BASE ROCK AT THE FIRE TRUCK ROUTE. A MINIMUM OF 48 BUSINESS HOURS PRIOR TO PROOF ROLL. PROOF ROLL CANNOT OCCUR WITHOUT ATTENDANCE OF BOTH CITY SITE DEVELOPMENT INSPECTOR AND GEOTECHNICAL ENGINEER.

**SITE PAVING NOTES**

- SEE PROJECT GEOTECHNICAL ANALYSIS PREPARED BY GEOTECH SOLUTIONS, INC., DATED JUNE 2018 FOR EXCAVATION, FILL, PAVING, AND COMPACTION REQUIREMENTS.
- AUTO AREAS:  
3" OF ASPHALT CONCRETE ON 6" OF 1"-0" COMPACTED CRUSHED AGGREGATE ON COMPACTED SUBGRADE. SEE DETAIL 5 ON SHEET C5 & GEOTECHNICAL ANALYSIS BY GEOTECH SOLUTIONS, INC.
- TRUCK AREAS:  
4.5" OF ASPHALT CONCRETE ON 10" OF 1"-0" COMPACTED CRUSHED AGGREGATE ON COMPACTED SUBGRADE. SEE DETAIL 6 ON SHEET C5 & GEOTECHNICAL ANALYSIS BY GEOTECH SOLUTIONS, INC.
- PER PROJECT GEOTECHNICAL ENGINEER, DESIGN OF SITE TRUCK PAVING SECTION PROVIDES AN ALL WEATHER SURFACE THAT IS CAPABLE OF SUPPORTING A MINIMUM 12,500 POUND POINT LOAD (WHEEL LOAD) AND 75,000 POUND LIVE LOAD (GROSS VEHICLE WEIGHT). DOCUMENTATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT THE FINAL CONSTRUCTION IS IN ACCORDANCE WITH THE APPROVED PLANS AND THE REQUIREMENTS OF THE CITY OF BEAVERTON BUILDING AND TVF&R REQUIREMENTS WILL BE PROVIDED BY THE PROJECT GEOTECHNICAL ENGINEER FOLLOWING CONSTRUCTION.
- CONTRACTOR TO COORDINATE WITH THE CITY OF BEAVERTON SITE DEVELOPMENT INSPECTOR AND THE PROJECT GEOTECHNICAL ENGINEER FOR OBSERVATION OF THE PROOF ROLL OF SUBGRADE AND BASE ROCK AT THE FIRE TRUCK ROUTE. A MINIMUM OF 48 BUSINESS HOURS PRIOR TO PROOF ROLL. PROOF ROLL CANNOT OCCUR WITHOUT ATTENDANCE OF BOTH CITY SITE DEVELOPMENT INSPECTOR AND GEOTECHNICAL ENGINEER.

**LEGEND**

	PROPOSED	EXISTING
PROJECT BOUNDARY	---	---
PROPERTY LINE	---	---
EASEMENT LINE	---	---
FENCE	--- x --- x ---	
CURB	====	====
EDGE OF PAVEMENT	---	---
1' CONTOUR	-----206-----	-----206-----
5' CONTOUR	-----205-----	-----205-----
STORM SEWER LINE	---SD---	---STM---
WATER LINE	---W---	---WAT---
FIRE WATER LINE	---FW---	
FIRE DEPT. CONNECTION LINE	---FDC---	
SANITARY SEWER LINE	---SS---	---SAN---
GAS LINE	---GAS---	---GAS---
OVERHEAD UTILITY WIRE		---OHW---
UNDERGROUND POWER LINE		---PWR---
COMMUNICATION LINE		---COM---
FLOOD PLAIN BOUNDARY		---FP---
EXISTING FEATURE OR CONDITION		(E)
CATCH BASIN		CB
TOP OF CURB		TC
GUTTER		G
TOP OF WALL		TW
FG AT BOTTOM OF WALL		BW
FINISHED GRADE		FG
FOOTING		FTG
GENERAL GRADING NOTES		GGN
GENERAL UTILITY NOTES		GUN
BACKFLOW PREVENTER		BFP
CITY OF BEAVERTON		COB
DUCTILE IRON		D.I.
NORTH		N
SOUTH		S
EAST		E
WEST		W
ASPHALT CONCRETE		A/C
MECHANICAL JOINT		MJ
GATE VALVE		GV

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
**T.M. RIPPEY**  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**Preliminary**  
10/17/2022 10:54:59 AM  
EXP: 12/31/2023

PROJECT  
**5051 SW WESTERN AVE**  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
**07.15.2022**  
**LU REV SUBMITTAL**

TMR PROJECT NUMBER  
**18207**

SCALE  
**AS INDICATED ON PLAN**

SHEET TITLE  
**GENERAL NOTES & LEGEND**

**C0.1**

SITE DEVELOPMENT PERMIT



**CITY OF BEAVERTON GENERAL CONSTRUCTION NOTES**

**GENERAL:**

1. All public improvements shall be constructed per the applicable sections of the City of Beaverton 2019 Engineering Design Manual (Resolution 4542) and 2019 R&O 19-5 Clean Water Services District's Design and Construction Standards (Resolution and Order CWS 19-5).
2. Existing utility locations are approximate only. In order to protect existing underground utilities, contractors performing work shown on these plans must notify utilities and public agencies at least 48 business hours in advance of, and no more than 10 business days before, beginning excavation, in accordance with the provisions of OAR 952-001-0090. Limits of work shall be pre-marked for the utility locators. Pothole all crossings as necessary to prevent grade and alignment conflicts. Report all conflicts to the engineer immediately. Protect existing utilities at all times during construction. Call the One Call Utility Notification Center at 503-246-6699 for utility locates. Any damage to existing utilities, whether they're shown on these drawings or not, will be repaired or replaced at the contractor's expense. ATTENTION: Oregon law requires all excavators to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center. (Note: The telephone number of the administration office for the Oregon Utility Notification Center is 503-232-1987).
3. The contractor shall exercise all due care in protecting property along the route of the improvements. This protection shall include, but not be limited to, trees, yards, fences, drainage lines, mail boxes, driveways, shrubs, lawns, irrigation systems, within any rights-of-ways and easements. If any of the above have been disturbed, they shall be restored as necessary to as near their original condition as possible or replaced in kind.
4. The contractor shall perform all the work shown on the drawings and all incidental work considered necessary to complete the project in an acceptable manner.
5. The contractor and/or each sub-contractor shall have a minimum of one set of City-approved construction plans on the job site at all times during each construction phase while work is being done.
6. All material suppliers shall submit to the engineer proof of material(s) tested in accordance with specifications. By acceptance of the contract with the owner/developer, the contractor certifies that all materials delivered to the job site will meet or exceed those specifications. Any material not conforming shall be removed from the site at no additional cost to the owner.
7. Following substantial completion, the developer's engineer shall provide three paper-copy, as-built and record drawing sets of all sheets in this plan set plus any approved revisions. After walk through and punch-list preparation by City crews, the City Inspector will request revisions to the as-builts and record drawings. The developer's engineer shall

then provide one set of mylar as-builts and record drawings and an electronic copy in AutoCAD format (dxf or dwg files) on disk to the City Inspector, per City standards.

8. The contractor shall notify the City Inspector at least 48 hours (two full working days) prior to beginning the project. Connections between existing infrastructure and new work shall not be made until necessary inspections and tests have been completed on the new work and it is found to conform in all respects to the requirements of the plans and specifications.

**STREETS AND STRUCTURAL FILLS:**

1. All trees, brush and debris within the limits of the right-of-way and on the areas to be filled shall be removed and disposed of by the contractor unless otherwise noted on the plans or flagged in the field.
2. All areas of construction shall be stripped. Stripping shall consist of removing the topsoil humus. Stripping materials shall be placed or stockpiled by the contractor on site as shown on the plans and per instruction by the inspector, or hauled off site to an approved location.
3. Embankments and structural fills for roadway construction or fills to be constructed on buildable areas shall be constructed from excavated materials acceptable to the soils engineer and shall be brought to grade in lifts not to exceed 12" to 18" loose measure. Each lift shall be compacted to 95 percent of maximum density as obtained by AASHTO T-99 compaction test. Combination test results shall be submitted to the City Inspector.
4. Fills shall not be constructed on natural slopes steeper than 2 horizontal to 1 vertical. All fill slopes shall not exceed 2 horizontal to 1 vertical. No rock or similar irreducible material with a minimum dimension greater than 12 inches shall be buried or placed in the fills.
5. If springs or ground water are encountered during construction, the contractor shall advise the soils and civil engineers of the condition found and coordinate activities in a manner that will allow the engineer(s) time to review the situation and prepare a plan to properly dispose of the water encountered for City approval and per Clean Water Services requirements.
6. Rock base, asphaltic concrete pavement, concrete pavement curb and sidewalk construction shall be as shown on the typical sections and detail sheet and in accordance with the above referenced specifications.
7. The contractor shall clean all spilled dirt, gravel or other foreign material caused by the construction operations from all streets and roads at the conclusion of each day or operation. Cleaning shall be by grader and front-end loader, supplemented by power brushing and hand labor unless otherwise approved by the City. The contractor shall follow City and CWS erosion control procedures.

8. As soon as practical after completion of all paving and gravel shoulder resurfacing, the contractor shall remove all dirt, mud, rock gravel and other foreign material from the paved surface and storm drainage system.

**STORM SEWER:**

1. All storm sewer construction and all materials shall conform to the applicable sections of the City of Beaverton 2019 Engineering Design Manual & 2019 R&O 19-5 CWS Design and Construction Standards.
2. All service laterals to be constructed at a minimum slope of one-quarter inch per linear foot unless otherwise shown on plans or approved by the City Building Division, **by the requirements of the 2017 Oregon Plumbing Specialty Code.**
3. All existing storm systems shall be cleaned and flushed and original drainage restored. Sediment, rock and other debris shall be collected and disposed of in a proper manner. In no case shall debris be flushed down a storm or sanitary sewer for disposal. All damaged irrigation and house drainage pipe, drain files, sewer laterals and culverts shall be repaired expeditiously. Debris collected shall be disposed in a commercial landfill or other approved location, **by the requirements of the 2017 Oregon Plumbing Specialty Code.**
4. Storm sewer pipe shall be of the size and type noted on the plans. Concrete reinforced pipe shall be bell & spigot pipe and shall conform to ASTM C76-CL 4 (unless otherwise shown). Catch basins and curb inlets shall be the type shown on the detail sheet.
5. Installation of the storm sewer shall be performed according to the standard practice. Pipe lines shall be laid on a straight alignment and uniform grade between structures. Pipe bedding shall be placed to form a continuous and uniform bearing support for the pipe at every point between joints; pipe zone material shall be first placed up to the spring line of the pipe and material uniformly compacted by hand to insure proper support within the pipe haunches. All backfill in public right of way and other traffic areas shall be ¾"-0" compacted crushed rock, compacted to 95% percent of maximum density as obtained by AASHTO T-99 compaction test.
6. Storm sewer stubs and service laterals shall be marked with 2"x4", minimum 8 foot posts (with at least 3 feet exposed above ground) painted white with thick, black pen or black lumber crayon indicating depth of pipe, lot # (if applicable), and stationing. PVC pipe used for storm service laterals shall be white in color.
7. Prior to acceptance, all public storm sewer shall be thoroughly cleaned and, as appropriate, mandrelled (by Developer) and TV-scanned (by City Operations) in accordance with the City of Beaverton's requirements for such tests.

**SANITARY SEWERS:**

1. All sanitary sewer construction and all materials shall conform to the applicable sections of the City of Beaverton 2019 Engineering Design Manual & 2019 R&O 19-5 CWS Design and Construction Standards.

2. All service laterals to be constructed at a minimum slope of one-quarter inch per linear foot unless otherwise shown on plans or approved by the City Building Division.
3. Installation of the sanitary sewer shall be performed according to the standard practice. Pipe lines shall be laid on a straight alignment and uniform grade between structures. Pipe bedding shall be placed to form a continuous and uniform bearing support for the pipe at every point between joints; pipe zone material shall be first placed up to the spring line of the pipe and material uniformly compacted by hand to insure proper support within the pipe haunches. All backfill in public right of way and other traffic areas shall be ¾"-0" compacted crushed rock compacted to 95% of maximum density as obtained by AASHTO T-99 compaction test.
4. Sanitary sewer stubs and service laterals shall be marked with 2"x4", minimum 8 foot posts (with at least 3 feet exposed above ground) painted green or red with thick, black pen or black lumber crayon indicating depth of pipe, lot # (if applicable), and stationing. PVC pipe used for sanitary service laterals shall be green in color.
5. Prior to acceptance, all public sanitary sewers shall be thoroughly cleaned and, as appropriate, mandrelled and air tested (both by Developer) and TV scanned (by City Operations) in accordance with the City of Beaverton's requirements for such tests.

**WATER LINES (City Water Service Area ONLY):**

1. Operation of existing valves shall be performed only by Public Works Water Operations staff as authorized by City DRC, per EDM section 610.4.4.
2. All materials and workmanship shall comply with AWWA, City of Beaverton, and the Uniform Plumbing Code as applicable. All material shall be of new manufacture. No rebuilt or used materials will be allowed.
3. All mainline ductile iron pipes shall be push-on, cement-lined interior coating with the exterior coated with zinc. The pipe shall be Class #52 with Tyton joints. The zinc coated pipe requires V-Bio Enhanced Polyethylene Encasement of not less than 8 mil thickness, per EDM section 680.2.11. All fittings shall be mechanical joints conforming to ANSI A-21.1.1. All joints shall be mechanically restrained EB AA iron works or equal with USA or Canadian parts.
4. Fire hydrant assemblies shall conform to the City of Beaverton's accepted brands and models.
5. All pipes shall have 36" minimum cover measured from finish grade unless specifically noted for less cover with mitigating measures. All new piping to be mechanically restrained.
6. All backfill in the right of way or other traffic areas shall be ¾"-0" compacted crushed rock, compacted to 95 percent of maximum density as obtained by AASTO T-99 compaction test. Pipe bedding shall be placed to form a continuous and uniform bearing support for the pipe at every point between joints; pipe zone material shall be

first placed up to the spring line of the pipe and material uniformly compacted by hand to insure proper support within the pipe haunches.

7. Water line construction shall comply with EDM section 630.3 and Oregon Department of Human Services (DHS, formerly Oregon Health Division – rules accessed at [www.ohd.hr.state.or.us/dwp/rules.cfm](http://www.ohd.hr.state.or.us/dwp/rules.cfm)) regarding the location and separation of water lines and sanitary sewer lines – (specifically, separation requirements can be accessed at <http://oregon.gov/DHS/ph/dwp/docs/pwrrules/61-0020.pdf>)
8. Upon completion of installation of the water system, all lines shall be flushed and disinfected in conformance with EDM section 630.4, DHS guidelines and the requirements of the Oregon Department of Environmental Quality. Waterlines shall be pressure tested following completion. The minimum test pressure shall be 150 PSI. For lines working with operation pressures greater than 100 PSI, the minimum test pressure shall be one and one-half times the operation pressure. The duration of the test shall be 1 hour, unless otherwise directed by the City Inspector. Allowable leakage is in accordance to City Standards (0 psi).
9. All water service laterals are to be installed by the developer in accordance with the City Standards.
10. Fire hydrants shall be located to allow a minimum of 36" clear space surrounding all portions of the hydrant. There shall also be no obstructions directly in line with any of the ports of the hydrant for a distance of 6 feet.
11. All waterline taps 4" or greater shall use an all stainless steel tapping sleeve (JCM 432 or approved equal).
12. Cross Connection Control and Backflow Assemblies shall be as per City of Beaverton 2019 Engineering Design Manual, Section 690 and detail drawings 690-1 through 690-10. When required, backflow prevention assemblies for the protection of the public water system shall meet the requirements set forth in the current Oregon Administrative Rules Chapter 333-061-0070, Uniform Plumbing Code, and City of Beaverton Code 4.02.160 and 4.02.165. Contact the City Backflow Specialist for more information at 503-350-4042.

**STREET LIGHTS:**

1. Option "C" street lighting will be used as stated in Section 450 of the City of Beaverton 2019 Engineering Design Manual. An electrical permit from the City Building Division is required prior to any installation.
2. All electrical components shall be UL approved or approved equal.
3. The contractor shall be responsible for making arrangements with PGE for connecting the street lighting system to the local distribution system.
4. Anchor base poles shall be used unless otherwise pre-approved (on a case by case basis) by the City Operations and Maintenance Director. Wood poles shall not be used.

5. A J-box shall be located within 3 feet of each light pole base (exception: a controller may serve as a J-box for a light pole base within ten feet proximity to a controller). Conduit between light pole base and adjoining J-box shall be minimum 1 inch diameter size. Conduit between J-boxes and conduit to power source, controller, or other structures shall be minimum 2 inch diameter size. J-Boxes shall be Brooks #36 or equivalent at all light pole bases; other applications may require larger box sizes.

**TRAFFIC CONTROL:**

1. Traffic control to be performed in accordance with the Manual for Uniform Traffic Control Devices and Oregon amendments as required. The City can require additional traffic control measures as needed to provide for public safety.
2. On residential local streets, the contractor shall be responsible to provide all required traffic control when work is being done in the right of way.
3. All existing streets with a greater classification than a residential local street shall require a traffic control plan prepared by a professional engineer for both construction operations and after-hour situations.
4. All traffic control measures need to be submitted to the City of Beaverton for review prior to construction.

**APPROVALS AND MODIFICATIONS:**

1. Any revision to approved plans must be under the direction of the Engineer of Record (or Coordinating Design Professional). It shall be at the discretion of the City's Project Inspector as to whether the revision is significant enough to warrant review by the City Engineering Plan Review staff. If so, the Engineer shall submit five (5) copies of the proposed revision; no work affected by the revision shall be done until approved by the City Site Development Engineer. The City Inspector and the Engineer of Record must approve all other changes prior to implementation of the change.

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
**T.M. RIPPEY**  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**PROFESSIONAL ENGINEER**  
**CHRIS J. DESLAURIEUX**  
10/17/2022 10:54:59 AM  
EXP: 12/31/2023

**Preliminary**

PROJECT  
5051 SW WESTERN  
AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC,  
LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

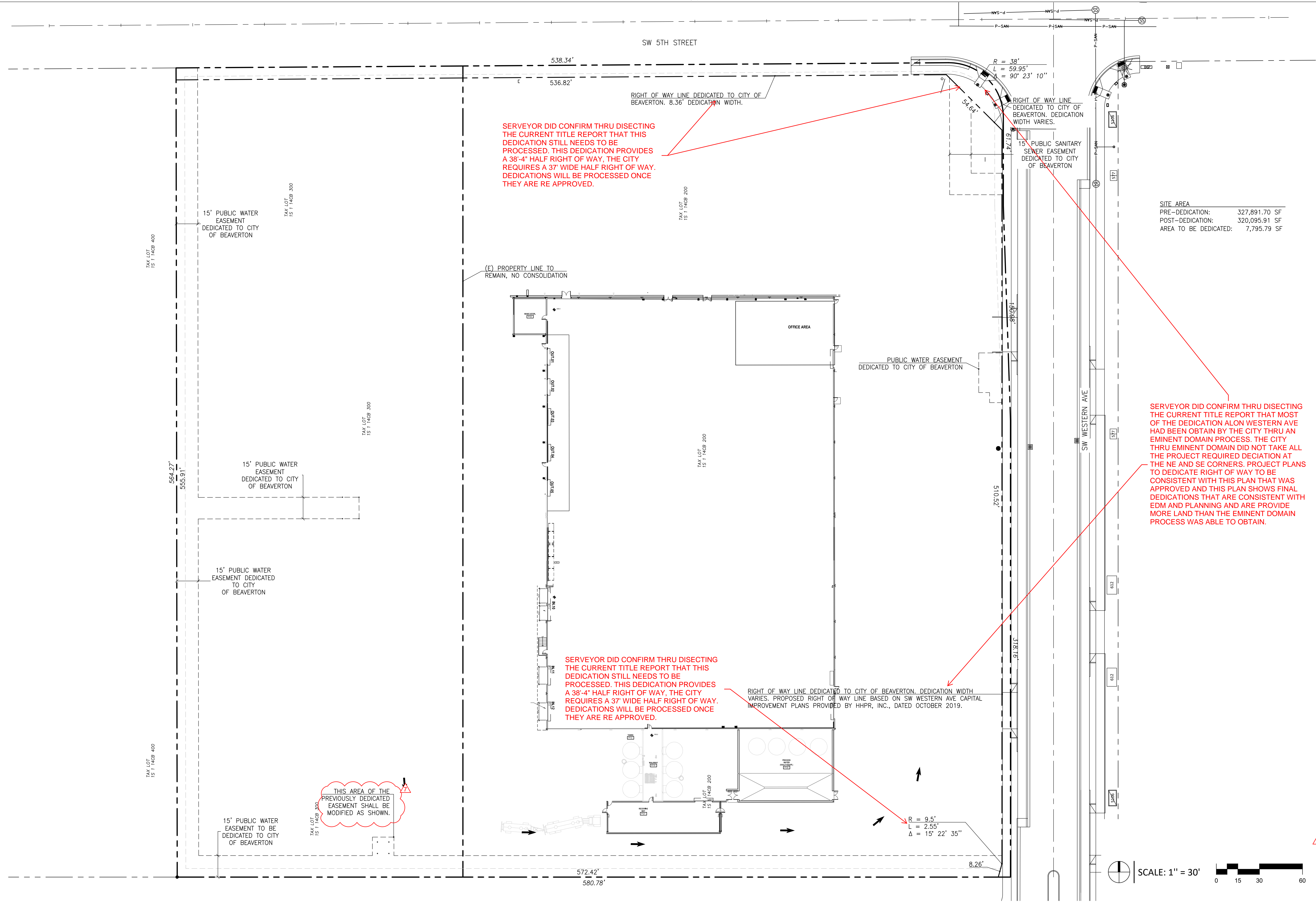
TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
CITY OF BEAVERTON  
GENERAL NOTES

**C0.2**





SERVEYOR DID CONFIRM THRU DISECTING THE CURRENT TITLE REPORT THAT THIS DEDICATION STILL NEEDS TO BE PROCESSED. THIS DEDICATION PROVIDES A 38'-4" HALF RIGHT OF WAY, THE CITY REQUIRES A 37' WIDE HALF RIGHT OF WAY. DEDICATIONS WILL BE PROCESSED ONCE THEY ARE RE APPROVED.

RIGHT OF WAY LINE DEDICATED TO CITY OF BEAVERTON. 8.36' DEDICATION WIDTH.

RIGHT OF WAY LINE DEDICATED TO CITY OF BEAVERTON. DEDICATION WIDTH VARIES.

15' PUBLIC SANITARY SEWER EASEMENT DEDICATED TO CITY OF BEAVERTON

(E) PROPERTY LINE TO REMAIN, NO CONSOLIDATION

PUBLIC WATER EASEMENT DEDICATED TO CITY OF BEAVERTON

15' PUBLIC WATER EASEMENT DEDICATED TO CITY OF BEAVERTON

15' PUBLIC WATER EASEMENT DEDICATED TO CITY OF BEAVERTON

15' PUBLIC WATER EASEMENT DEDICATED TO CITY OF BEAVERTON

15' PUBLIC WATER EASEMENT TO BE DEDICATED TO CITY OF BEAVERTON

THIS AREA OF THE PREVIOUSLY DEDICATED EASEMENT SHALL BE MODIFIED AS SHOWN.

SERVEYOR DID CONFIRM THRU DISECTING THE CURRENT TITLE REPORT THAT THIS DEDICATION STILL NEEDS TO BE PROCESSED. THIS DEDICATION PROVIDES A 38'-4" HALF RIGHT OF WAY, THE CITY REQUIRES A 37' WIDE HALF RIGHT OF WAY. DEDICATIONS WILL BE PROCESSED ONCE THEY ARE RE APPROVED.

RIGHT OF WAY LINE DEDICATED TO CITY OF BEAVERTON. DEDICATION WIDTH VARIES. PROPOSED RIGHT OF WAY LINE BASED ON SW WESTERN AVE CAPITAL IMPROVEMENT PLANS PROVIDED BY HHRP, INC., DATED OCTOBER 2019.

SERVEYOR DID CONFIRM THRU DISECTING THE CURRENT TITLE REPORT THAT MOST OF THE DEDICATION ALON WESTERN AVE HAD BEEN OBTAIN BY THE CITY THRU AN EMINENT DOMAIN PROCESS. THE CITY THRU EMINENT DOMAIN DID NOT TAKE ALL THE PROJECT REQUIRED DECATION AT THE NE AND SE CORNERS. PROJECT PLANS TO DEDICATE RIGHT OF WAY TO BE CONSISTENT WITH THIS PLAN THAT WAS APPROVED AND THIS PLAN SHOWS FINAL DEDICATIONS THAT ARE CONSISTENT WITH EDM AND PLANNING AND ARE PROVIDE MORE LAND THAN THE EMINENT DOMAIN PROCESS WAS ABLE TO OBTAIN.

SITE AREA

PRE-DEDICATION:	327,891.70 SF
POST-DEDICATION:	320,095.91 SF
AREA TO BE DEDICATED:	7,795.79 SF

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.29.2022 LU Revision 1

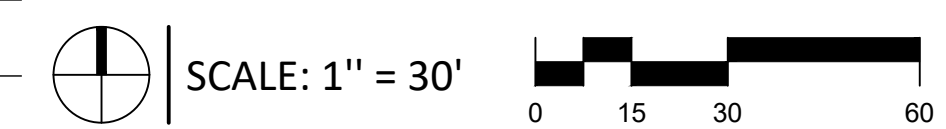
DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
RIGHT OF WAY & EASEMENT DEDICATION PLAN

**C0.3**



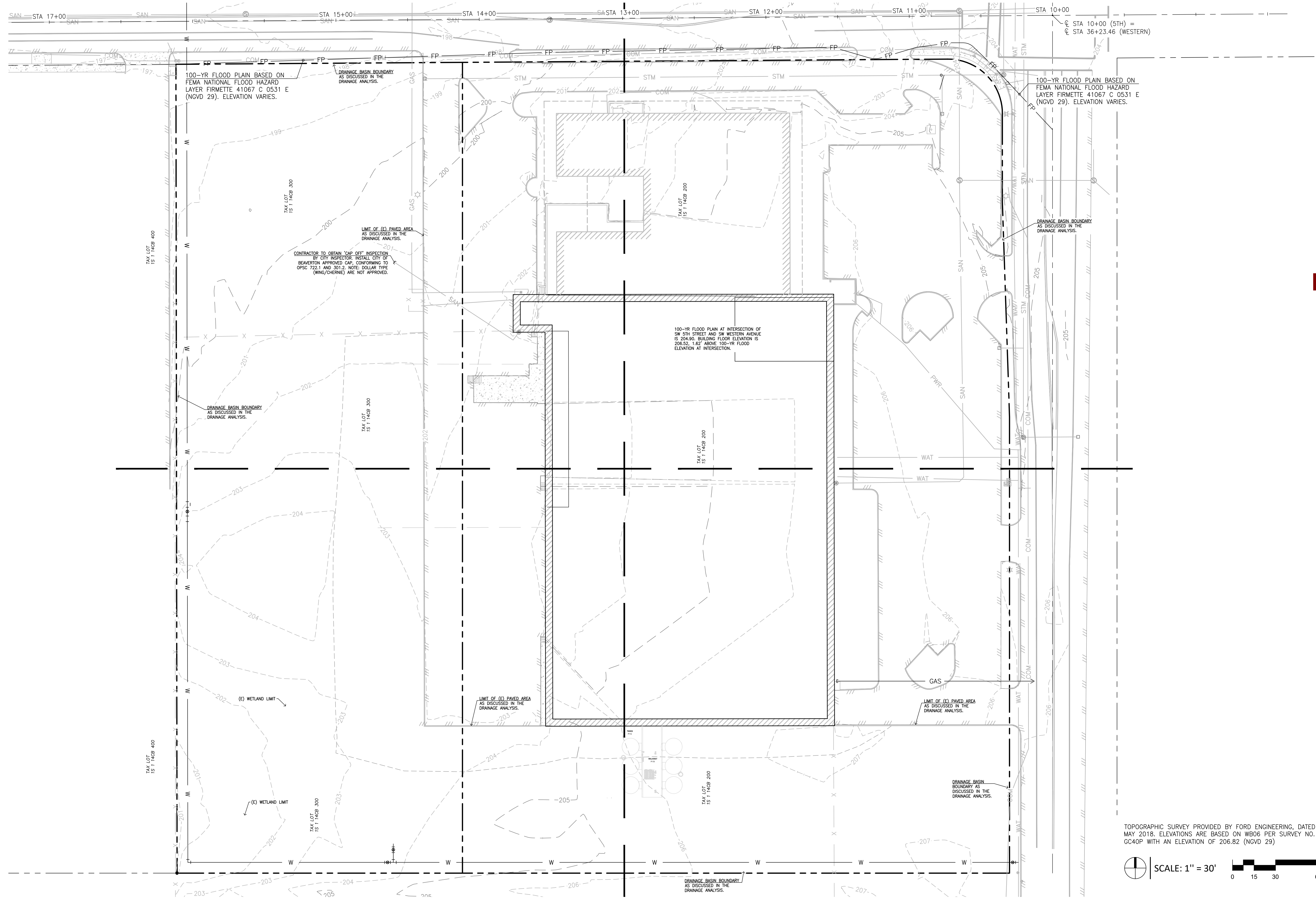
SITE DEVELOPMENT PERMIT







Exhibit APP 2.1



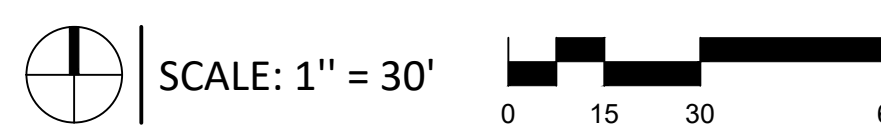
100-YR FLOOD PLAIN BASED ON FEMA NATIONAL FLOOD HAZARD LAYER FIRMETTE 41067 C 0531 E (NGVD 29). ELEVATION VARIES.

100-YR FLOOD PLAIN BASED ON FEMA NATIONAL FLOOD HAZARD LAYER FIRMETTE 41067 C 0531 E (NGVD 29). ELEVATION VARIES.

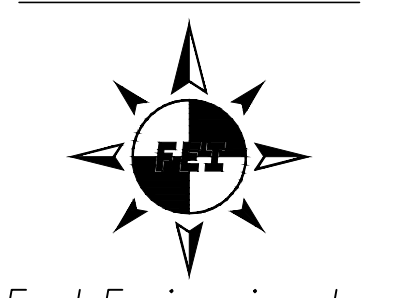
CONTRACTOR TO OBTAIN 'CAP OFF' INSPECTION BY CITY INSPECTOR. INSTALL CITY OF BEAVERTON APPROVED CAP, CONFORMING TO OPSC T22-1 AND 3012. NOTE: BOLLAR TYPE (WING/CHERNIE) ARE NOT APPROVED.

100-YR FLOOD PLAN AT INTERSECTION OF SW 5TH STREET AND SW WESTERN AVENUE IS 204.90. BUILDING FLOOR ELEVATION IS 205.52. 1.62' ABOVE 100-YR FLOOD ELEVATION AT INTERSECTION.

TOPOGRAPHIC SURVEY PROVIDED BY FORD ENGINEERING, DATED MAY 2018. ELEVATIONS ARE BASED ON WB06 PER SURVEY NO. GC40P WITH AN ELEVATION OF 206.82 (NGVD 29)



SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022



Ford Engineering, Inc.  
CIVIL ENGINEERING & LAND SURVEYING  
12205 Ioka Way NW  
SILVERDALE, WASHINGTON 98383  
Phone (360) 588-2124

**Preliminary**  
10/11/2022 10:55:00 AM

REGISTERED PROFESSIONAL  
JULY 19, 1994  
FREDERIC C. FORD  
2665

12-31-19  
RENEWAL DATE

PROJECT  
5051 SW WESTERN AVENUE  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

NO.	DATE	DESCRIPTION
1	10.09.2019	Site Develop. Permit Rev 1
1	10.25.2019	Plumbing Permit Rev 1
2	11.12.2019	Site Develop. Permit Rev 2
3	11.15.2019	1200C Resubmittal
3	11.26.2019	Site Develop. Permit Rev 3
4	12.04.2019	Site Develop. Permit Rev 4
5	01.21.2020	SD Revision
6	03.02.2020	SD Revision
7	03.05.2020	SD Revision
7	10.05.2022	LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

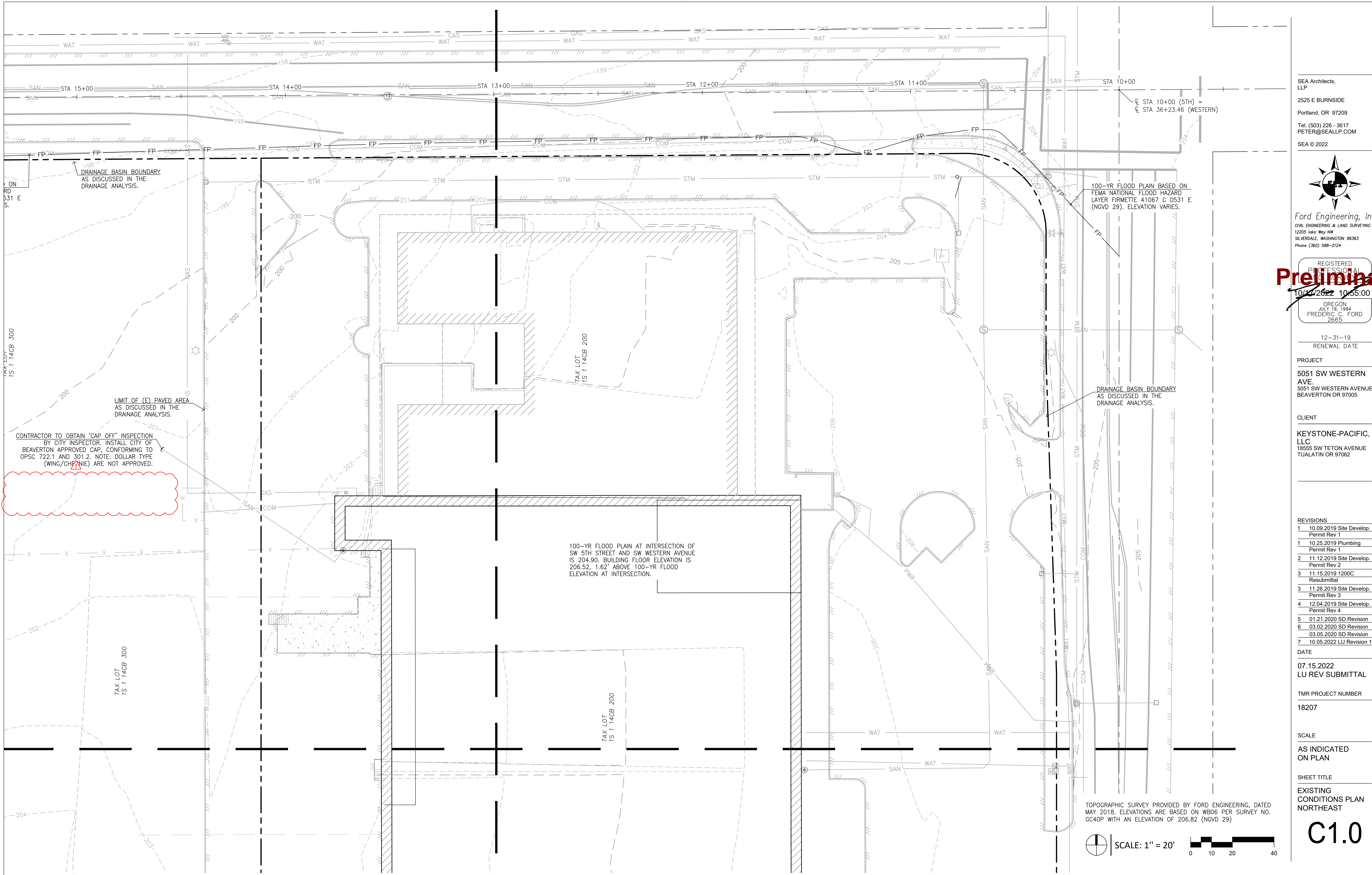
SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
EXISTING  
CONDITIONS PLAN  
KEY MAP

**C1**

SITE DEVELOPMENT PERMIT





SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**Ford Engineering, Inc.**  
 CIVIL ENGINEERING & LAND SURVEYING  
 12205 Ioka Way NW  
 SILVERDALE, WASHINGTON 98383  
 Phone (360) 588-2124

REGISTERED PROFESSIONAL  
**Preliminary**  
 10/11/2022 10:55:00 AM  
 OREGON  
 JULY 19, 1994  
 FREDERIC C. FORD  
 2665

12-31-19  
 RENEWAL DATE

PROJECT  
**5051 SW WESTERN AVENUE**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

SHEET TITLE  
 EXISTING  
 CONDITIONS PLAN  
 NORTHEAST

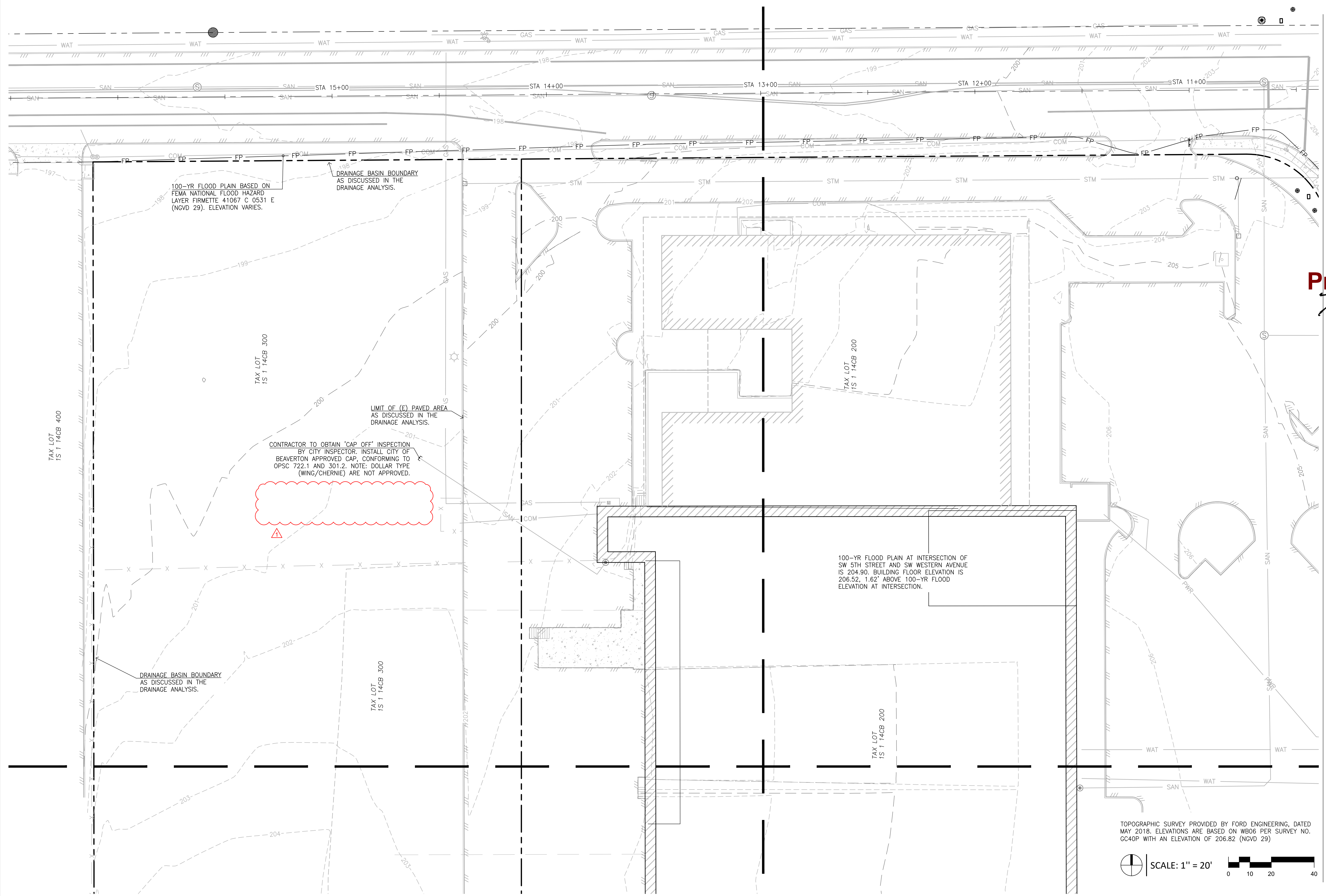
**C1.0**

TOPOGRAPHIC SURVEY PROVIDED BY FORD ENGINEERING, DATED MAY 2018. ELEVATIONS ARE BASED ON WB06 PER SURVEY NO. GC40P WITH AN ELEVATION OF 206.82 (NGVD 29)

SCALE: 1" = 20'

SITE DEVELOPMENT PERMIT





100-YR FLOOD PLAIN BASED ON FEMA NATIONAL FLOOD HAZARD LAYER FIRMETTE 41067 C 0531 E (NGVD 29). ELEVATION VARIES.

DRAINAGE BASIN BOUNDARY AS DISCUSSED IN THE DRAINAGE ANALYSIS.

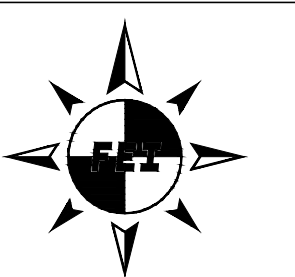
LIMIT OF (E) PAVED AREA AS DISCUSSED IN THE DRAINAGE ANALYSIS.

CONTRACTOR TO OBTAIN 'CAP OFF' INSPECTION BY CITY INSPECTOR. INSTALL CITY OF BEAVERTON APPROVED CAP, CONFORMING TO OPSC 722.1 AND 301.2. NOTE: DOLLAR TYPE (WING/CHERNIE) ARE NOT APPROVED.

100-YR FLOOD PLAIN AT INTERSECTION OF SW 5TH STREET AND SW WESTERN AVENUE IS 204.90. BUILDING FLOOR ELEVATION IS 206.52, 1.62' ABOVE 100-YR FLOOD ELEVATION AT INTERSECTION.

DRAINAGE BASIN BOUNDARY AS DISCUSSED IN THE DRAINAGE ANALYSIS.

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022



Ford Engineering, Inc.  
CIVIL ENGINEERING & LAND SURVEYING  
12205 Ioka Way NW  
SILVERDALE, WASHINGTON 98383  
Phone (360) 588-2124

**Preliminary**  
10/11/2022 10:35:00 AM

REGISTERED PROFESSIONAL  
JULY 19, 1994  
FREDERIC C. FORD  
2665

12-31-19  
RENEWAL DATE

PROJECT  
5051 SW WESTERN AVENUE  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

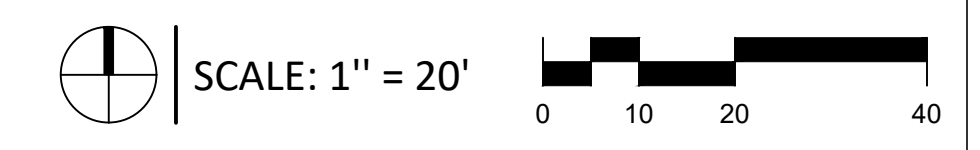
DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

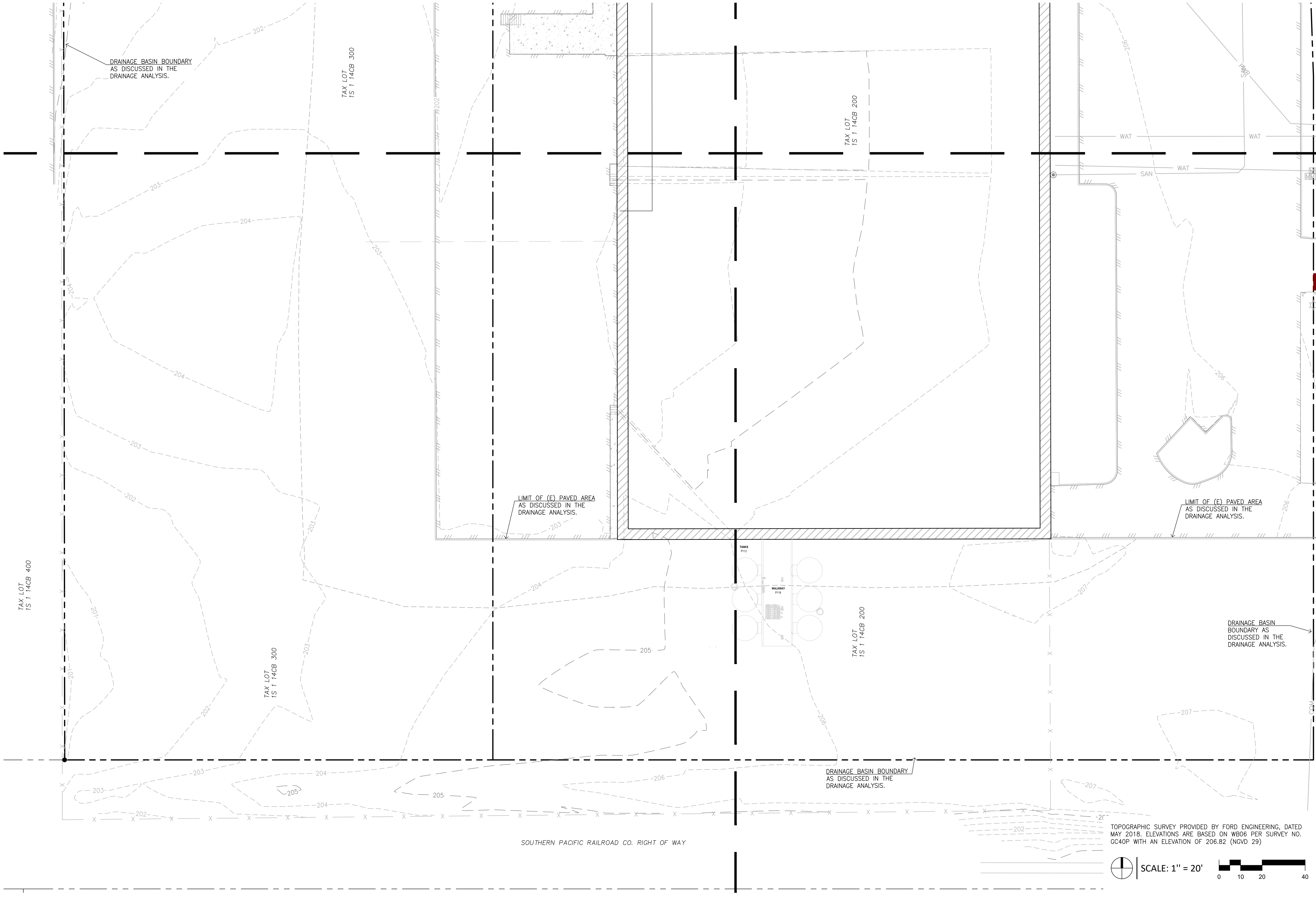
SHEET TITLE  
EXISTING  
CONDITIONS PLAN  
NORTHWEST

**C1.1**

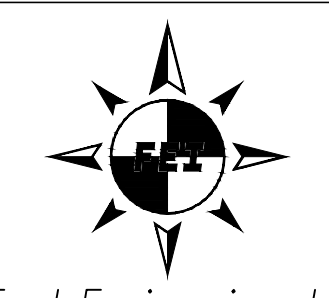


TOPOGRAPHIC SURVEY PROVIDED BY FORD ENGINEERING, DATED MAY 2018. ELEVATIONS ARE BASED ON W06 PER SURVEY NO. GC40P WITH AN ELEVATION OF 206.82 (NGVD 29)

SITE DEVELOPMENT PERMIT



SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022



Ford Engineering, Inc.  
 CIVIL ENGINEERING & LAND SURVEYING  
 12205 Ioka Way NW  
 SILVERDALE, WASHINGTON 98383  
 Phone (360) 588-2124

**Preliminary**  
 10/17/2022 10:55:00 AM

REGISTERED PROFESSIONAL ENGINEER  
 OREGON  
 JULY 19, 1994  
 FREDERIC O. FORD  
 2665

12-31-19  
 RENEWAL DATE

PROJECT  
 5051 SW WESTERN AVE  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
 KEYSTONE-PACIFIC, LLC  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
 07.15.2022  
 LU REV SUBMITTAL

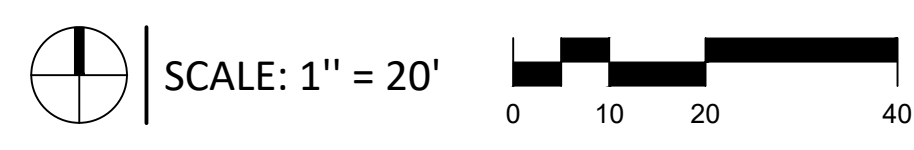
TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED ON PLAN

SHEET TITLE  
 EXISTING CONDITIONS PLAN  
 SOUTHWEST

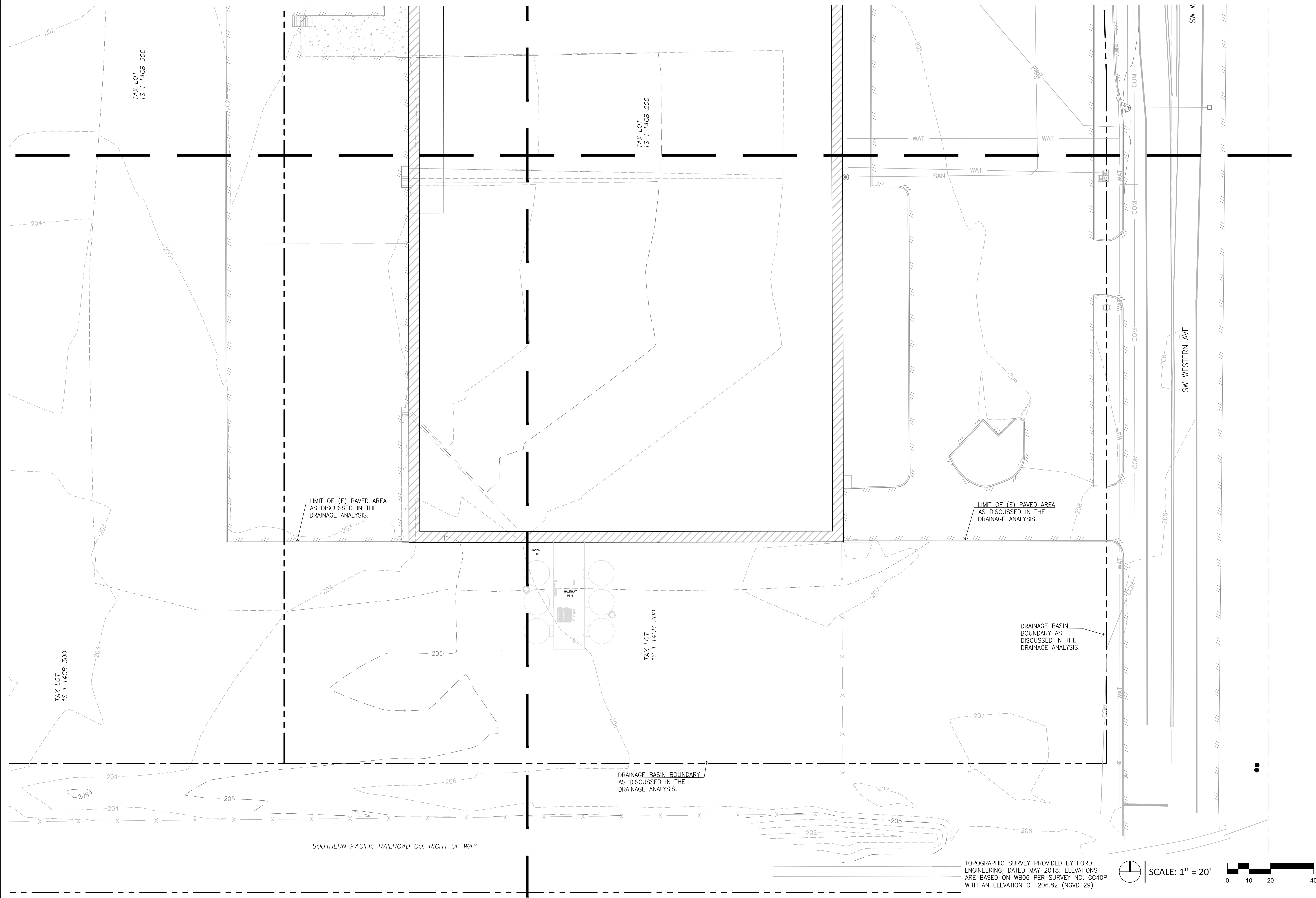
**C1.2**

TOPOGRAPHIC SURVEY PROVIDED BY FORD ENGINEERING, DATED MAY 2018. ELEVATIONS ARE BASED ON WB06 PER SURVEY NO. GC40P WITH AN ELEVATION OF 206.82 (NGVD 29)



SITE DEVELOPMENT PERMIT





SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**Ford Engineering, Inc.**  
 CIVIL ENGINEERING & LAND SURVEYING  
 12205 Ioka Way NW  
 SILVERDALE, WASHINGTON 98383  
 Phone (360) 588-2124

**Preliminary**  
 10/17/2022 10:55:00 AM

REGISTERED PROFESSIONAL  
 JULY 19, 1994  
 FREDERIC C. FORD  
 2665

12-31-19  
 RENEWAL DATE

PROJECT  
**5051 SW WESTERN AVE**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

- REVISIONS
- 1 10.09.2019 Site Develop. Permit Rev 1
  - 1 10.25.2019 Plumbing Permit Rev 1
  - 2 11.12.2019 Site Develop. Permit Rev 2
  - 3 11.15.2019 1200C Resubmittal
  - 3 11.26.2019 Site Develop. Permit Rev 3
  - 4 12.04.2019 Site Develop. Permit Rev 4
  - 5 01.21.2020 SD Revision
  - 6 03.02.2020 SD Revision
  - 7 03.05.2020 SD Revision
  - 7 10.05.2022 LU Revision 1

DATE  
**07.15.2022**  
 LU REV SUBMITTAL

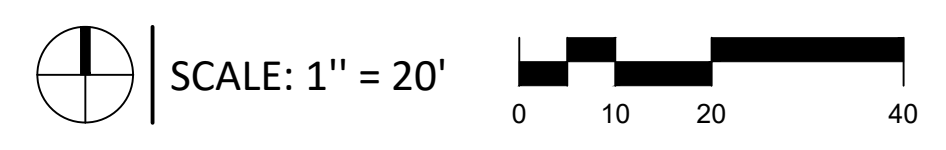
TMR PROJECT NUMBER  
**18207**

SCALE  
 AS INDICATED  
 ON PLAN

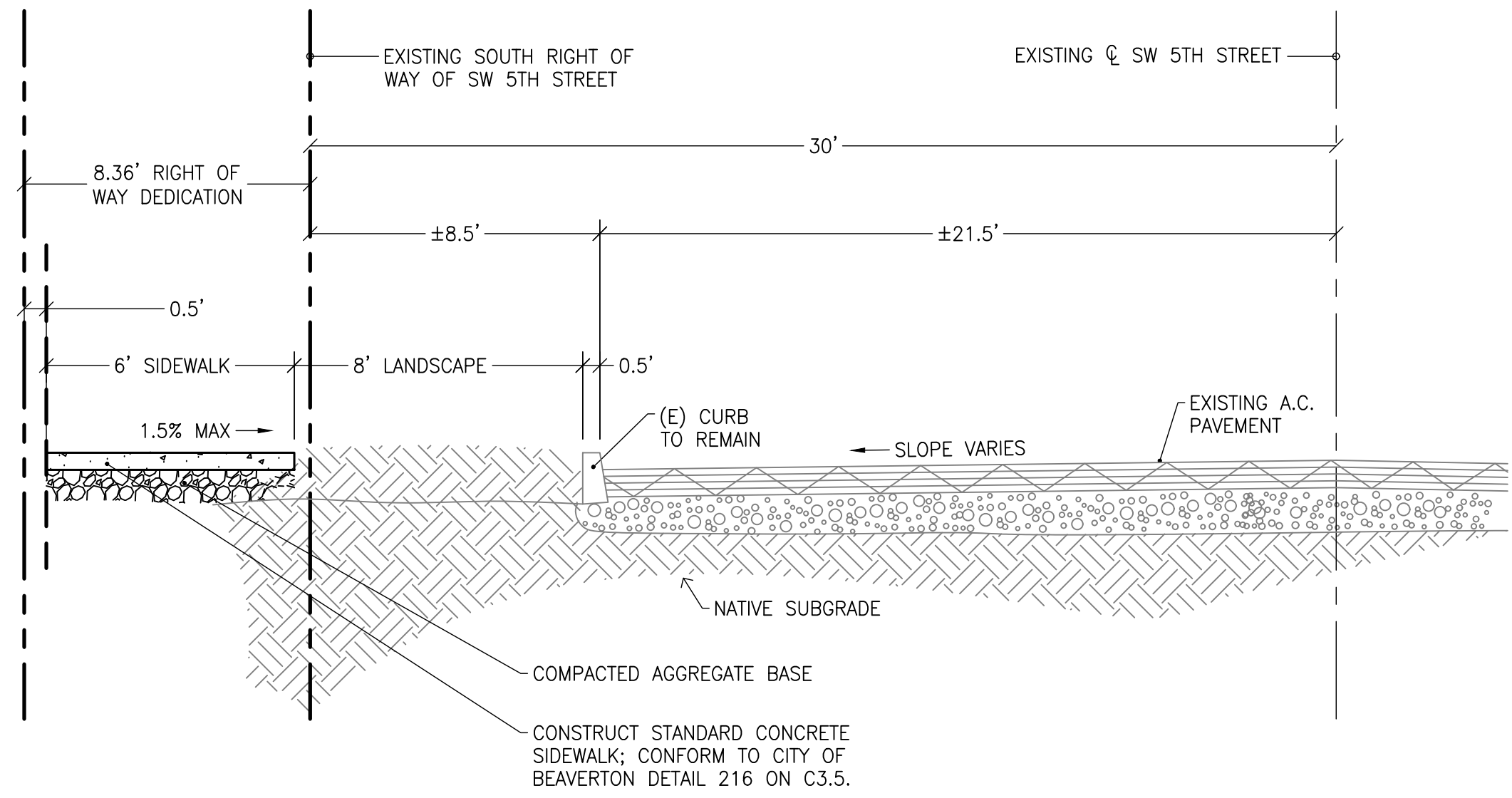
SHEET TITLE  
**EXISTING CONDITIONS PLAN  
 SOUTHEAST**

**C1.3**

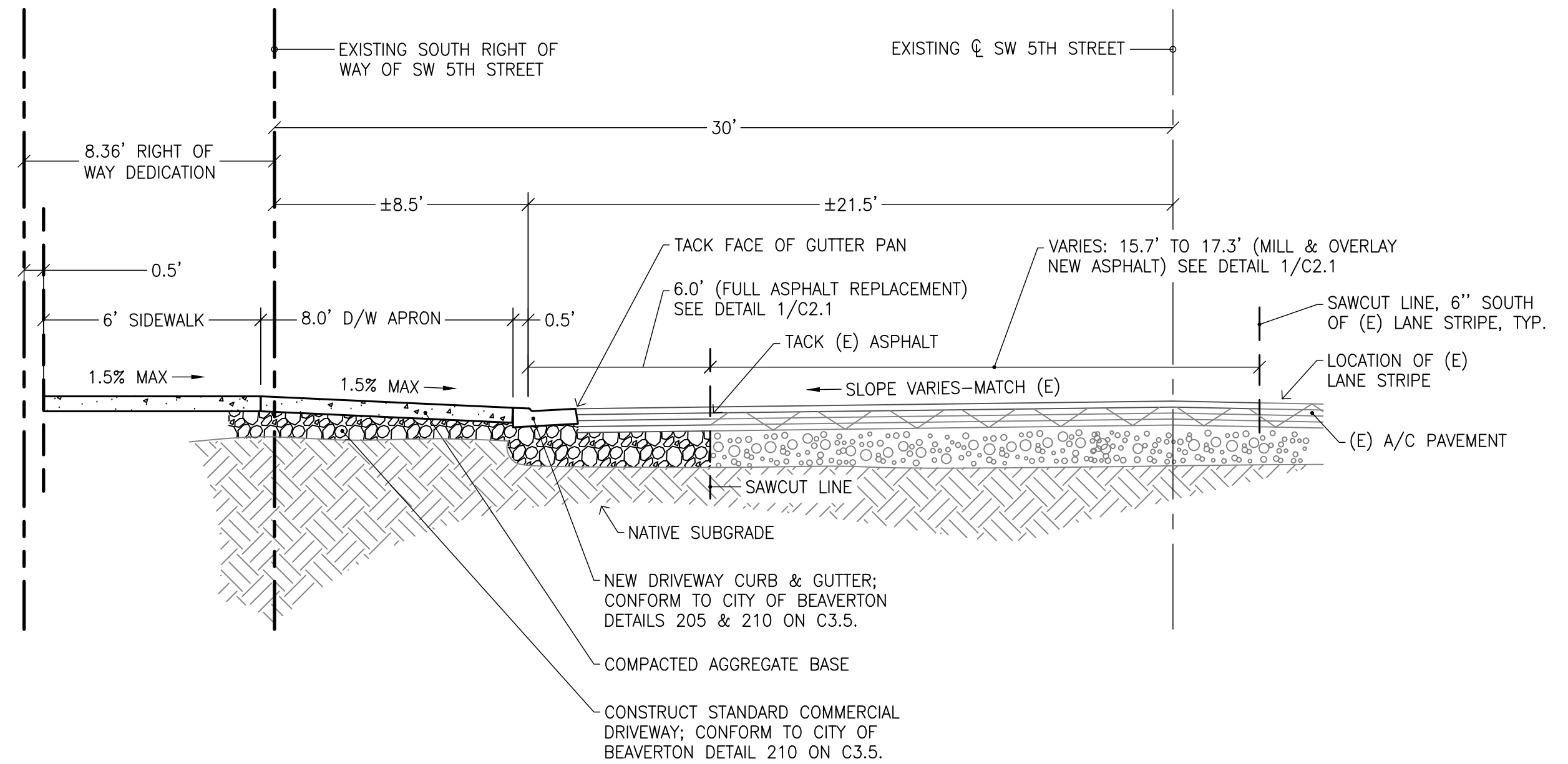
TOPOGRAPHIC SURVEY PROVIDED BY FORD ENGINEERING, DATED MAY 2018. ELEVATIONS ARE BASED ON WB06 PER SURVEY NO. GC40P WITH AN ELEVATION OF 206.82 (NGVD 29)



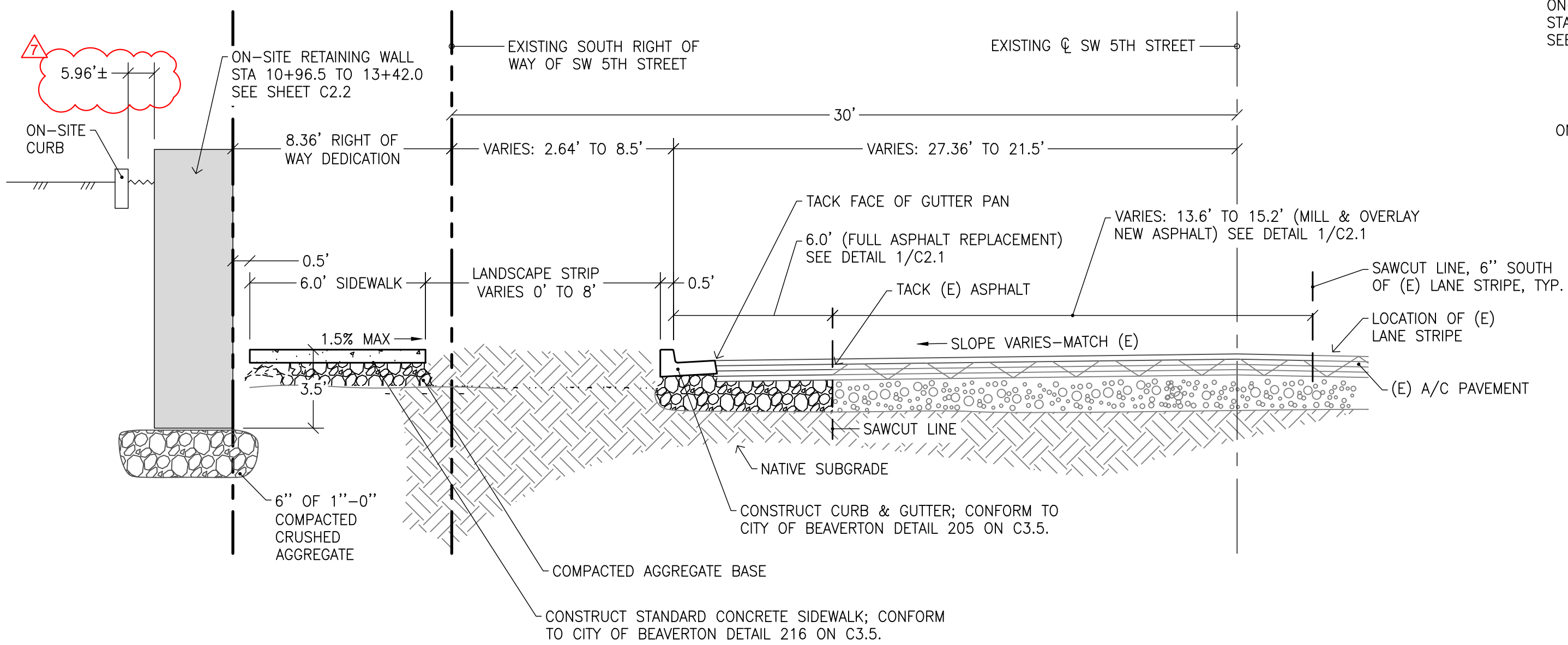
SITE DEVELOPMENT PERMIT



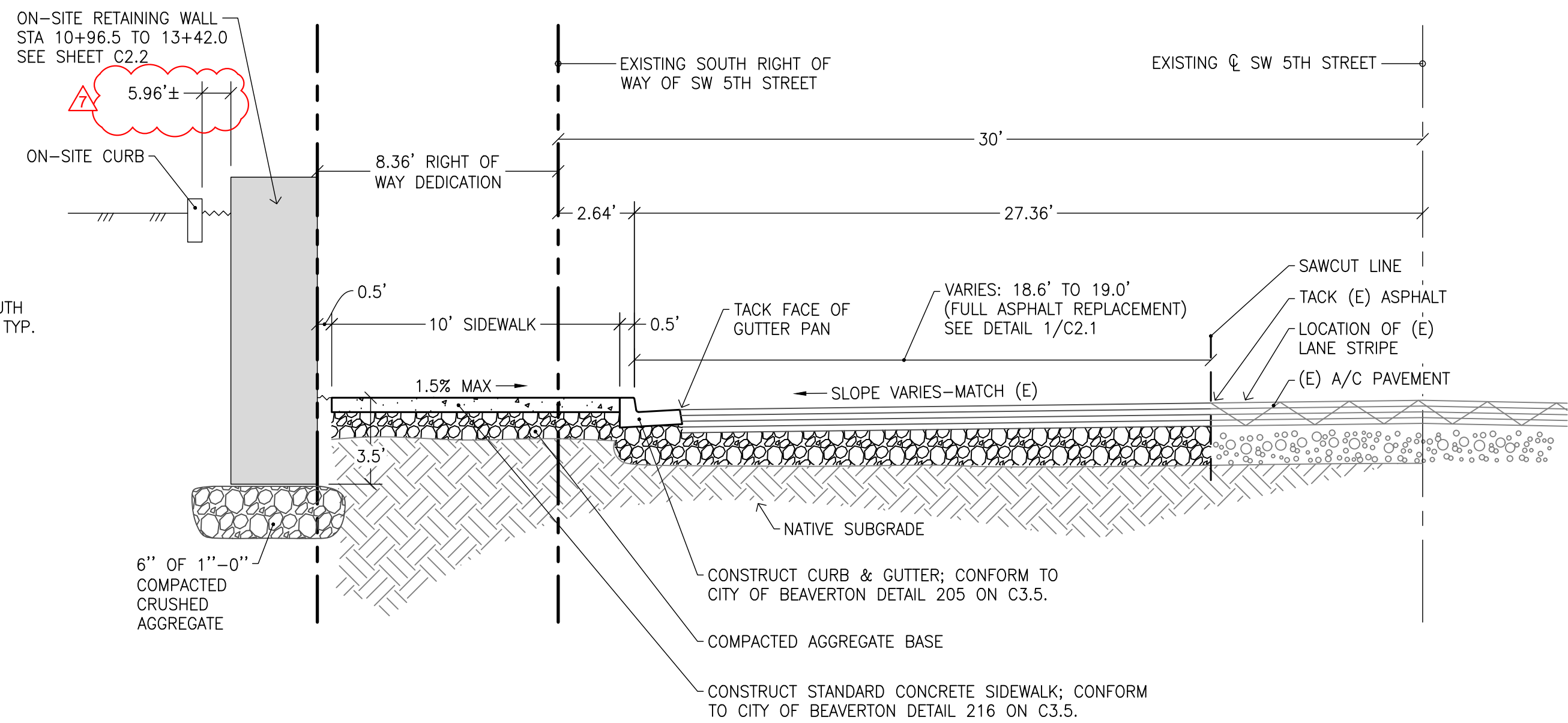
1 TYPICAL STREET SECTION (SW 5th STREET) STA 14+50.0 TO 15+91.2  
NOT TO SCALE



2 TYPICAL STREET SECTION (SW 5th STREET) STA 13+70.0 TO 14+50.0  
NOT TO SCALE



3 TYPICAL STREET SECTION (SW 5th STREET) STA 12+38.0 TO 13+70.0  
NOT TO SCALE



4 TYPICAL STREET SECTION (SW 5th STREET) STA 10+99.5 TO 12+38.0  
NOT TO SCALE

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700  
  
EXP: 12/31/23

PROJECT  
5051 SW WESTERN AVENUE  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005  
CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.29.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL  
TMR PROJECT NUMBER  
18207

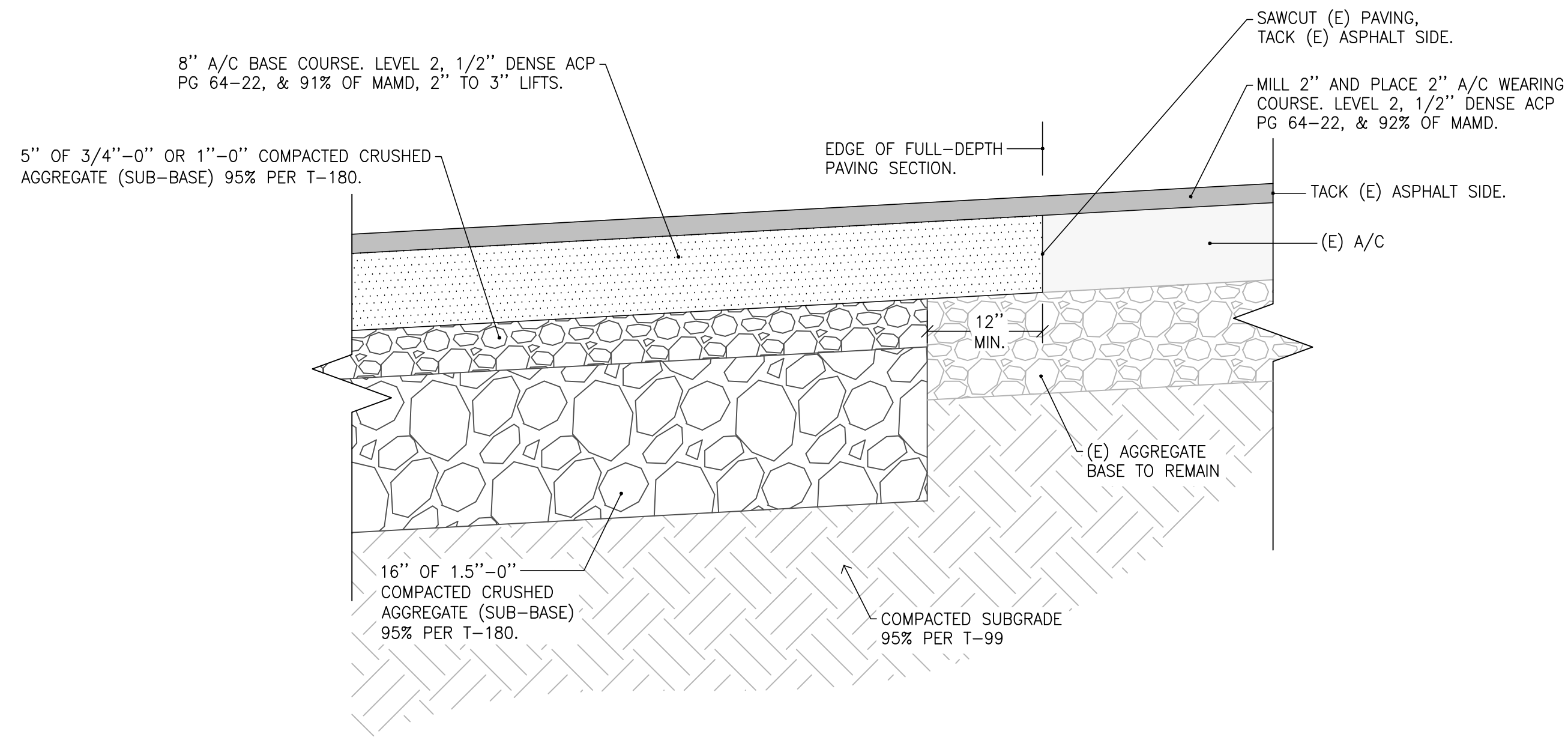
SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
SW 5th STREET  
TYPICAL SECTIONS

**C2**

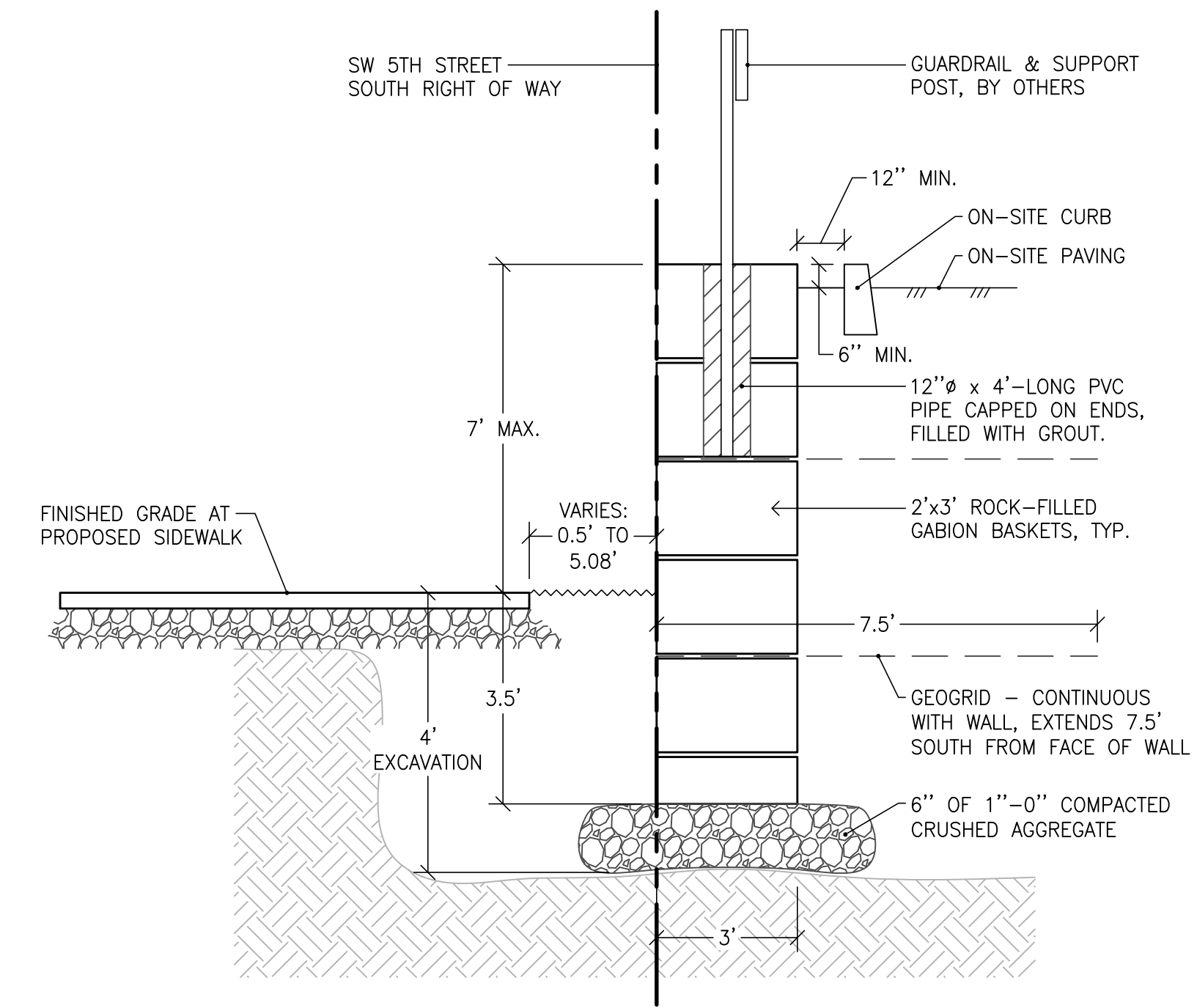
SITE DEVELOPMENT PERMIT





NOTE: SEE CITY OF BEAVERTON DETAILS 302 AND 313 ON C3.6.

**1** SW 5TH STREET PAVEMENT / BASE ROCK SECTION  
NOT TO SCALE



NOTE: FOR PRICING ONLY. FINAL DESIGN/PERMITTING BY GENERAL CONTRACTOR'S DESIGN-BUILD WALL SYSTEM SUBCONTRACTOR.

**2** GABION WALL SECTION

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**Preliminary**  
10/17/2022 10:55:00 AM  
REGISTERED PROFESSIONAL ENGINEER  
T.M. RIPPEY  
No. 12345  
STATE OF OREGON  
EXP: 12/31/2023

PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

NO.	DATE	REVISION
1	10.09.2019	Site Develop. Permit Rev 1
1	10.25.2019	Plumbing Permit Rev 1
2	11.12.2019	Site Develop. Permit Rev 2
3	11.15.2019	1200C Resubmittal
3	11.26.2019	Site Develop. Permit Rev 3
4	12.04.2019	Site Develop. Permit Rev 4
5	01.21.2020	SD Revision
6	03.02.2020	SD Revision
7	03.05.2020	SD Revision
7	10.05.2022	LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

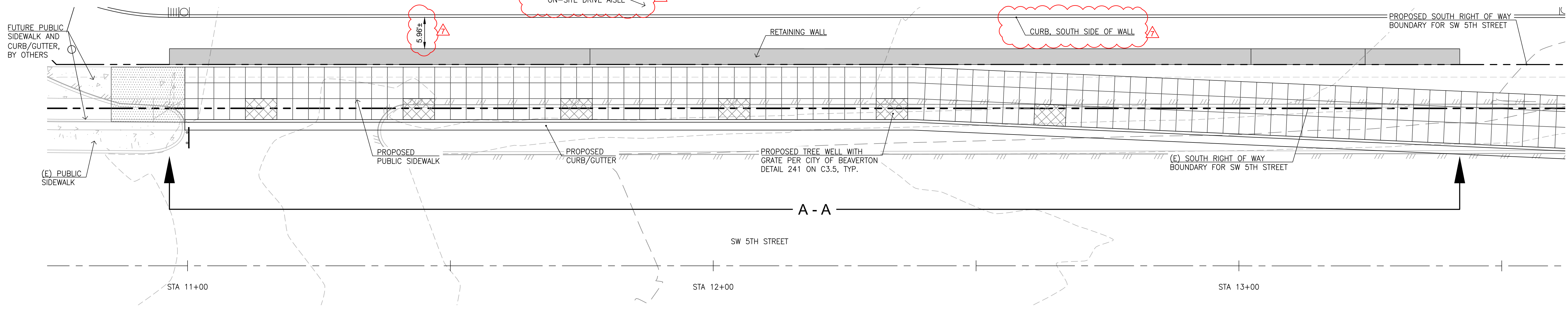
TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

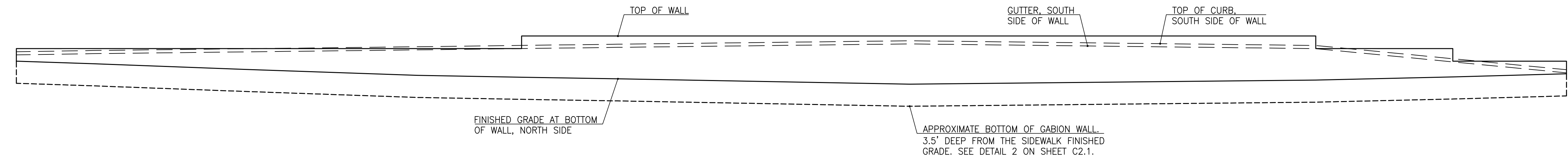
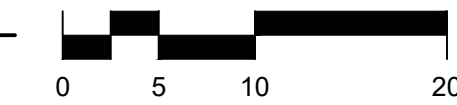
SHEET TITLE  
SW 5TH STREET  
TYPICAL SECTIONS

**C2.1**

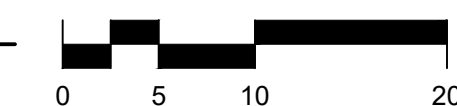
SITE DEVELOPMENT PERMIT



**1** RETAINING WALL PLAN  
SCALE: 1" = 10'



**2** RETAINING WALL ELEVATION A - A  
SCALE: 1" = 10'



SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

PROFESSIONAL ENGINEER  
10/17/2022 10:55:01 AM  
CHRIS J. DESLAURIES  
EXP: 12/31/2023

Preliminary

PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS	DATE
1 10.09.2019 Site Develop. Permit Rev 1	
1 10.25.2019 Plumbing Permit Rev 1	
2 11.12.2019 Site Develop. Permit Rev 2	
3 11.15.2019 1200C Resubmittal	
3 11.26.2019 Site Develop. Permit Rev 3	
4 12.04.2019 Site Develop. Permit Rev 4	
5 01.21.2020 SD Revision	
6 03.02.2020 SD Revision	
7 03.05.2020 SD Revision	
7 10.05.2022 LU Revision 1	

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
RETAINING WALL  
ELEVATION DETAIL

**C2.2**

SITE DEVELOPMENT PERMIT



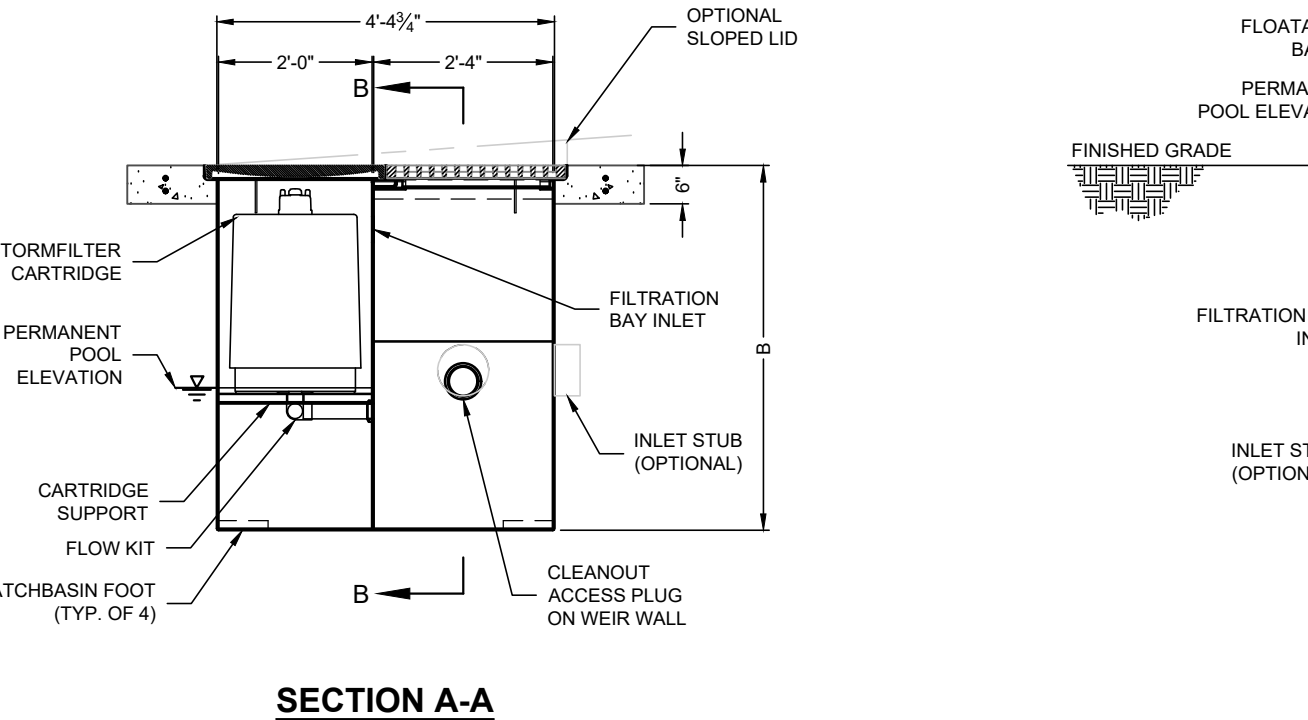
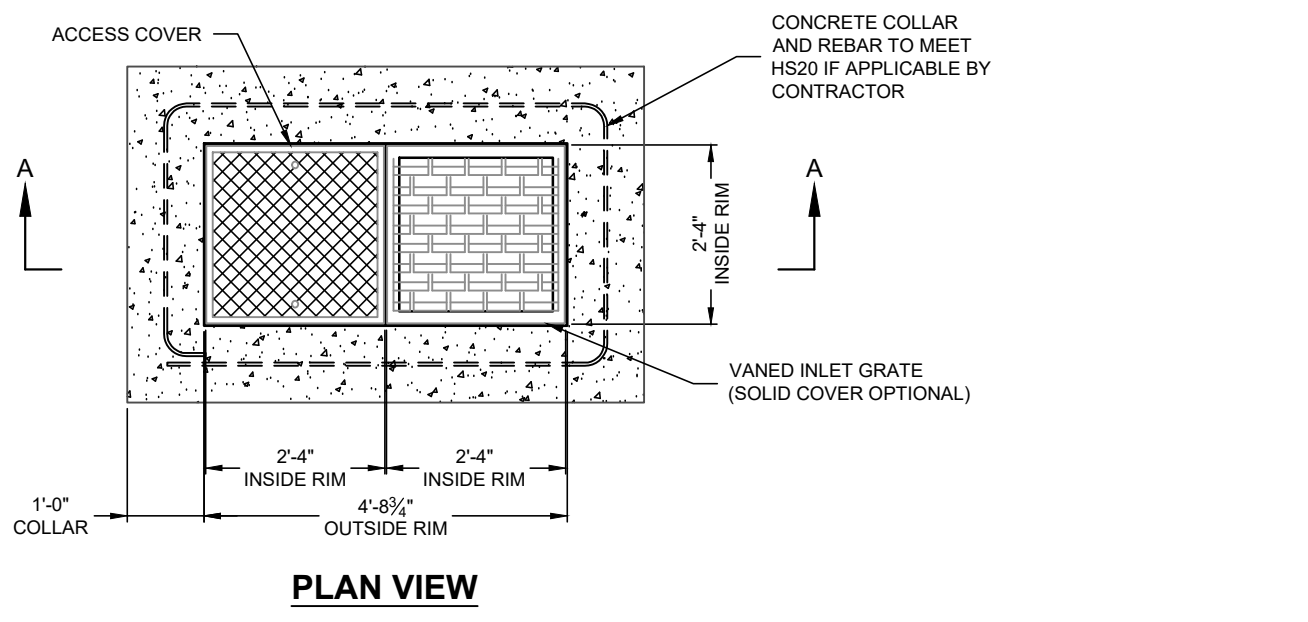
**STORMFILTER CATCHBASIN DESIGN NOTES**

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 1 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF ONE CARTRIDGE. SYSTEM IS SHOWN WITH A 27" CARTRIDGE, AND IS ALSO AVAILABLE WITH AN 18" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL. PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27"	18"	18" DEEP
CARTRIDGE HEIGHT	3.05'	2.3'	3.3'
RECOMMENDED HYDRAULIC DROP (H)	2 gpm/sf	2 gpm/sf	2 gpm/sf
SPECIFIC FLOW RATE (gpm/sf)	11.25	15	15
CARTRIDGE FLOW RATE (gpm)	1.0	1.0	1.8
PEAK HYDRAULIC CAPACITY	1.0	1.0	1.8
CARTRIDGE FLOW RATE (gpm)	1.0	1.0	1.8
INLET PERMANENT POOL LEVEL (A)	1'-0"	1'-0"	2'-0"
OVERALL STRUCTURE HEIGHT (B)	4'-9"	3'-9"	4'-9"

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS, LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
  - STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - INLET SHOULD NOT BE LOWER THAN OUTLET.
  - STORMFILTER CATCHBASIN EQUIPPED WITH 4-INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
  - STEEL STRUCTURE TO BE MANUFACTURED OF 14-INCH STEEL PLATE. CASTINGS SHALL MEET AASHTO M306 LOAD RATING. TO MEET HS20 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR IS REQUIRED. WHEN REQUIRED, CONCRETE COLLAR WITH QUANTITY (2) #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
  - FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 37 SECONDS.
  - SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

- INSTALLATION NOTES**
- NOT USED.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



**1-CARTRIDGE CATCHBASIN STORMFILTER DATA**

STRUCTURE ID	WQCB#1
WATER QUALITY FLOW RATE (cfs)	0.0222
PEAK FLOW RATE (<1 cfs)	0.17
RETURN PERIOD OF PEAK FLOW (yrs)	25
CARTRIDGE FLOW RATE (gpm)	15
MEDIA TYPE (CSF, PERLITE, ZPG, GAC, PHS)	PERLITE
RIM ELEVATION	198.50
PIPE DATA:	I.E. DIAMETER
INLET STUB	6"
OUTLET STUB	6"
CONFIGURATION:	OUTLET INLET
SLOPED LID	NO
SOLID COVER	NO
NOTES/SPECIAL REQUIREMENTS:	

**CONTECH ENGINEERED SOLUTIONS LLC**

1 CARTRIDGE CATCHBASIN STORMFILTER STANDARD DETAIL

11815 NE Glenn Widing Drive, Portland, OR 97220  
800-548-4687 503-240-3393 800-561-1271 FAX

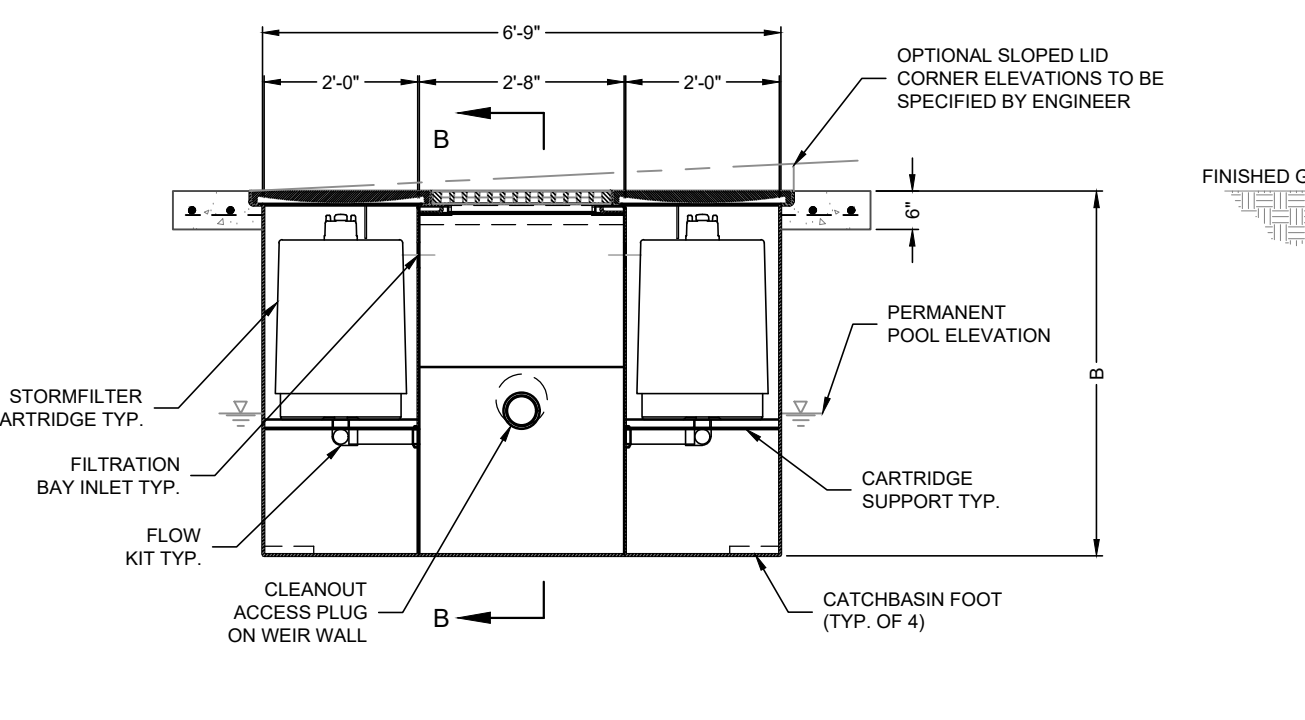
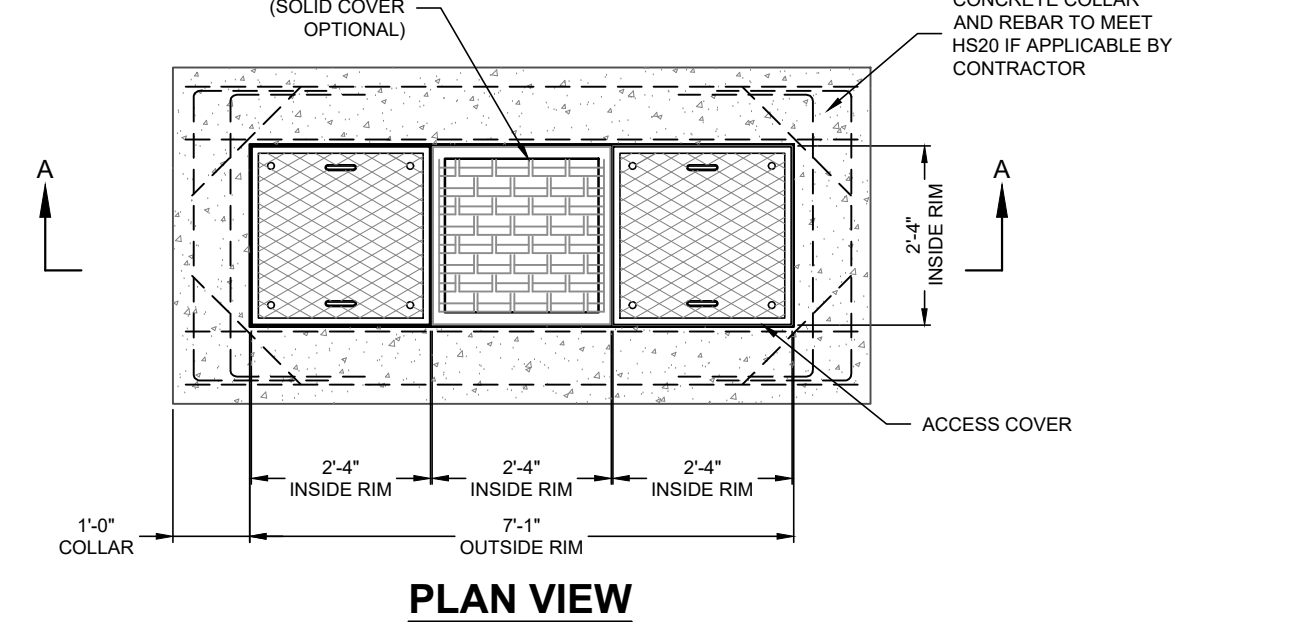
**STORMFILTER STEEL CATCHBASIN DESIGN NOTES**

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 2 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF TWO CARTRIDGES. SYSTEM IS SHOWN WITH A 27" CARTRIDGE, AND IS ALSO AVAILABLE WITH AN 18" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL. PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27"	18"	18" DEEP
CARTRIDGE HEIGHT	3.05'	2.3'	3.3'
RECOMMENDED HYDRAULIC DROP (H)	2 gpm/sf	2 gpm/sf	2 gpm/sf
SPECIFIC FLOW RATE (gpm/sf)	11.25	15	15
CARTRIDGE FLOW RATE (gpm)	1.0	1.0	1.8
PEAK HYDRAULIC CAPACITY	1.0	1.0	1.8
CARTRIDGE FLOW RATE (gpm)	1.0	1.0	1.8
INLET PERMANENT POOL LEVEL (A)	1'-0"	1'-0"	2'-0"
OVERALL STRUCTURE HEIGHT (B)	4'-9"	3'-9"	4'-9"

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS, LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
  - STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - INLET SHOULD NOT BE LOWER THAN OUTLET. INLET (IF APPLICABLE) AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
  - MANUFACTURER TO APPLY A SURFACE BEAD WELD IN THE SHAPE OF THE LETTER "O" ABOVE THE OUTLET PIPE STUB ON THE EXTERIOR SURFACE OF THE STEEL SFCB.
  - STORMFILTER CATCHBASIN EQUIPPED WITH 4 INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
  - STEEL STRUCTURE TO BE MANUFACTURED OF 14 INCH STEEL PLATE. CASTINGS SHALL MEET AASHTO M306 LOAD RATING. TO MEET HS20 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR IS REQUIRED. WHEN REQUIRED, CONCRETE COLLAR WITH #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
  - FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 37 SECONDS.
  - SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



**2-CARTRIDGE DEEP CATCHBASIN STORMFILTER DATA**

STRUCTURE ID	WQCB#2
WATER QUALITY FLOW RATE (cfs)	0.0563
PEAK FLOW RATE (<1 cfs)	0.44
RETURN PERIOD OF PEAK FLOW (yrs)	25
CARTRIDGE FLOW RATE (gpm)	15
MEDIA TYPE (PERLITE, ZPG, PSORB)	PERLITE
RIM ELEVATION	198.50
PIPE DATA:	I.E. DIAMETER
INLET STUB	6"
OUTLET STUB	6"
CONFIGURATION:	OUTLET INLET
SLOPED LID	NO
SOLID COVER	NO
NOTES/SPECIAL REQUIREMENTS:	

**CONTECH ENGINEERED SOLUTIONS LLC**

2 CARTRIDGE CATCHBASIN STORMFILTER STANDARD DETAIL

11815 NE Glenn Widing Drive, Portland, OR 97220  
800-548-4687 503-240-3393 800-561-1271 FAX

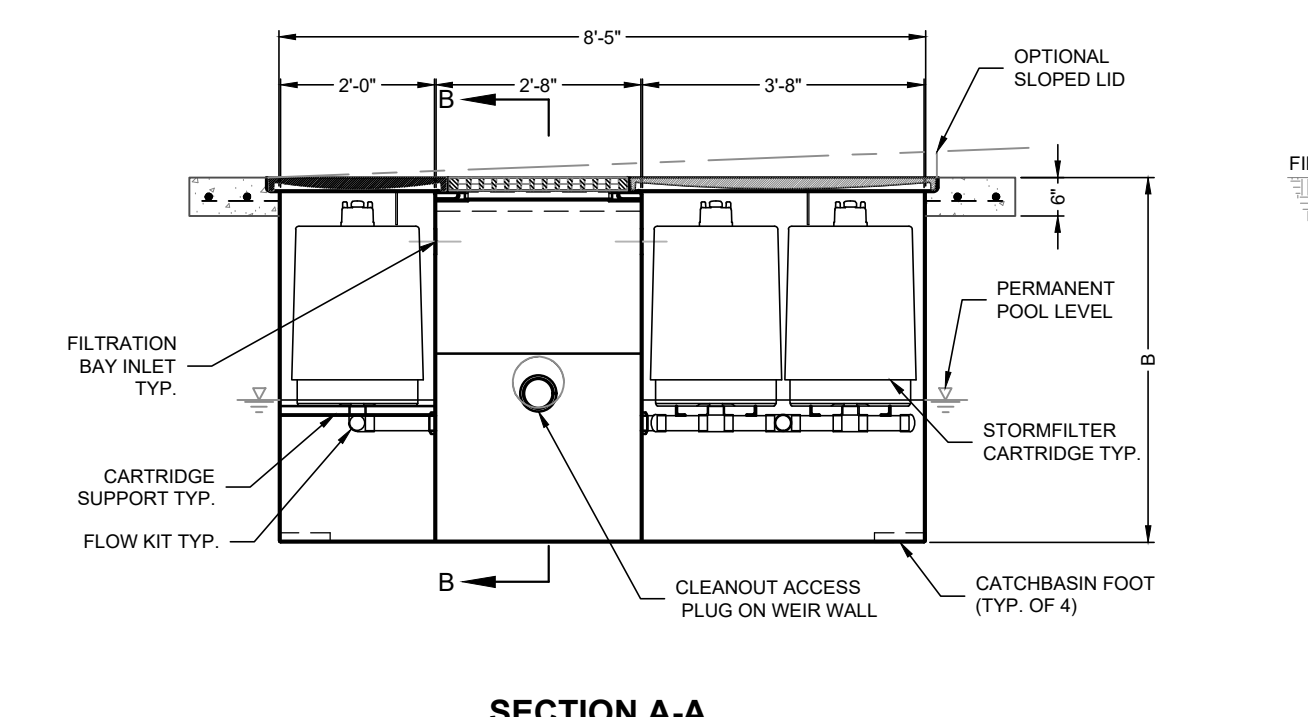
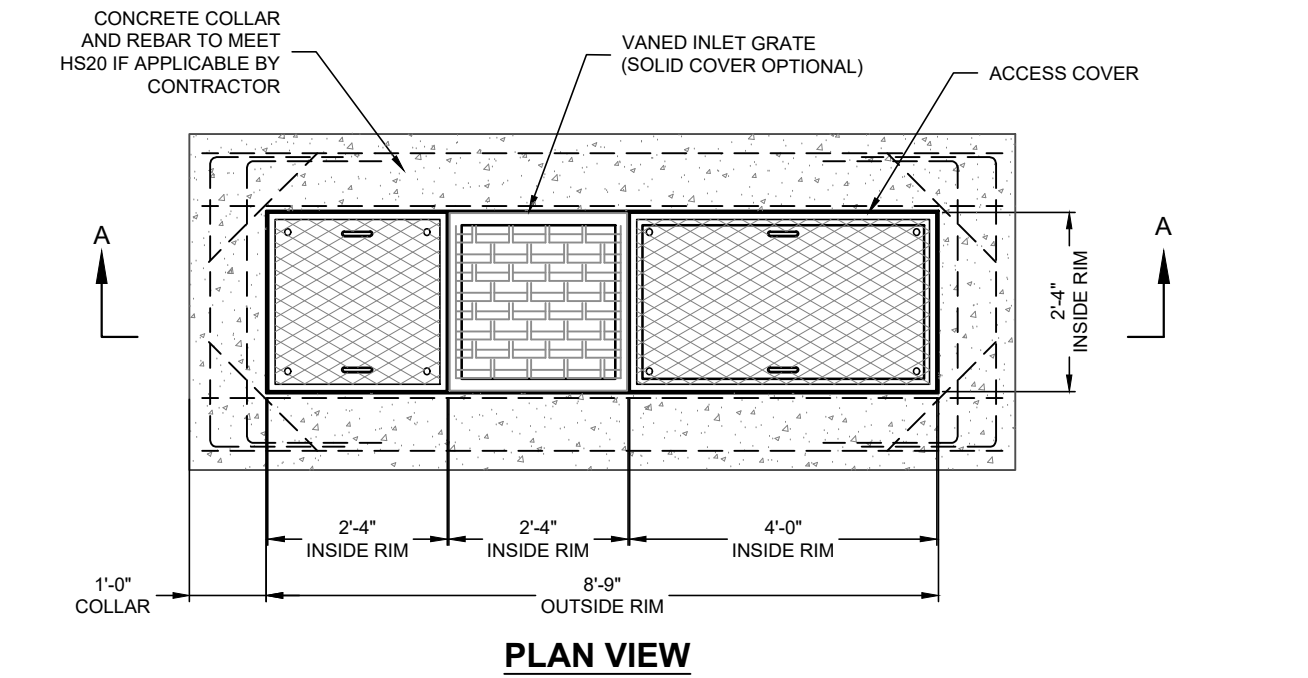
**STORMFILTER STEEL CATCHBASIN DESIGN NOTES**

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 3 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF THREE CARTRIDGES. SYSTEM IS SHOWN WITH A 27" CARTRIDGE, AND IS ALSO AVAILABLE WITH AN 18" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL. PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27"	18"	18" DEEP
CARTRIDGE HEIGHT	3.05'	2.3'	3.3'
RECOMMENDED HYDRAULIC DROP (H)	2 gpm/sf	2 gpm/sf	2 gpm/sf
SPECIFIC FLOW RATE (gpm/sf)	11.25	15	15
CARTRIDGE FLOW RATE (gpm)	1.0	1.0	1.8
PEAK HYDRAULIC CAPACITY	1.0	1.0	1.8
CARTRIDGE FLOW RATE (gpm)	1.0	1.0	1.8
INLET PERMANENT POOL LEVEL (A)	1'-0"	1'-0"	2'-0"
OVERALL STRUCTURE HEIGHT (B)	4'-9"	3'-9"	4'-9"

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS, LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
  - STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - INLET SHOULD NOT BE LOWER THAN OUTLET.
  - MANUFACTURER TO APPLY A SURFACE BEAD WELD IN THE SHAPE OF THE LETTER "O" ABOVE THE OUTLET PIPE STUB ON THE EXTERIOR SURFACE OF THE STEEL SFCB.
  - STORMFILTER CATCHBASIN EQUIPPED WITH 4 INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
  - STEEL STRUCTURE TO BE MANUFACTURED OF 14 INCH STEEL PLATE. CASTINGS SHALL MEET AASHTO M306 LOAD RATING. TO MEET HS20 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR IS REQUIRED. WHEN REQUIRED, CONCRETE COLLAR WITH QUANTITY (2) #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
  - FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 37 SECONDS.
  - SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



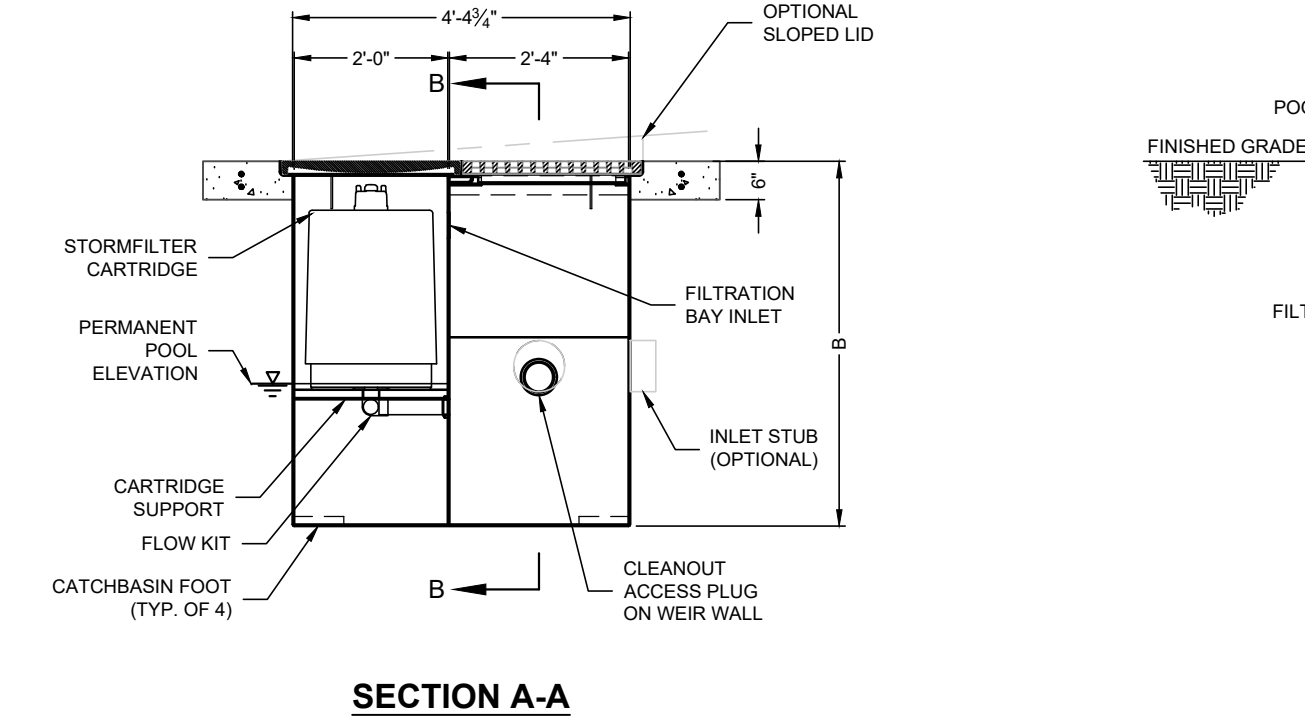
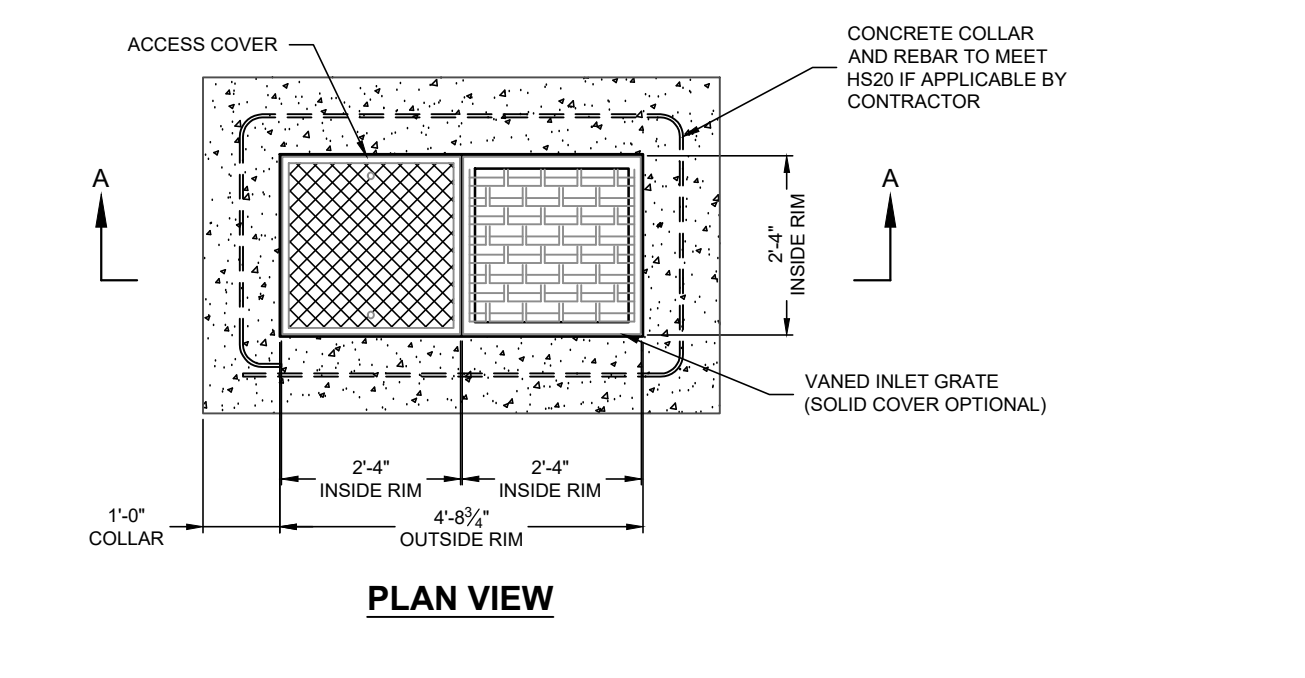
**3-CARTRIDGE CATCHBASIN STORMFILTER DATA**

STRUCTURE ID	WQCB#3
WATER QUALITY FLOW RATE (cfs)	0.0681
PEAK FLOW RATE (<1 cfs)	0.52
RETURN PERIOD OF PEAK FLOW (yrs)	25
CARTRIDGE FLOW RATE (gpm)	15
MEDIA TYPE (PERLITE, ZPG, PSORB)	PERLITE
RIM ELEVATION	201.25
PIPE DATA:	I.E. DIAMETER
INLET STUB	6"
OUTLET STUB	6"
CONFIGURATION:	OUTLET INLET
SLOPED LID	NO
SOLID COVER	NO
NOTES/SPECIAL REQUIREMENTS:	

**CONTECH ENGINEERED SOLUTIONS LLC**

3 CARTRIDGE CATCHBASIN STORMFILTER STANDARD DETAIL

11815 NE Glenn Widing Drive, Portland, OR 97220  
800-548-4687 503-240-3393 800-561-1271 FAX



**STORMFILTER CATCHBASIN DESIGN NOTES**

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 1 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF ONE CARTRIDGE. SYSTEM IS SHOWN WITH A 27" CARTRIDGE, AND IS ALSO AVAILABLE WITH AN 18" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL. PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27"	18"	18" DEEP
CARTRIDGE HEIGHT	3.05'	2.3'	3.3'
RECOMMENDED HYDRAULIC DROP (H)	2 gpm/sf	2 gpm/sf	2 gpm/sf
SPECIFIC FLOW RATE (gpm/sf)	11.25	15	15
CARTRIDGE FLOW RATE (gpm)	1.0	1.0	1.8
PEAK HYDRAULIC CAPACITY	1.0	1.0	1.8
CARTRIDGE FLOW RATE (gpm)	1.0	1.0	1.8
INLET PERMANENT POOL LEVEL (A)	1'-0"	1'-0"	2'-0"
OVERALL STRUCTURE HEIGHT (B)	4'-9"	3'-9"	4'-9"

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS, LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
  - STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - INLET SHOULD NOT BE LOWER THAN OUTLET.
  - STORMFILTER CATCHBASIN EQUIPPED WITH 4-INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
  - STEEL STRUCTURE TO BE MANUFACTURED OF 14-INCH STEEL PLATE. CASTINGS SHALL MEET AASHTO M306 LOAD RATING. TO MEET HS20 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR IS REQUIRED. WHEN REQUIRED, CONCRETE COLLAR WITH QUANTITY (2) #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
  - FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 37 SECONDS.
  - SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

- INSTALLATION NOTES**
- NOT USED.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

**1-CARTRIDGE CATCHBASIN STORMFILTER DATA**

STRUCTURE ID	WQCB#4
WATER QUALITY FLOW RATE (cfs)	0.0139
PEAK FLOW RATE (<1 cfs)	0.11
RETURN PERIOD OF PEAK FLOW (yrs)	25
CARTRIDGE FLOW RATE (gpm)	15
MEDIA TYPE (CSF, PERLITE, ZPG, GAC, PHS)	PERLITE
RIM ELEVATION	204.85
PIPE DATA:	I.E. DIAMETER
INLET STUB	6"
OUTLET STUB	6"
CONFIGURATION:	OUTLET INLET
SLOPED LID	NO
SOLID COVER	NO
NOTES/SPECIAL REQUIREMENTS:	

**CONTECH ENGINEERED SOLUTIONS LLC**

1 CARTRIDGE CATCHBASIN STORMFILTER STANDARD DETAIL

11815 NE Glenn Widing Drive, Portland, OR 97220  
800-548-4687 503-240-3393 800-561-1271 FAX

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel: (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**PRELIMINARY**  
10/17/2022 10:55:01 AM  
EXP: 12/31/2023

PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

- REVISIONS**
- 10.09.2019 Site Develop. Permit Rev 1
  - 10.25.2019 Plumbing Permit Rev 1
  - 11.12.2019 Site Develop. Permit Rev 2
  - 11.15.2019 1200C Resubmittal
  - 11.26.2019 Site Develop. Permit Rev 3
  - 12.04.2019 Site Develop. Permit Rev 4
  - 01.21.2020 SD Revision
  - 03.02.2020 SD Revision
  - 03.05.2020 SD Revision
  - 10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

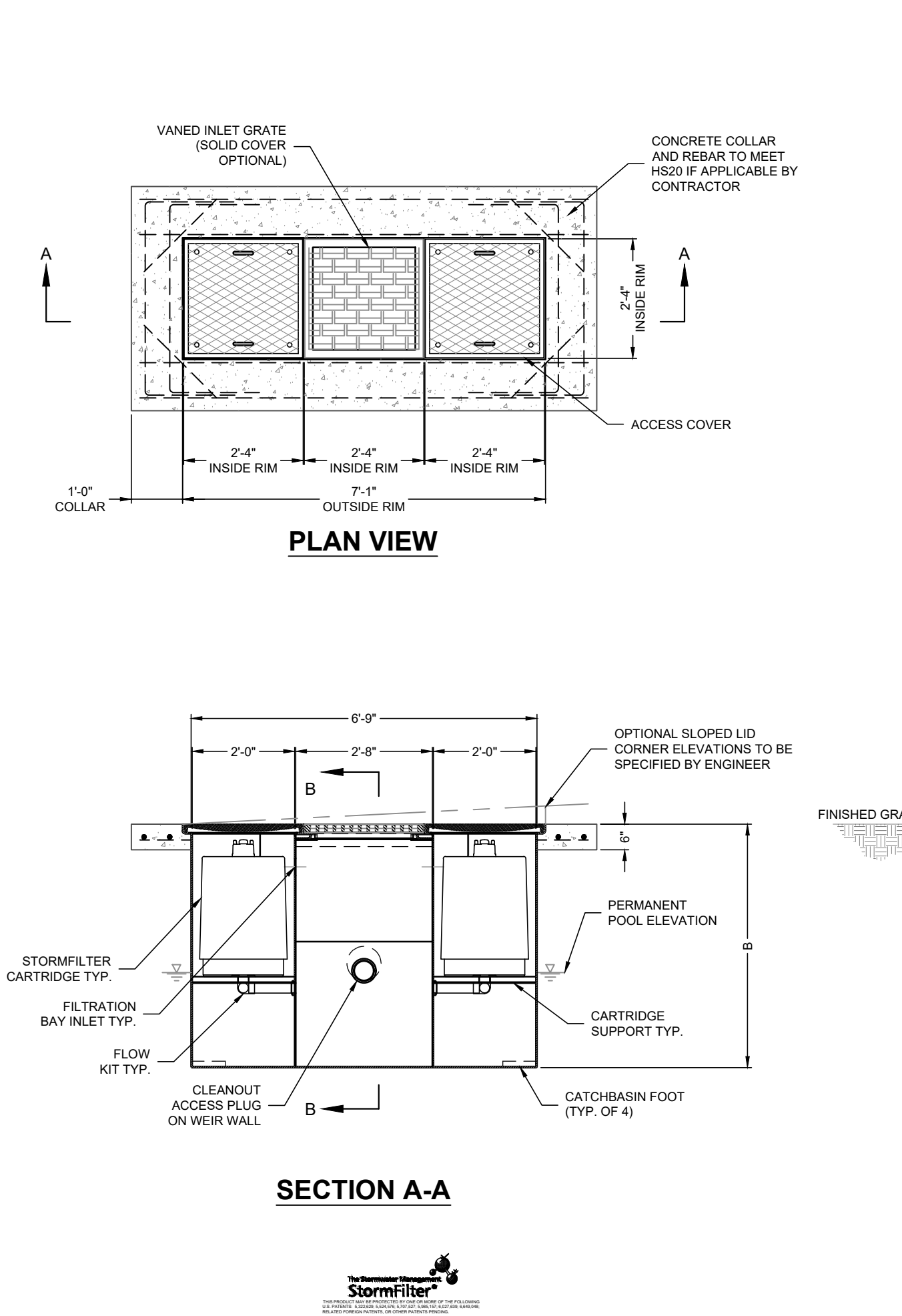
SHEET TITLE  
DETAILS

C3.1









### STORMFILTER STEEL CATCHBASIN DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 2 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF TWO CARTRIDGES. SYSTEM IS SHOWN WITH A 27" CARTRIDGE, AND IS ALSO AVAILABLE WITH AN 18" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL. PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27"	18"	18" DEEP
CARTRIDGE HEIGHT	3.05'	2.3'	3.3'
RECOMMENDED HYDRAULIC DROP (H)	2.25	1.125	1.5
SPECIFIC FLOW RATE (gpm/sf)	1.67	1.67	1.67
CARTRIDGE FLOW RATE (gpm)	22.5	12.53	7.5
PEAK HYDRAULIC CAPACITY	1.0	1.0	1.8
INLET PERMANENT POOL LEVEL (A)	1'-0"	1'-0"	2'-0"
OVERALL STRUCTURE HEIGHT (B)	4'-9"	3'-9"	4'-0"

\* 1.67 gpm/sf SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY

**GENERAL NOTES**

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. WWW.CONTECHES.COM
- STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- INLET SHOULD NOT BE LOWER THAN OUTLET. INLET (IF APPLICABLE) AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
- MANUFACTURER TO APPLY A SURFACE BEAD WELD IN THE SHAPE OF THE LETTER "O" ABOVE THE OUTLET PIPE STUB ON THE EXTERIOR SURFACE OF THE STEEL SFCB.
- STORMFILTER CATCHBASIN EQUIPPED WITH 4 INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
- STEEL STRUCTURE TO BE MANUFACTURED OF 1/4 INCH STEEL PLATE. CASTINGS SHALL MEET AASHTO M306 LOAD RATING. TO MEET H520 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR WITH #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

**INSTALLATION NOTES**

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING TUGHES PROVIDED).
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

### 2-CARTRIDGE DEEP CATCHBASIN STORMFILTER DATA

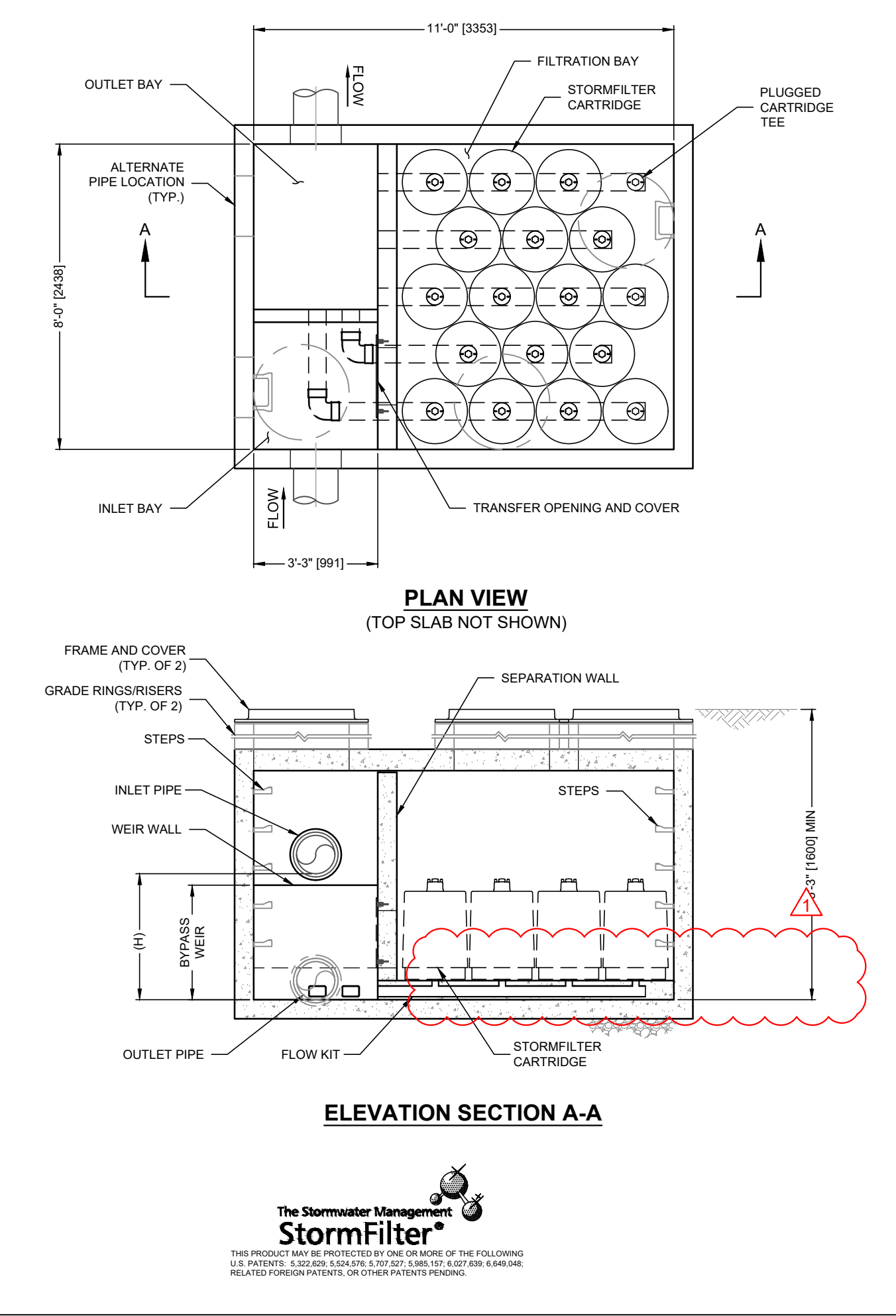
STRUCTURE ID	PUBLIC SF CB #1
WATER QUALITY FLOW RATE (cfs)	0.065
PEAK FLOW RATE (cfs & cfs)	0.49
RETURN PERIOD OF PEAK FLOW (yrs)	25
CARTRIDGE FLOW RATE (gpm)	15
MEDIA TYPE (PERLITE, ZPG, PSORB)	PERLITE
RIM ELEVATION	194.70

PIPE DATA:	I.E.	DIAMETER
INLET STUB		
OUTLET STUB	192.40	10"

CONFIGURATIONS:

SLOPED LID	SOLID COVER
NO	NO

NOTES/SPECIAL REQUIREMENTS:



### STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD

- AN 6" x 8" (1829 x 2438) PEAK DIVERSION STYLE STORMFILTER IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (17) AND IS AVAILABLE IN A LEFT INLET (AS SHOWN) OR A RIGHT INLET CONFIGURATION.
- ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS NOTED OTHERWISE.

CARTRIDGE SIZE (in. (mm))	27 (686)	18 (457)	LOW DROP
RECOMMENDED HYDRAULIC DROP (H) (ft. (mm))	3.05 (930)	2.3 (701)	1.8 (549)
SPECIFIC FLOW RATE (gpm/sf) (L/s/m²)	2 [1.36]	2 [1.36]	2 [1.36]
CARTRIDGE FLOW RATE (gpm) (L/s)	22 [1.42]	18.79 [1.19]	12.53 [0.79]
CARTRIDGE FLOW RATE (gpm) (L/s)	22 [1.42]	18.79 [1.19]	12.53 [0.79]

\* 1.67 gpm/sf (1.13 L/s/m²) SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY

### SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WG VAULT #1
WATER QUALITY FLOW RATE (cfs [L/s])	0.3539
PEAK FLOW RATE (cfs [L/s])	2.66
RETURN PERIOD OF PEAK FLOW (yrs)	25
CARTRIDGE FLOW RATE (cfs)	10
CARTRIDGE SIZE (27, 18, LOW DROP (LD))	LD
MEDIA TYPE (PERLITE, ZPG, PSORB)	PERLITE
NUMBER OF CARTRIDGES REQUIRED	16
FILTER BAY RIM ELEVATION	202.15

PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1	198.15	PVC	12"
INLET PIPE 2	-	-	-
OUTLET PIPE	196.35	PVC	12"

NOTES/SPECIAL REQUIREMENTS: 20 cfs MAXIMUM INTERNAL BYPASS FLOW RATE

**PERFORMANCE SPECIFICATION**

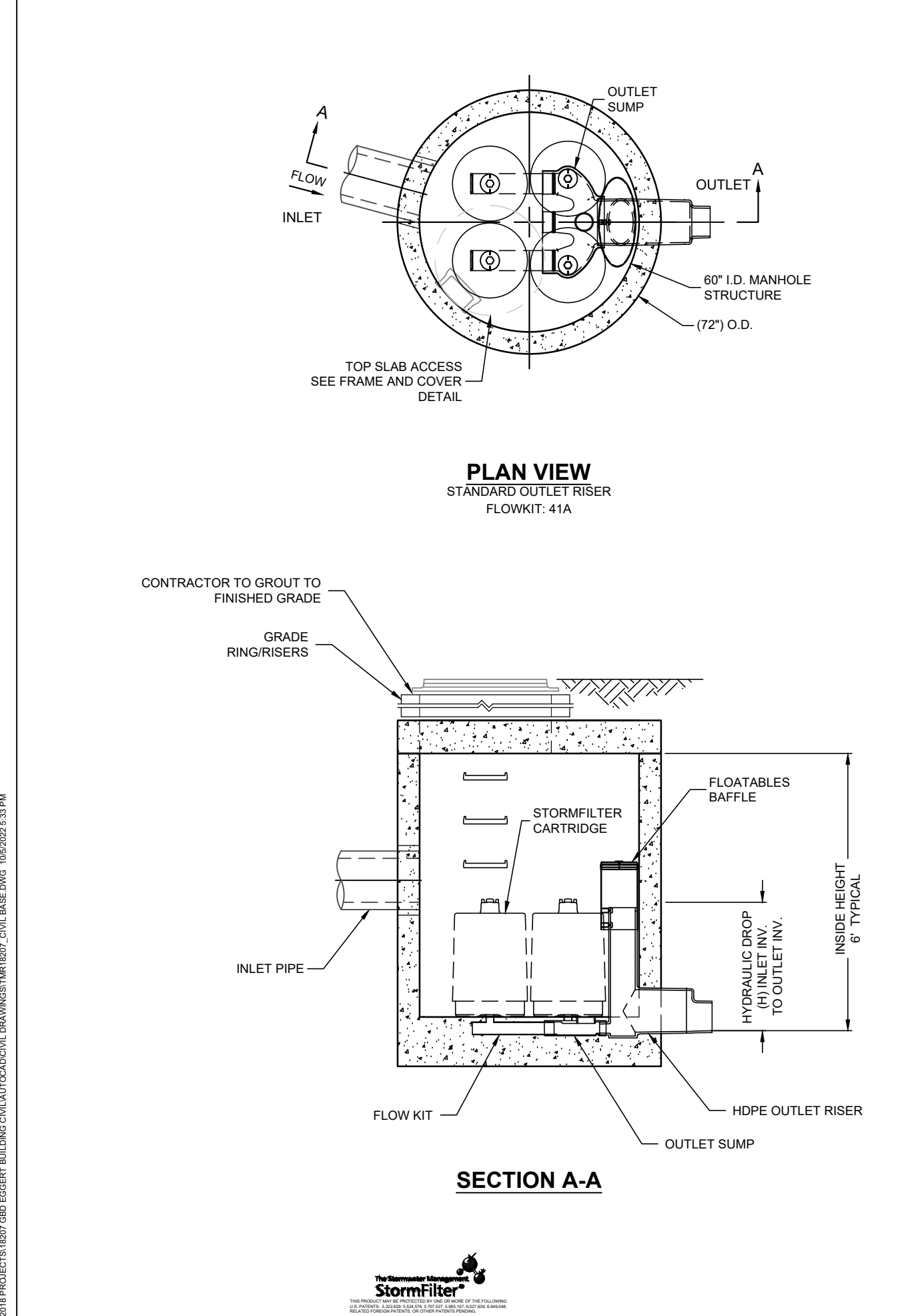
FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS. SPECIFIC FLOW RATE SHALL BE 2 GPM/SF (MAXIMUM). SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE 6 GPM/CF OF MEDIA (MAXIMUM).

**GENERAL NOTES**

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- ALTERNATE DIMENSIONS ARE IN MILLIMETERS (mm) UNLESS NOTED OTHERWISE.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. WWW.CONTECHES.COM
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO H520 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5" (1524) AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.

**INSTALLATION NOTES**

- NOT USED.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CONTRACTOR TO REMOVE THE TRANSFER OPENING COVER WHEN THE SYSTEM IS BROUGHT ONLINE.



### STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (4). VOLUME SYSTEM IS ALSO AVAILABLE WITH MAXIMUM 4 CARTRIDGES. 60" MANHOLE STORMFILTER PEAK HYDRAULIC CAPACITY IS 1.0 CFS. IF THE SITE CONDITIONS EXCEED 1.0 CFS AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27"	18"	LOW DROP
CARTRIDGE HEIGHT	3.05'	2.3'	3.3'
RECOMMENDED HYDRAULIC DROP (H)	2.25	1.125	1.5
SPECIFIC FLOW RATE (gpm/sf)	1.67	1.67	1.67
CARTRIDGE FLOW RATE (gpm)	22.5	12.53	7.5

### SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WG#H#1
WATER QUALITY FLOW RATE (cfs)	0.1061
PEAK FLOW RATE (cfs)	0.83
RETURN PERIOD OF PEAK FLOW (yrs)	25
# OF CARTRIDGES REQUIRED	4
CARTRIDGE FLOW RATE	15
MEDIA TYPE (CSF, PERLITE, ZPG, GAC, PHOS)	PERLITE

PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE #1	201.80	PVC	6"
INLET PIPE #2	201.80	PVC	6"
OUTLET PIPE	199.50	PVC	6"

RIM ELEVATION: 205.75

ANTI-FLOTATION BALLAST: WIDTH - HEIGHT -

NOTES/SPECIAL REQUIREMENTS:

**GENERAL NOTES**

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. WWW.CONTECHES.COM
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO H520 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

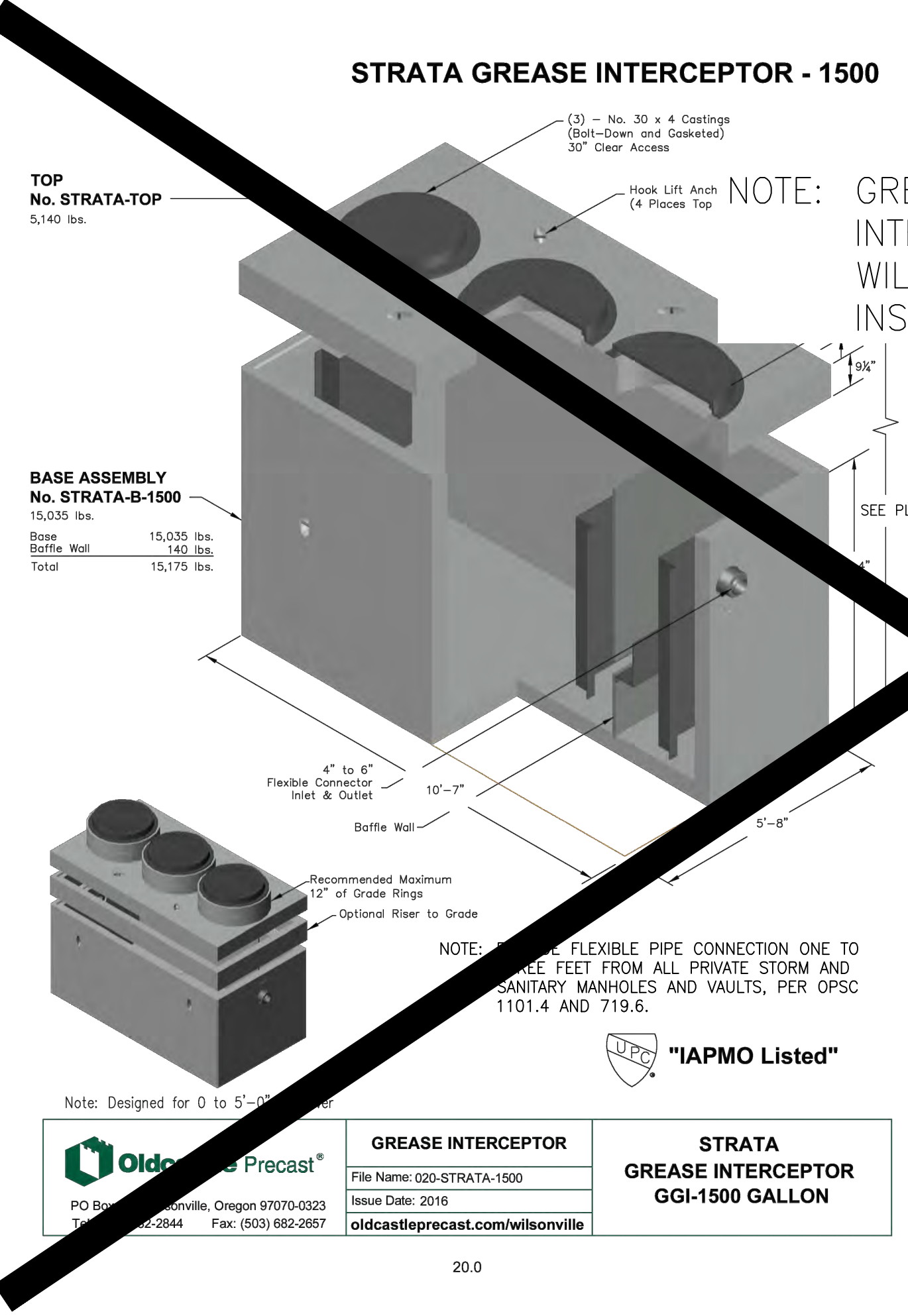
**INSTALLATION NOTES**

- NOT USED.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPES.
- CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. STORMFILTER EQUIPPED WITH A DUAL DIAMETER HOPE OUTLET STUB AND SAND COLLAR. IF OUTLET PIPE IS LARGER THAN 8 INCHES, CONTRACTOR TO REMOVE THE 8-INCH OUTLET STUB AT MOLDED IN CUT LINE. COUPLING BY FERRO OR EQUAL AND PROVIDED BY CONTRACTOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

**CONTECH ENGINEERED SOLUTIONS LLC**

11815 NE Glenn Widing Drive, Portland, OR 97220  
800-548-4667 503-240-3393 800-561-1271 FAX

### SFMH60 STORMFILTER STANDARD DETAIL



### STRATA GREASE INTERCEPTOR - 1500

NOTE: GREASE INTERCEPTOR WILL NOT BE INSTALLED

TOP No. STRATA-TOP: 5,140 lbs.

BASE ASSEMBLY No. STRATA-B-1500: 15,035 lbs. (Base), 140 lbs. (Baffle Wall), 15,175 lbs. (Total)

NOTE: PROVIDE FLEXIBLE PIPE CONNECTION ONE TO THREE FEET FROM ALL PRIVATE STORM AND SANITARY MANHOLES AND VAULTS, PER OPSC 1101.4 AND 719.6.

"IAPMO Listed"

**CONTECH ENGINEERED SOLUTIONS LLC**

11815 NE Glenn Widing Drive, Portland, OR 97220  
800-548-4667 503-240-3393 800-561-1271 FAX

### THE STORMWATER MANAGEMENT STORMFILTER 8' x 11' PEAK DIVERSION STORMFILTER STANDARD DETAIL

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel: (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**T.M. RIPPEY CONSULTING ENGINEERS**  
7650 SW Beveland, Suite 100  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**PROFESSIONAL ENGINEER**  
10/17/2022 10:55:01 AM  
EXP: 12/31/2023

PROJECT  
5051 SW WESTERN AVENUE  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

NO.	DATE	DESCRIPTION
1	10.09.2019	Site Develop. Permit Rev 1
1	10.25.2019	Plumbing Permit Rev 1
2	11.12.2019	Site Develop. Permit Rev 2
3	11.15.2019	1200C Resubmittal
3	11.26.2019	Site Develop. Permit Rev 3
4	12.04.2019	Site Develop. Permit Rev 4
5	01.21.2020	SD Revision
6	03.02.2020	SD Revision
7	10.05.2020	SD Revision
7	10.05.2022	LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED ON PLAN

SHEET TITLE  
DETAILS

**C3.3**

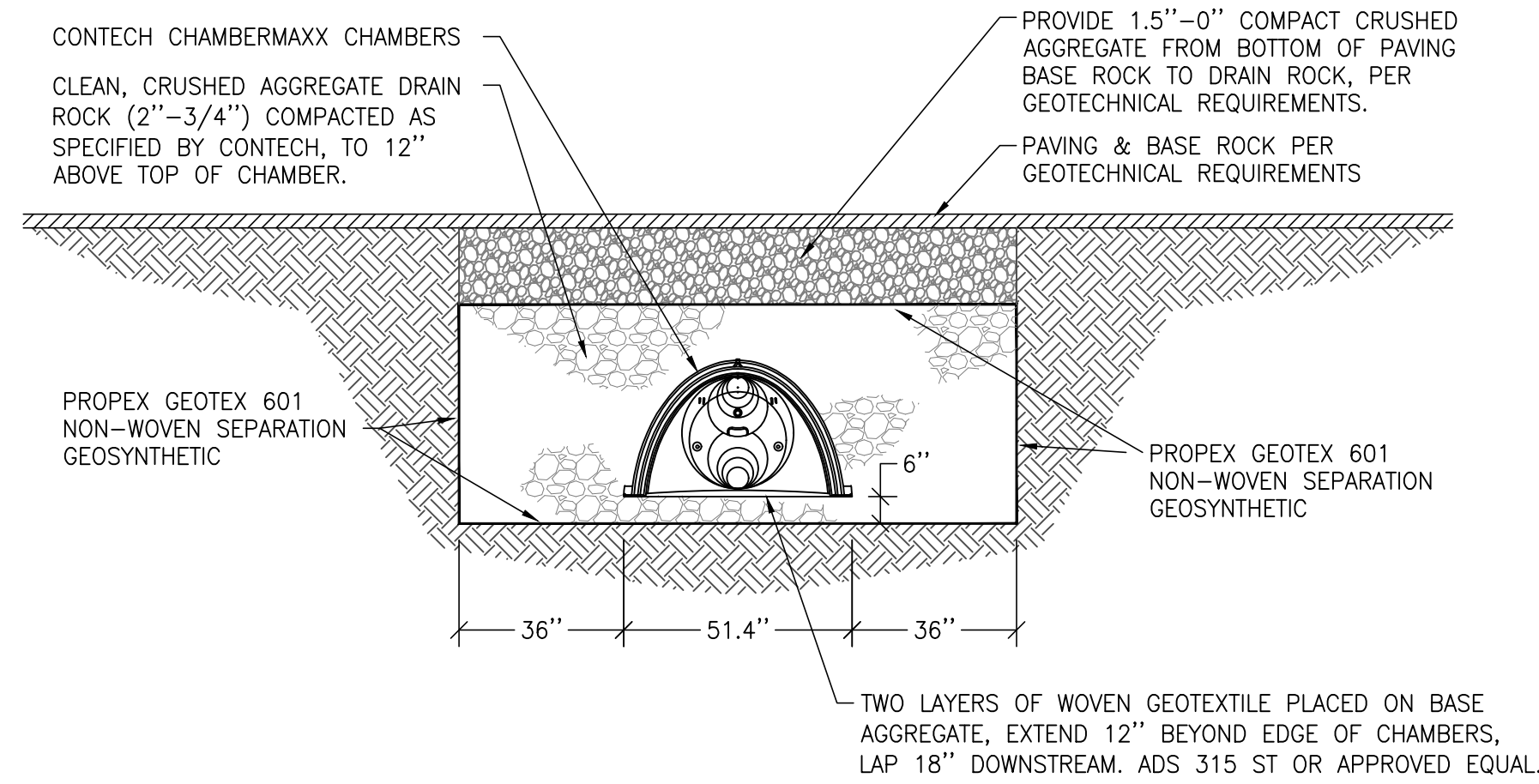
SITE DEVELOPMENT PERMIT





WATER/WASTEWATER

6'-0" x 8'-0" x 7'-0" ID  
Water Meter Vault  
Model: 687 WA



GENERAL NOTES

1. ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR.
2. PRIOR TO INSTALLATION OF THE CHAMBERMAXX SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED. THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE SYSTEM, THE GENERAL CONTRACTOR AND THE SUB-CONTRACTORS.
3. CHAMBERMAXX CHAMBERS ARE MANUFACTURED FROM POLYPROPYLENE PLASTIC.
4. CHAMBERMAXX SYSTEM TO MEET AASHTO HS20/HAS25 LIVE LOADING, PER AASHTO LRFD SECTION 12.
5. ACCESS COVERS TO MEET AASHTO HS20/HAS25 LIVE LOADING.
6. MINIMUM COVER IS 18" (475mm) AND MAXIMUM COVER IS 96" (2438mm) CONTACT YOUR LOCAL REPRESENTATIVE.
7. CHAMBERMAXX BY CONTECH ENGINEERED SOLUTIONS, LLC.

INSTALLATION NOTES

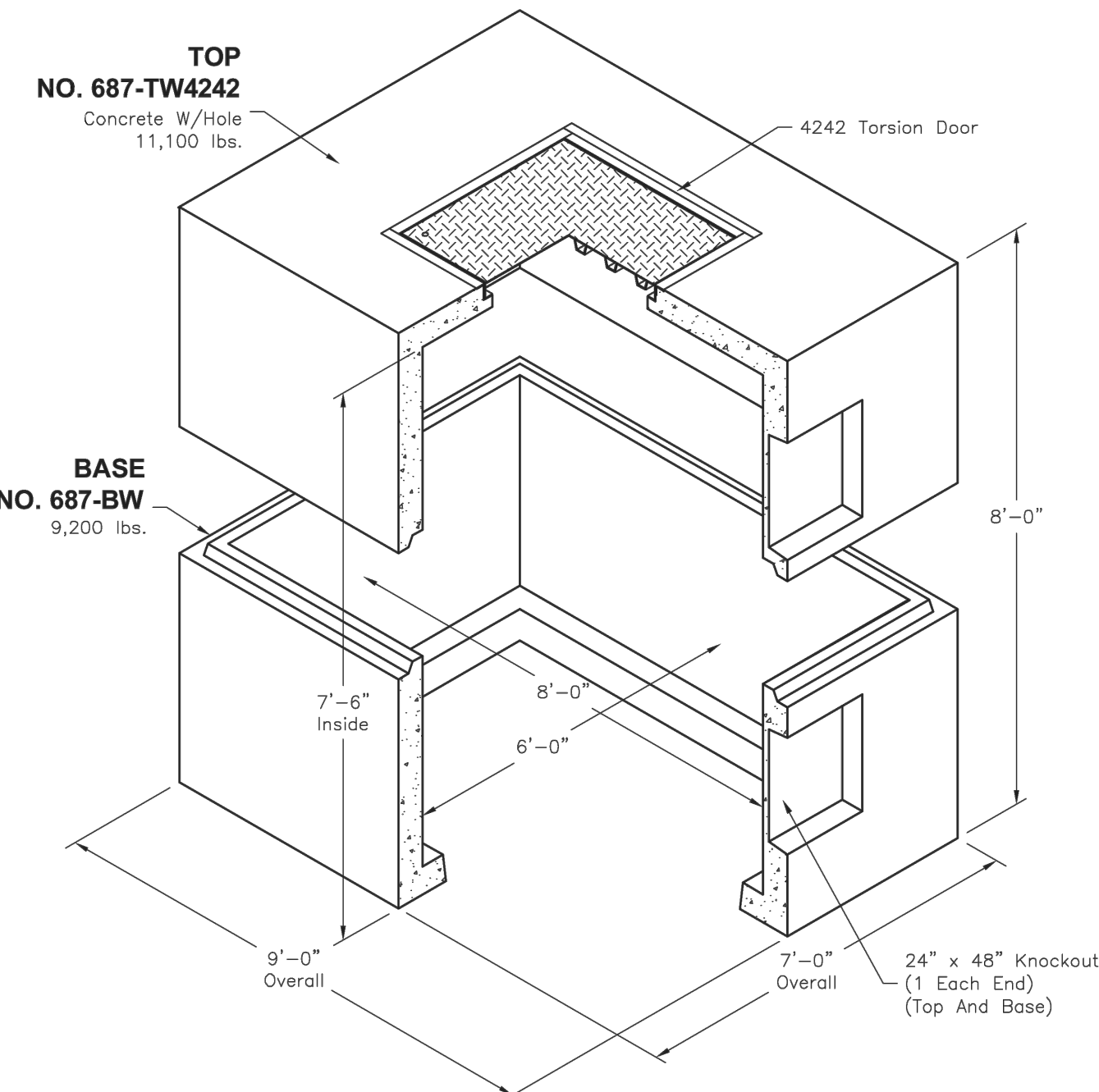
1. CHAMBERMAXX INSTALLATION GUIDE TO BE REVIEWED BY CONTRACTOR PRIOR TO INSTALLATION.
2. PRIOR TO PLACING BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, A GEOGRID SHALL BE UTILIZED OR UNSUITABLE MATERIAL SHALL BE REMOVED AND BROUGHT BACK TO GRADE WITH FILL MATERIAL AS APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, THE BEDDING MATERIAL CAN BE PLACED.
3. THE SCOUR PROTECTION NETTING TO EXTEND 1'-0" (305mm) BEYOND THE OUTSIDE EDGES OF INLET CHAMBERS.
4. COVER ANY OPEN VOID SPACES GREATER THAN 3/4" (19mm) ON CHAMBERS WITH A NON-WOVEN GEOTEXTILE TO PREVENT INFILTRATION OF BACKFILL MATERIAL. STONE EMBEDMENT MATERIAL SHALL BE INSTALLED TO 95% STANDARD PROCTOR DENSITY AND PLACED IN 6-INCH (152mm) TO 8-INCH (203mm) LIFTS SUCH THAT THERE IS NO MORE THAN TWO LIFT DIFFERENTIAL BETWEEN ANY OF THE CHAMBERS AT ANY TIME. GRANULAR BACKFILL MATERIAL SHALL BE COMPACTED TO 90% SPD. BACKFILLING SHALL BE ADVANCED ALONG THE LENGTH OF THE CHAMBER ROWS AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING AND DISPLACEMENT OF THE CHAMBERS. THE MINIMUM CHAMBER SPACING MUST BE MAINTAINED.
5. REFER TO CHAMBERMAXX INSTALLATION GUIDE FOR TEMPORARY CONSTRUCTION LOADING GUIDELINES.
6. IT IS ALWAYS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.
7. GENERAL INSTALLATION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH ASTM D2321.

REVISED BY TM RIPPEY CONSULTING ENGINEERS  
DATE: 2019-10-02



11815 NE Glenn Widing Drive, Portland, OR 97220  
800-548-4667 503-240-3393 800-561-1271 FAX

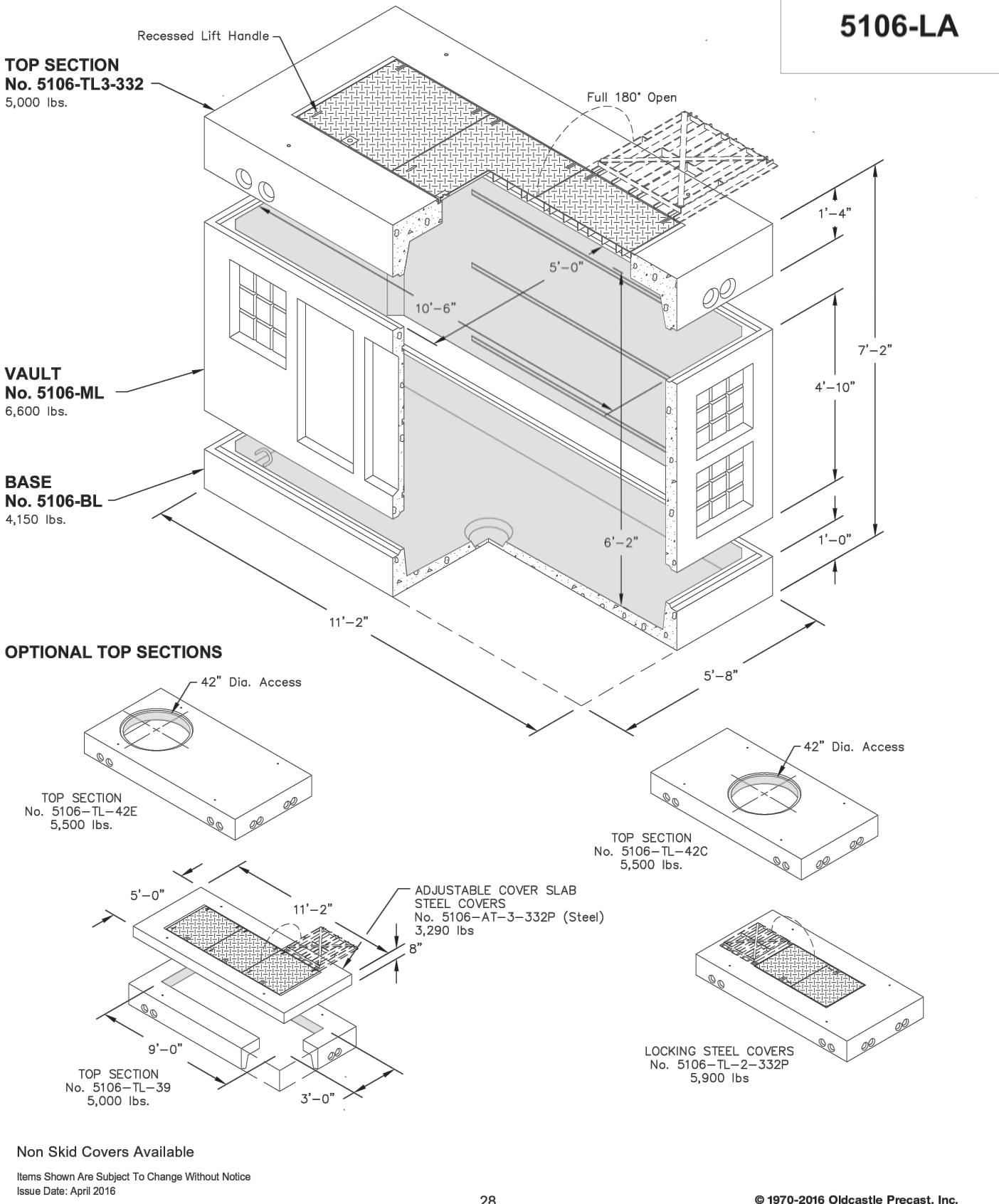
1 CHAMBERMAXX STORMWATER DETENTION SYSTEM  
NOT TO SCALE



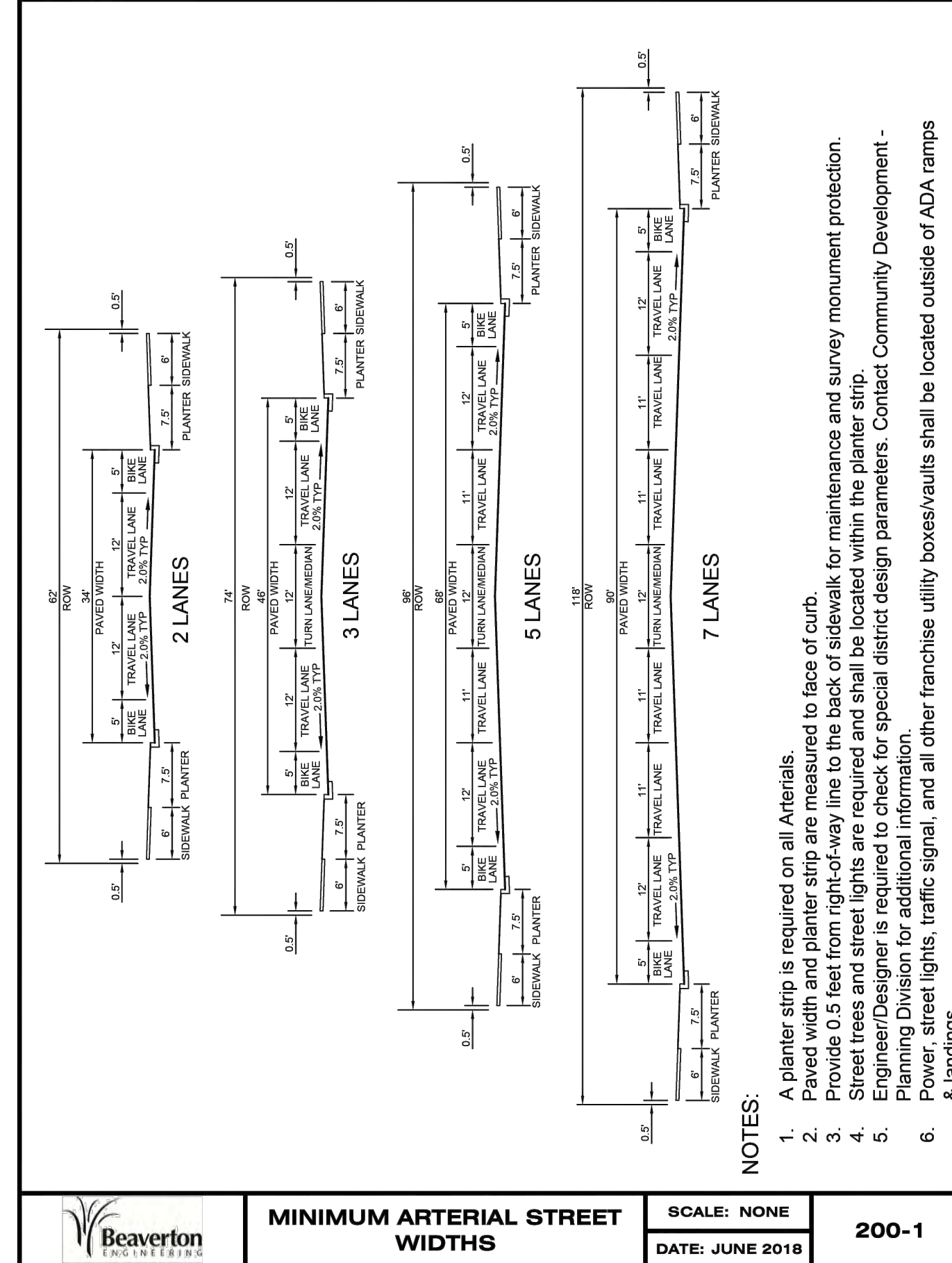
OPTIONAL COVERS  
(For other available covers see Covers section)

Oldcastle Precast Chandler, AZ Division Phone: (480) 965-2878  
For more information about our products please visit us on the web at: oldcastleprecast.com/chandler  
© 2015 Oldcastle Precast, Inc. T-8  
411 E. Frye Rd. Chandler, AZ 85225

Oldcastle Precast AUBURN  
Delivering Reliability

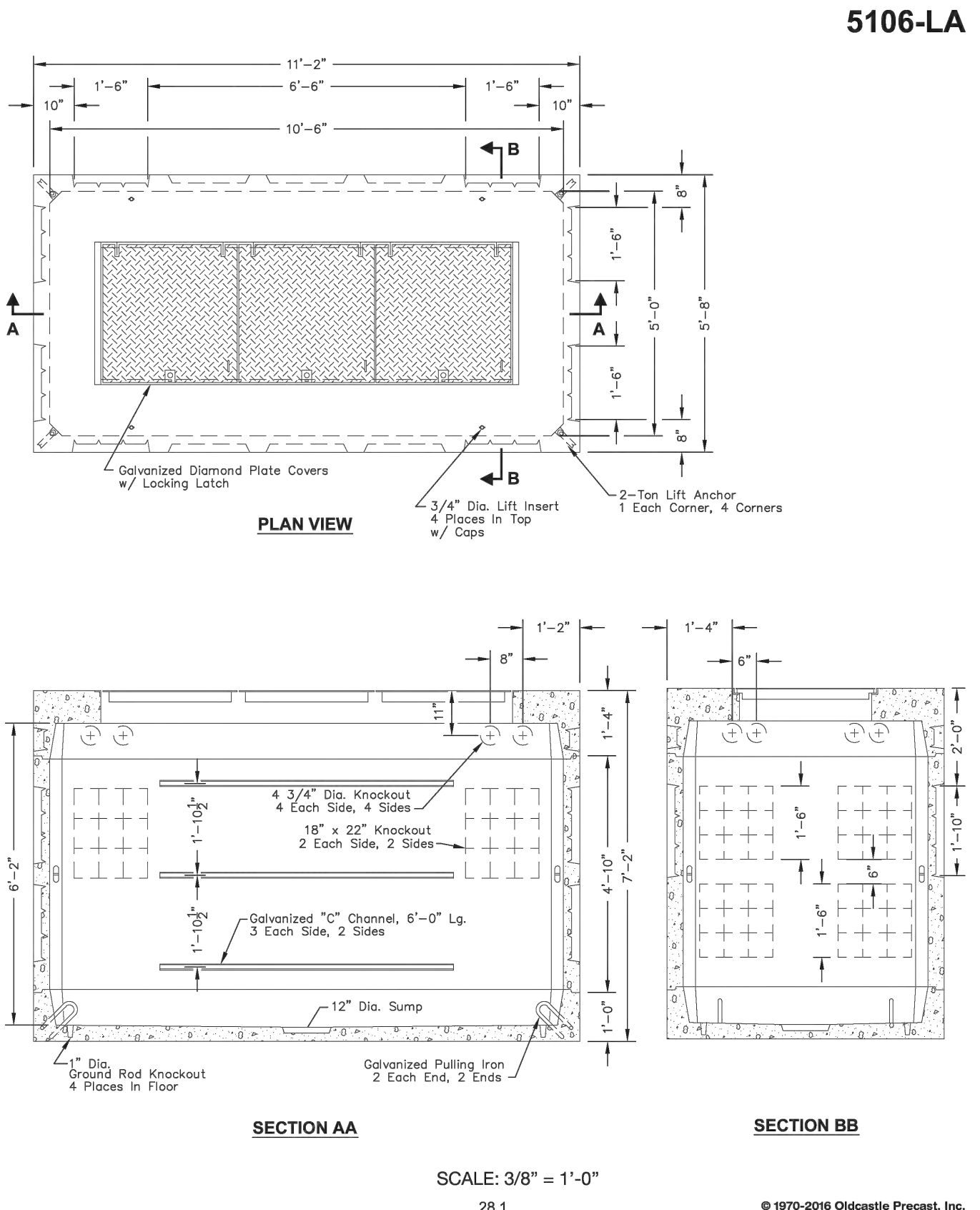


Non Skid Covers Available  
Items Shown Are Subject To Change Without Notice  
Issue Date: April 2016  
© 1970-2016 Oldcastle Precast, Inc.  
28  
opauburn.com



- NOTES:
1. A planter strip is required on all Arterials.
  2. Paved width and planter strip are measured to face of curb.
  3. Provide 0.5 feet from right-of-way line to the back of sidewalk for maintenance and survey monument protection.
  4. Street trees and street lights are required and shall be located within the planter strip.
  5. Engineer/Designer is required to check for special district design parameters. Contact Community Development - Planning Division for additional information.
  6. Power, street lights, traffic signal, and all other franchise utility boxes/vaults shall be located outside of ADA ramps & landings.

Oldcastle Precast  
Delivering Reliability



opauburn.com  
SCALE: 3/8" = 1'-0"  
28.1  
© 1970-2016 Oldcastle Precast, Inc.

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

TMR  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700



PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

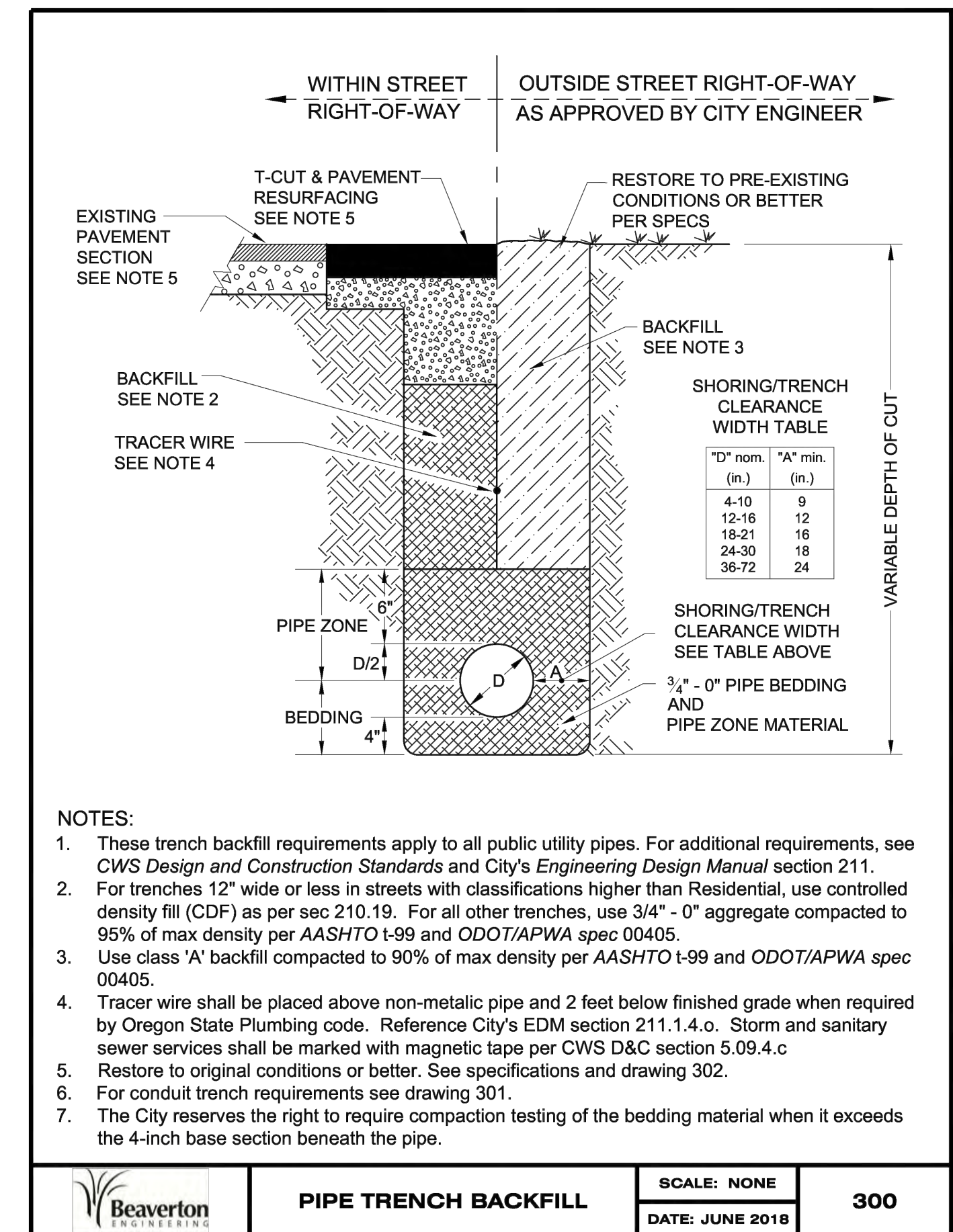
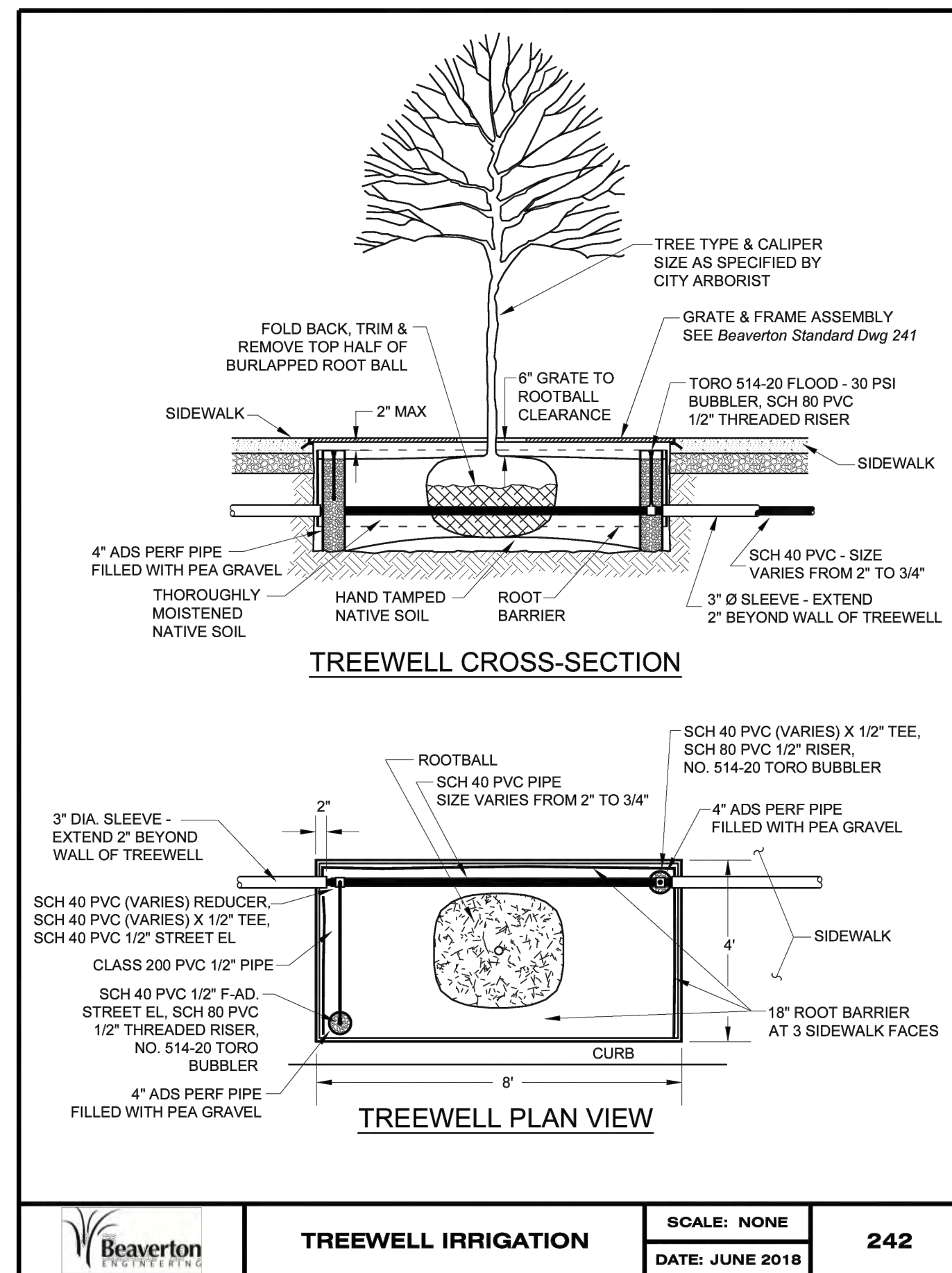
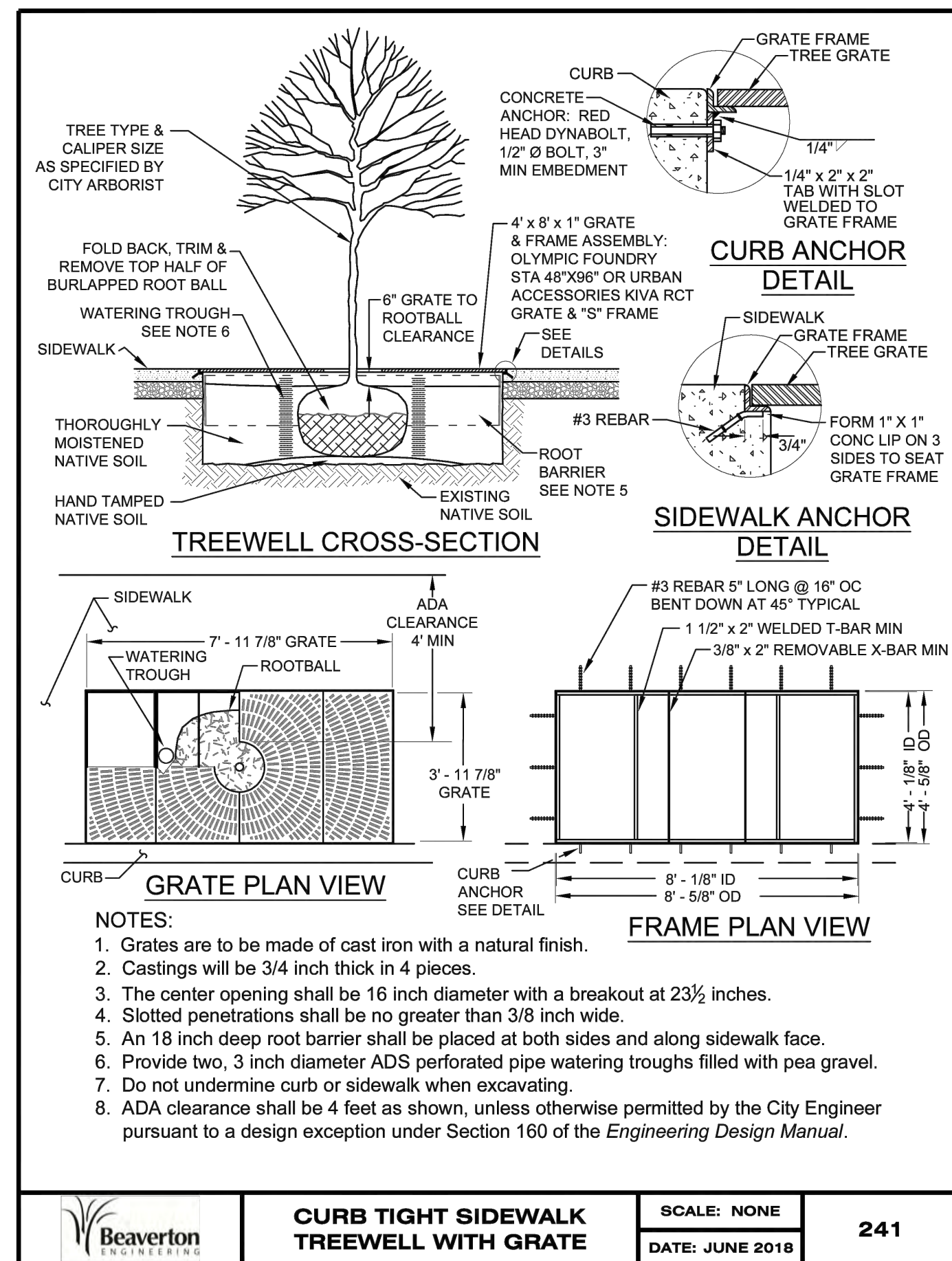
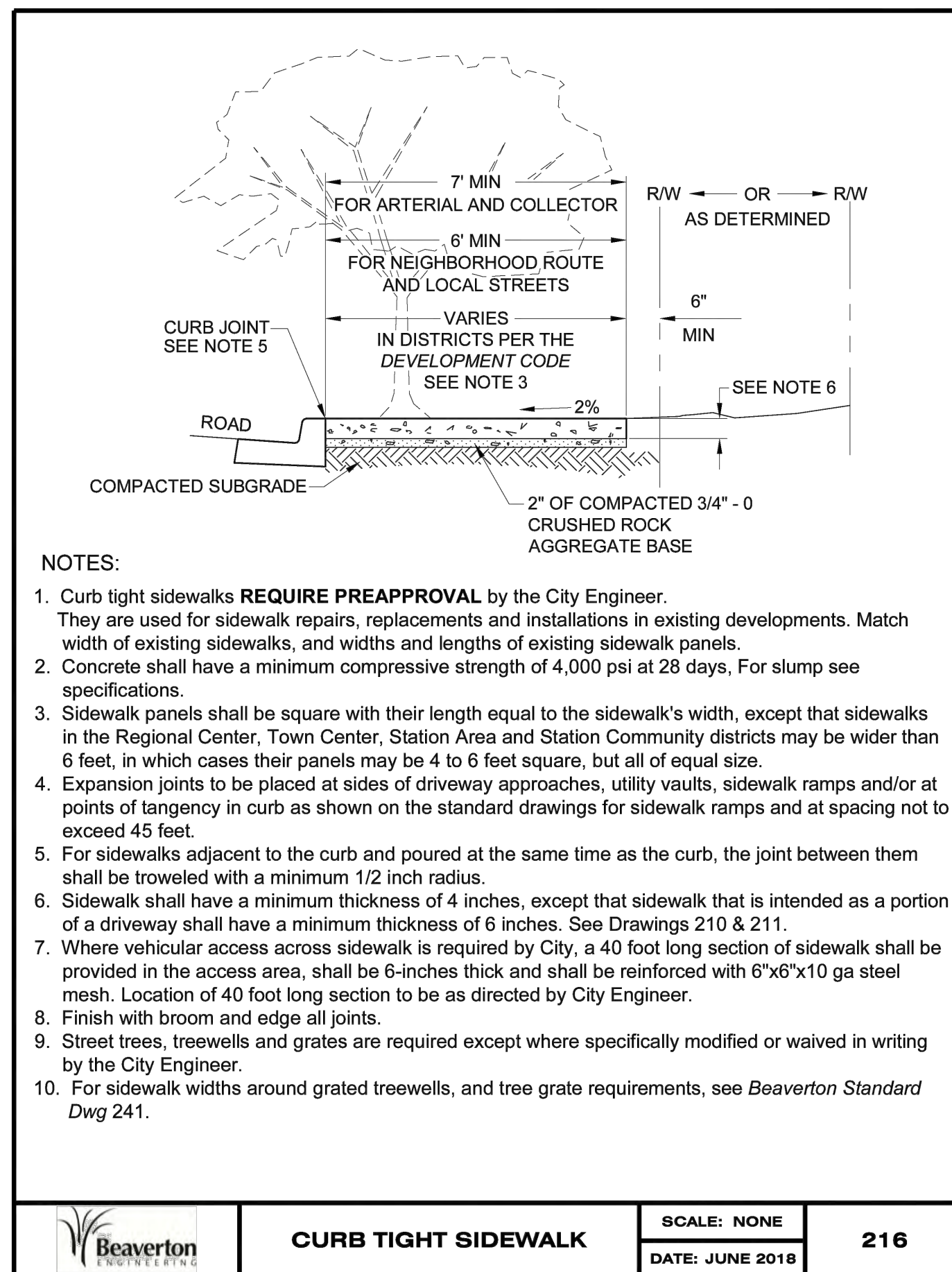
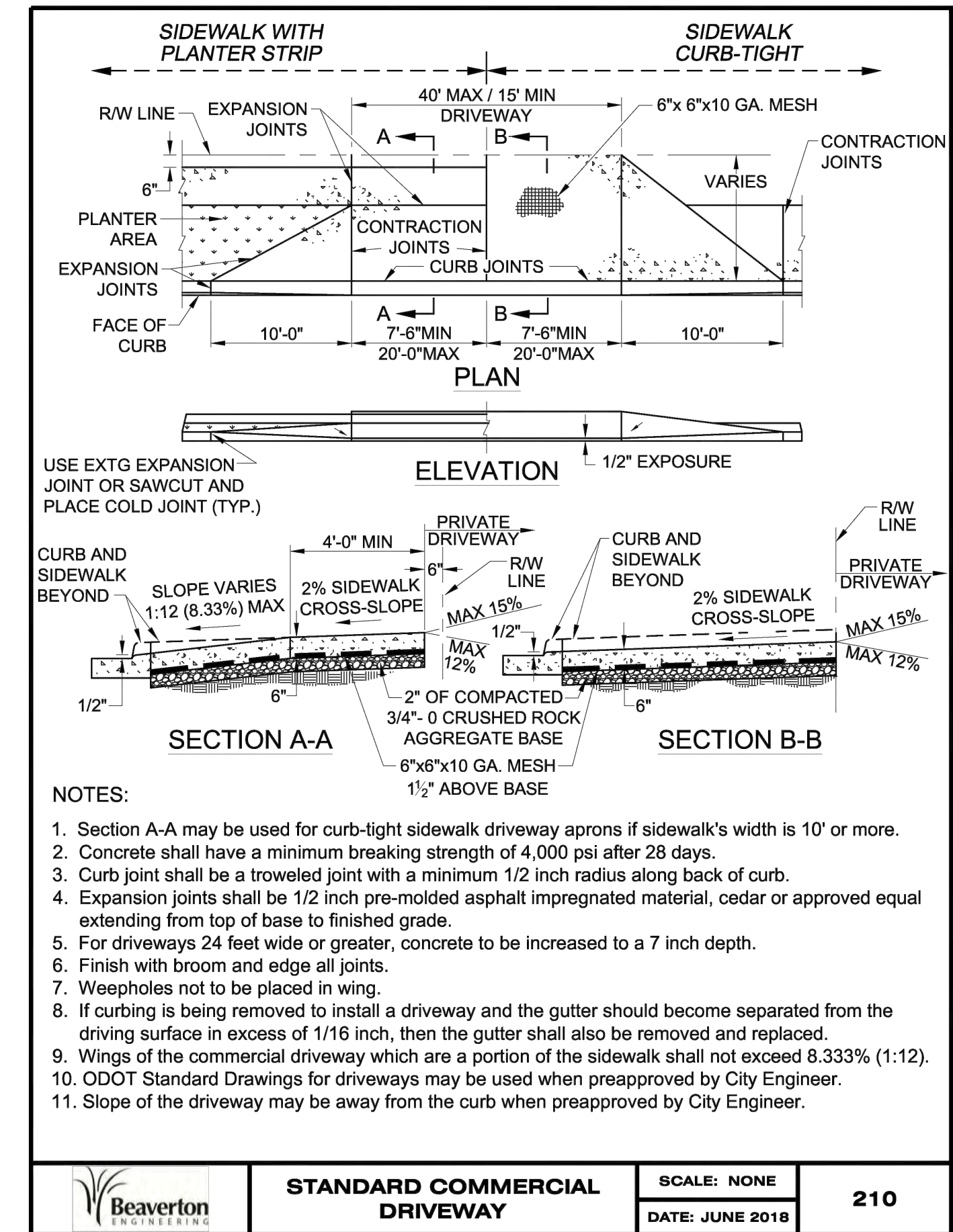
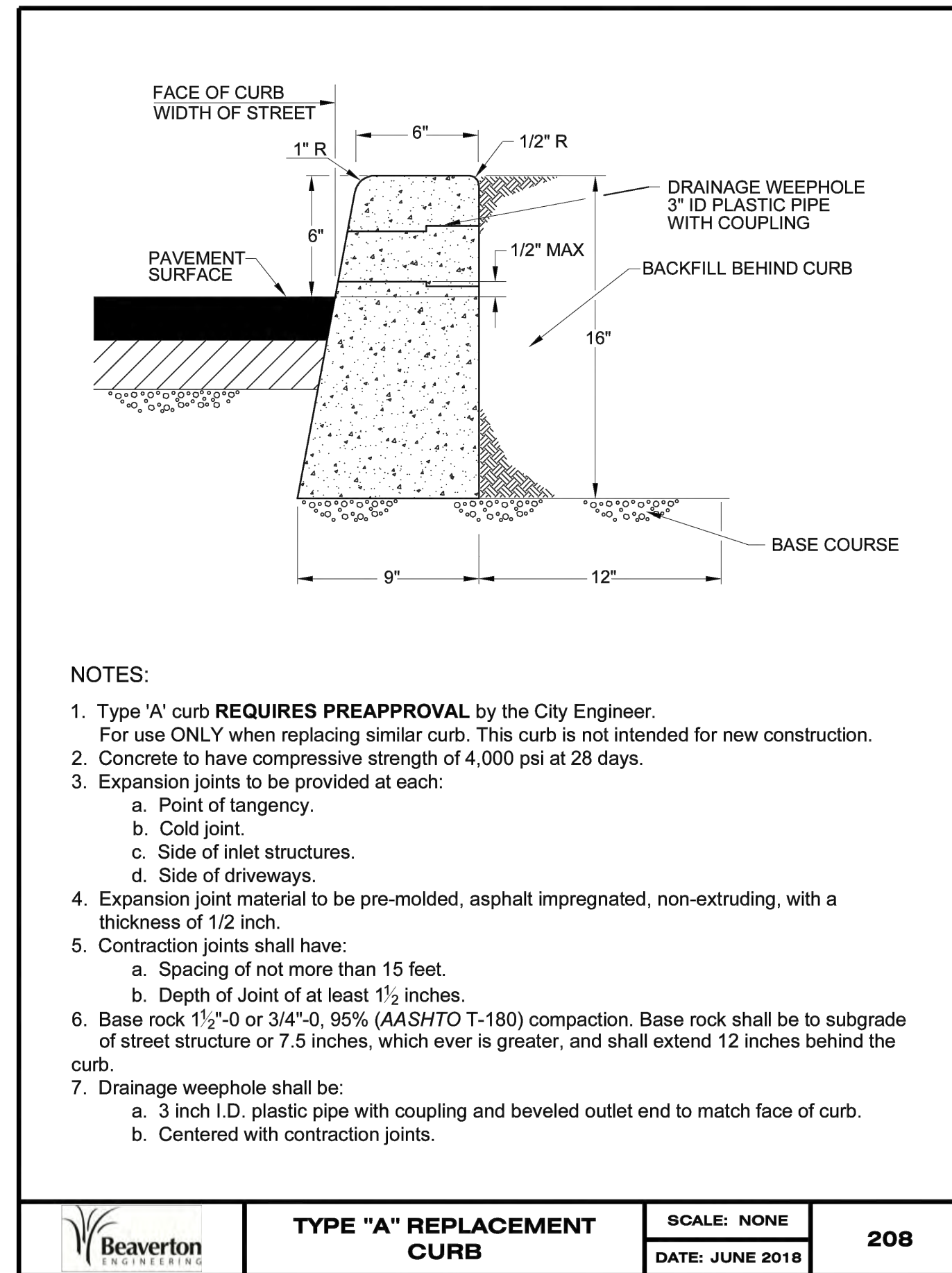
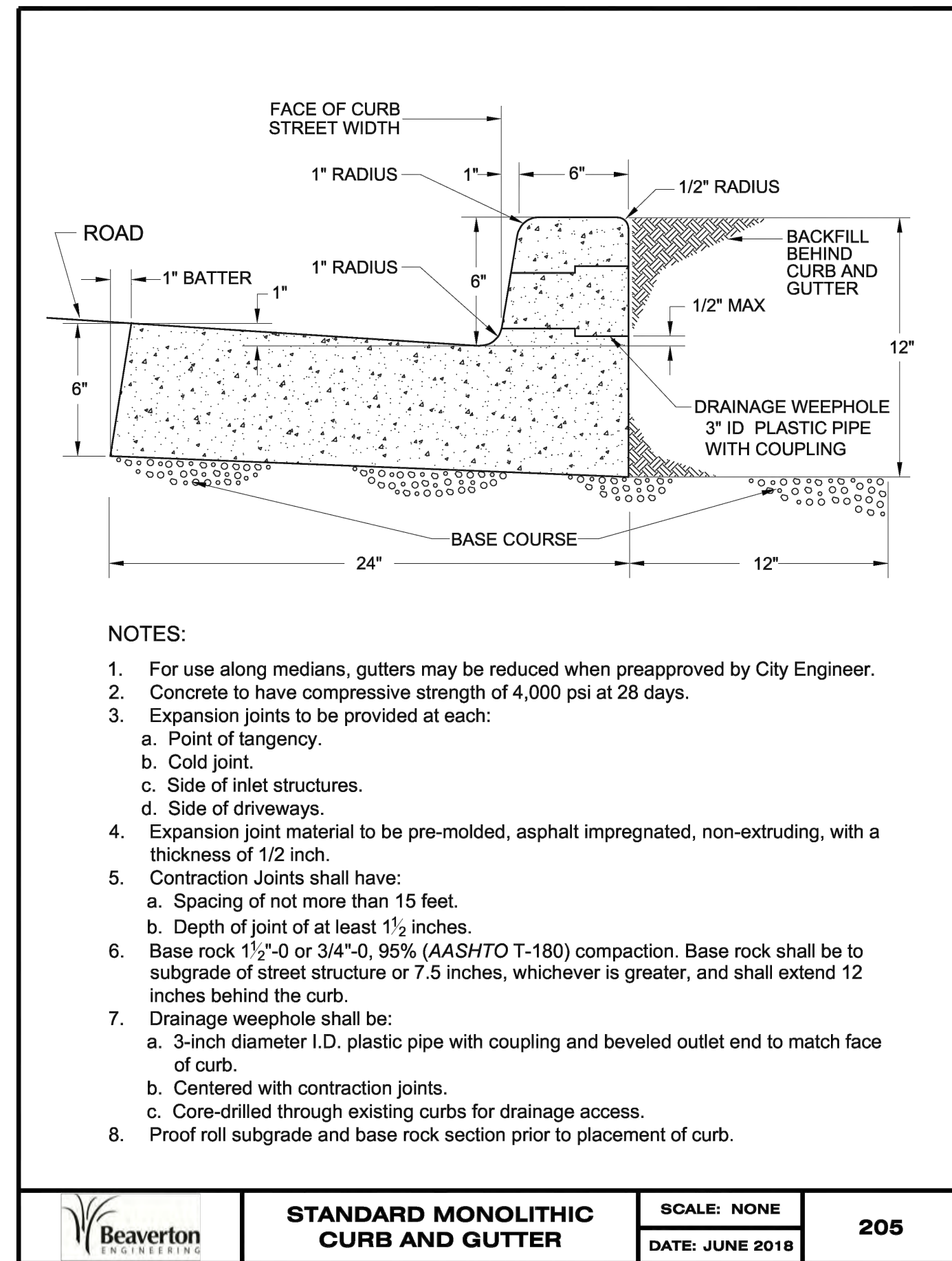
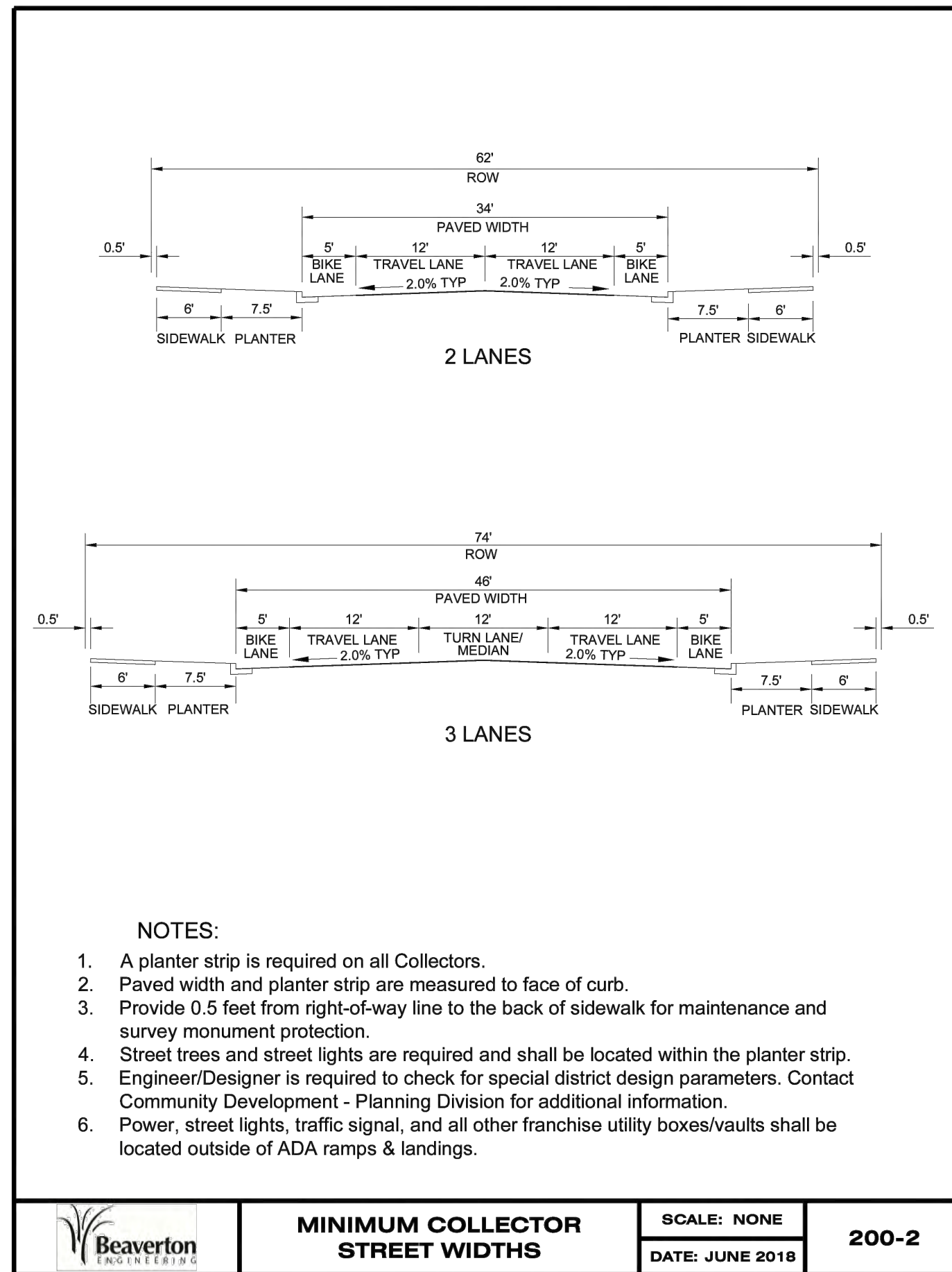
SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
DETAILS

C3.4

SITE DEVELOPMENT PERMIT





SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**PRELIMINARY**  
10/17/2022 10:55:01 AM  
EXP: 12/31/2023

PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.05.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
DETAILS

**C3.5**

SITE DEVELOPMENT PERMIT



**PAVEMENT CUT RESTORATION**

SCALE: NONE  
DATE: JUNE 2018

**302**

FILENAME: 302.dwg

**NOTES:**

- This drawing applies to trench cuts and other kinds of pavement cuts.
- For width dimensions, see *Engineering Design Manual* and the notes that follow.
- Sawcut existing AC pavement full depth. Sawcut existing PCC pavement according to Drawing 310
- Restore existing pavement material(s) to pre-existing or better conditions. Thickness shall be as follows:
  - For existing Portland Cement Concrete (PCC): existing pavement thickness plus 2 inches, but not less than 8 inches. On Arterial and Collector streets, concrete patching material shall be high early strength class 5,000 psi PCC approved by City Engineer.
  - For existing Asphalt Concrete (AC): resurface to a minimum of 3 1/2" of Level 2, 1/2" ACP or existing AC thickness plus 2 inches, whichever is greater, but do not exceed 6 inches. Compact AC in 2-inch maximum lifts to 91% of maximum density (Rice).
  - Base course shall be 3/4"-0 aggregate compacted to 95% of max density as per AASHTO T-99 and ODOT/APWA Spec 00405. Minimum thickness shall be 8 inches under AC pavement and 2 inches under PCC pavement.
- All cut edges of AC shall be sand sealed with CRS-1 or CRS-2 emulsified asphalt or equal.
- If new edge of pavement is less than three feet from another patch, curb or edge of street, replace the pavement in between.
- If any part of more than one pre-existing patch edge is within 3 feet of the T-cut, remove and restore the pavement to the far edge of the furthest pre-existing patch.
- On longitudinal pavement cuts, the edge of the T-cut shall not lie in a wheel path. Width of T-cut shall be widened where necessary to move the edge out of the wheel path and either to parallel and 6 inches from the nearest lane line, or to the location required by note 6 or 7 above as applicable, whichever is the furthest from the pavement cut.
- If an edge of a T-cut will be within 5 feet or less of an area of distressed existing pavement, the length and width of the pavement restoration shall be determined by City Engineer upon notification by the Contractor.
- Width from edge of trench shall be 6 inches minimum for trenches that are 12 inches wide or less and 12 inches minimum for trenches wider than 12 inches. The width may be increased up to 10 feet on both sides of the pavement cut as approved by City Engineer.

**CORRECTIVE AC PAVEMENT INLAY EXAMPLE "B-1" FOR UTILITY CUT OR TRENCH**

SCALE: NONE  
DATE: JUNE 2018

**313**

FILENAME: 313.dwg

**NOTES:**

- If any part of an AC pavement restoration fails, a corrective inlay will be required. The width and length of the inlay will be determined by the City Engineer pursuant to these *Standard Drawings*.
- In this example, the utility cut or trench is located within an AC roadway with a bike lane or parking lane, and there is less than 3 feet between the final pavement cut and the edge of AC pavement.
- The number of jogs in the inlay shall be kept to a minimum.
- The width of example "B-1" grind / mill and inlay shall be 9 feet minimum, 13 feet maximum.

**CWS STANDARD MANHOLE WITH C.O.B. MODIFICATIONS**

SCALE: NONE  
DATE: JUNE 2018

**330**

FILENAME: 330.dwg

**NOTES:**

- ALL PRE-CAST MANHOLE SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478.
- SEE CWS STANDARD DRAWING 020 FOR POURED IN PLACE CONCRETE MANHOLE BASE.
- ALL JOINTS AND RUBBER GASKETS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
- ALL PIPE CONNECTIONS TO MANHOLE SHALL BE WATERTIGHT.
- PIPE CONNECTIONS OF 24" OR GREATER SHALL REQUIRE A MANHOLE CONNECTION AND CHANNEL DETAIL.
- PIPE CONNECTIONS OF FOUR OR MORE MAINLINES SHALL REQUIRE A MANHOLE CONNECTION AND CHANNEL DETAIL.
- PROVIDE A MINIMUM OF 8" OF INTACT (UNDISTURBED) MANHOLE WALL BETWEEN PIPE BREAKOUTS AS MEASURED ON THE INSIDE FACE OF THE MANHOLE.
- BREAKOUT OF WALL FOR PIPE SHALL BE 2" MINIMUM AND 4" MAXIMUM CLEAR OF PIPE WALL.
- THIS DETAIL LIMITED TO MAXIMUM INTERIOR DROP OF 12" FOR SANITARY CONNECTION AND 48" FOR STORM CONNECTION.
- WATERTIGHT/TAMPER PROOF MANHOLE FRAME AND COVER SHALL BE USED IN ALL EASEMENT AND OFF STREET AREAS. SEE CWS STANDARD DRAWING 130.
- ALL JOINTS AND RUBBER GASKETS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
- THE CITY RESERVES THE RIGHT TO REQUIRE COMPACTION TESTING OF THE BEDDING MATERIAL WHEN IT EXCEEDS THE 12-INCH BASE SECTION BENEATH THE MANHOLE.

**MANHOLE CONNECTIONS**

SCALE: NONE  
DATE: JUNE 2018

**331**

FILENAME: 331.dwg

**NOTES:**

- ALL PRE-CAST MANHOLE SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478 AND DRAWING 330.
- NON-FLEXIBLE PIPES SHALL HAVE A SHEAR JOINT WITHIN 18"-24" OF THE INSIDE WALL OF THE MANHOLE.

**SHALLOW MANHOLE CONE**

SCALE: NONE  
DATE: JUNE 2018

**336**

FILENAME: 336.dwg

**NOTES:**

- Manhole cone shall be manufactured by *Cascade Concrete Products Inc* or approved equal and conform to the requirements of ASTM C-478 and applicable provisions of drawing 330
- Reinforcing steel is grade 60. Steel area is 0.12 square inch per foot (D3 on 3 inch spacing), 2" clear of the external surface.
- All joints and rubber gaskets shall conform to the requirements of ASTM C-433.
- Concrete shall have a 28 day ultimate strength of 4000 psi.
- Lower section height varies and is to be determined by engineer.

**CWS FLOW CONTROL STRUCTURE WITH C.O.B. MODIFICATIONS**

SCALE: NONE  
DATE: JUNE 2018

**360**

FILENAME: 360.dwg

**NOTES:**

- BAFFLE WALL SHALL HAVE #4 BAR AT 12" SPACING EACH WAY.
- WATER TIGHT SEAL OF THE CONCRETE BAFFLE WALL AND MANHOLE WALL/FLOOR VIA INTEGRALLY CAST CONSTRUCTION BY THE MANHOLE MANUFACTURER OR EQUIVALENT.
- UPPER FLOW ORIFICE SHALL BE ALUMINUM ALUMINIZED STEEL OR TREATMENT 1 GALVANIZED STEEL.
- FRAME AND LADDER OR STEPS ARE TO BE OFFSET SO THAT SHEAR GATE IS VISIBLE FROM THE TOP. CLIMB-DOWN SPACE IS CLEAR OF RISER AND GATE. FRAME IS CLEAR OF CURB.
- MULTI-ORIFICE ELBOWS SHALL BE PRE-INSTALLED TO INSURE LADDER CLEARANCE.
- RESTRICTOR PLATE WITH ORIFICE AS SPECIFIED IN THE CONTRACT. OPENING IS TO BE CUT ROUND AND SMOOTH. NEOPRENE GASKET SHALL BE INSTALLED BETWEEN THE ORIFICE PLATE AND CONCRETE BAFFLE TO PROVIDE A WATER TIGHT SEAL.
- SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 26M AND ASTM B 275. DESIGNATION Z932A OR CAST IRON IN ACCORDANCE WITH ASTM A 48. CLASS 300. LIFT HANDLE MAY BE SOLID ROD OR HOLLOW TUBING WITH ADJUSTABLE HOOK AS REQUIRED. NEOPRENE RUBBER GASKET REQUIRED BETWEEN RISER MOUNTING FLANGE AND GATE FLANGE. MATING SURFACES OF LID AND BODY SHALL BE MACHINED FOR PROPER FIT. FLANGE MOUNTING BOLTS SHALL BE 1/2" DIAMETER STAINLESS STEEL.
- SHEAR GATE MAXIMUM OPENING SHALL BE CONTROLLED BY LIMITED HINGE MOVEMENT, STOP TAB OR SOME OTHER DEVICE.
- ALTERNATE SHEAR GATE DESIGNS ARE ACCEPTABLE, IF MATERIAL SPECIFICATIONS ARE MET AND FLANGE BOLT PATTERN MATCHES.
- MANHOLE CERTIFICATION REQUIRED FOR TRAFFIC LOADING.

**STREET BARRICADE - TYPE III AT WIDE TRANSITIONS**

SCALE: NONE  
DATE: JUNE 2018

**436**

FILENAME: 436.dwg

**NOTES:**

- Rolls shall be white and red encapsulated lens sheeting.
- Rolls shall be 2"x8" pressure treated lumber.
- See *Manual on Uniform Traffic Control Devices for Streets and Highways* and the *Oregon Supplement*.
- For wider applications, multiple sections as shown shall be used.
- The above barricade indicates that the traffic passes of the left of the device. If traffic is to pass to the right, the stripes angle must be reversed.

**TYPICAL WATER LINE TRENCH BACKFILL**

SCALE: NONE  
DATE: JUNE 2018

**620-1**

FILENAME: 620-1.dwg

**NOTES:**

- "A" = NOMINAL PIPE DIAMETER
- SEE "CITY OF BEAVERTON ENGINEERING DESIGN MANUAL" FOR ADDITIONAL REQUIREMENTS.
- RESTORE LANDSCAPE TO PRE-EXISTING CONDITIONS OR BETTER.

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226 - 3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**Preliminary**  
10/17/2022 10:55:01 AM  
EXP: 12/31/2023

PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision 6
6	03.02.2020 SD Revision 03.02.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
DETAILS

**C3.6**

SITE DEVELOPMENT PERMIT



BRANCH PIPE DIA (IN)	THRUST BLOCK BEARING AREA (MIN SF)	THRUST BLOCK CONCRETE (MIN CY)
4	1.3	0.05
6	2.8	0.10
8	5.0	0.18
10	11.3	0.42
12	20.1	0.75
18	26.0	0.97

**KEYNOTES:**

- CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH. THRUST BLOCK SIZE SHALL BE PER TABLE 1 AND SHALL NOT BE LESS THAN ONE FOOT IN ANY DIMENSION. CONCRETE SHALL BE CLASS 3000.
- COVER TAPPING SLEEVE WITH 8 MIL PLASTIC MATERIAL AS SHOWN PRIOR TO POURING THRUST BLOCK AND BACKFILLING.
- STAINLESS STEEL TAPPING SLEEVE WITH GASKET AND FLANGED CONNECTION.
- GATE VALVES 10" AND LARGER WITH LESS THAN 24" BETWEEN THE OPERATING NUT AND FINISHED GRADE WILL REQUIRE A HORIZONTAL BEVEL GEAR ACTUATOR.
- ALL JOINTS ON BRANCH PIPE SHALL BE RESTRAINED.

**NOTES: (TAPPING CONTRACTOR ONLY)**

- BEFORE INSTALLING TAPPING SLEEVE, CONTRACTOR SHALL THOROUGHLY CLEAN PIPE TO REMOVE ALL DIRT, ROCKS, AND OTHER FOREIGN MATERIAL FROM PIPE WHERE SLEEVE WILL BE INSTALLED.
- SLEEVE BOLTS SHALL BE TIGHTENED TO MANUFACTURER'S TORQUE SPECIFICATIONS.
- CONTRACTOR SHALL ENSURE THAT GASKET IS PROPERLY ALIGNED AND FREE OF FOREIGN MATERIAL PRIOR TO TIGHTENING SLEEVE BOLTS.
- SLEEVE LOCATION AND INSTALLATION SHALL BE APPROVED BY WATER OPERATIONS INSPECTOR PRIOR TO TAPPING.
- CONTRACTOR SHALL AIR TEST SLEEVE TO 40 PSI PRIOR TO TAPPING.
- CONTRACTOR SHALL FLUSH VALVE PRIOR TO PIPE CONNECTION.
- EDGE OF TAPPING SLEEVE SHALL BE A MINIMUM OF 18" FROM BEND OR JOINT

**Beaverton ENGINEERING** | **TAPPING SLEEVE** | SCALE: NONE | DATE: JUNE 2018 | **630-2**

**KEYNOTES:**

- 2" X 12" GALVANIZED PIPE NIPPLE
- MJ RESTRAINED JOINT W/ MEGALUG, CAP TAPPED 2" IP THREAD
- 2" GALVANIZED NIPPLE (LENGTH WILL VARY)
- 2" FIPT 90° GALVANIZED ELBOW
- PIPE BEDDING AND BACKFILL MATERIAL PER DRAWING 620-1
- 2" FIPT X CTS ADAPTOR W/ 2" MIPT BRASS PLUG (HAND TIGHT)

**NOTES:**

- THIS DETAIL APPLICABLE TO DEAD END LINES SERVING CUSTOMERS WHICH MAY/WILL BE EXTENDED IN THE FUTURE.
- INSTALL GATE VALVE SIZED AT FULL PIPE DIAMETER WHERE SHOWN.

**Beaverton ENGINEERING** | **2" BLOW-OFF ASSEMBLY FOR FUTURE EXTENSION** | SCALE: NONE | DATE: JUNE 2018 | **630-4**

FITTING SIZE	BEARING AREA OF THRUST BLOCKS IN SQ FT					VOLUME OF THRUST BLOCK IN CU YDS (VERTICAL)			
	TEE	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND	FITTING SIZE	BEND ANGLE		
4	1.3	1.8	1.0	1.0	1.0	4	45°	22.5°	11.25°
6	2.8	4.0	2.2	1.1	1.0	6	2.7	1.0	0.4
8	5.0	7.1	3.8	2.0	1.0	8	4.0	1.5	0.6
12	11.3	16.0	8.7	4.4	2.2	12	8.5	3.2	1.3
16	20.1	28.4	15.4	7.8	3.9	16	14.8	5.6	2.3
20	31.1	44.4	24.0	12.3	6.2				
24	45.2	64.0	34.6	17.7	8.9				

VALUES BASED ON 200 PSI WATER PRESSURE AND 2000 PSF SOIL BEARING CAPACITY

**Beaverton ENGINEERING** | **THRUST BLOCKS** | SCALE: NONE | DATE: JUNE 2018 | **630-9**

**KEYNOTES:**

- OLYMPIC FOUNDRY VB910 VALVE BOX & COVER WITH "WATER" CAST IN THE TOP SURFACE.
- UNPAVED AREAS ONLY: PROVIDE 24" SQUARE BY 5/8" THICK CONCRETE PAD CENTERED ON VALVE BOX. INSTALL OVER 4" COMPACTED 3/4"-0" CRUSHED ROCK.
- 6" SCH 40 OR D3034 PVC PIPE RISER WITH END CUT TO FIT OVER VALVE HOUSING, LENGTH AS NECESSARY.
- MJ GATE VALVE (BUTTERFLY VALVE SIMILAR, NOT SHOWN)

**NOTES:**

- CENTER VALVE BOX ON AXIS OF OPERATING NUT AND SET PLUMB WITH FINISHED GRADE.
- OPERATOR EXTENSION REQUIRED WHEN VALVE NUT IS DEEPER THAN 6 FEET FROM FINISHED GRADE. REFER TO DRAWING 640-4

**Beaverton ENGINEERING** | **TYPICAL STANDARD VALVE BOX SETTING** | SCALE: NONE | DATE: JUNE 2018 | **640-2**

**NOTES:**

- THE FOLLOWING ITEMS ARE PROHIBITED WITHIN THE CLEAR ZONE:
  - VEHICLE PARKING
  - FENCES
  - TREES
  - LARGE SHRUBS
  - RETAINING WALLS
  - STREET LIGHTS
  - SIGNS & SIGN POSTS
  - ANYTHING ELSE THAT MAY INTERFERE WITH THE OPERATION OF THE HYDRANT
- THE FOLLOWING ITEMS ARE ALLOWED WITHIN THE CLEAR ZONE:
  - LAWN GRASS
  - MULCH
  - BARKDUST
  - GROUND COVER
  - LOW PLANTINGS

**Beaverton ENGINEERING** | **FIRE HYDRANT CLEAR ZONE** | SCALE: NONE | DATE: JUNE 2018 | **650-1**

**KEYNOTES:**

- APPROVED FIRE HYDRANT ASSEMBLY PER MANUFACTURER'S SPECIFICATIONS WITH STORZ HPHAS0-45NH PERMANENT HYDRANT ADAPTER ON THE 4 1/2" PORT.
- DRAIN ROCK, 4 CU. FT. MINIMUM
- TYPICAL 6" MEGALUG RETAINER OR EQUAL AT EACH PIPE FITTING
- 12"x12"x8" CONCRETE PIER BLOCK PLACED ON UNDISTURBED NATIVE SOIL
- 6" MxMJ GATE VALVE.
- WATER MAIN SIZE MJ X 6" MJ TAPPING SLEEVE, SEE DRAWING 630-2, SEE NOTE 4
- CONCRETE THRUST BLOCK, SEE DRAWING 630-9
- VALVE BOX, SEE DRAWING 640-2

**NOTES:**

- REFER TO DRAWING 650-1 FOR HYDRANT CLEAR ZONE REQUIREMENTS
- HYDRANT BURY DEPTH - 30" MIN., 6" MAX.
- WHEN FINAL LIFT OF HMA/C IS PLACED, CONTRACTOR TO SET A BLUE REFLECTOR BUTTON FOR THE FIRE DEPARTMENT. SEE DRAWING 650-4 FOR PLACEMENT
- USE MJ OR FLG VALVE & TEE AS NEEDED TO PLACE VALVE BOX OUTSIDE OF WHEEL PATH.

**Beaverton ENGINEERING** | **FIRE HYDRANT ASSEMBLY INSTALLATION** | SCALE: NONE | DATE: JUNE 2018 | **650-2**

**NOTES:**

- IF HYDRANT IS LOCATED WITHIN THE RADIUS OF AN INTERSECTION, PLACE A MARKER ON EACH ROADWAY IN THE CENTER LANES CLOSEST TO THE HYDRANT.
- PLACE MARKER PERPENDICULAR (90°) TO HYDRANT
- CONTRACTOR TO SUPPLY BLUE REFLECTORS. CONTRACTOR SHALL SUPPLY MELT DOWN THERMOPLASTIC PADS IF 10 OR MORE ARE REQUIRED. WATER OPERATIONS SHALL SUPPLY IF FEWER THAN 10 ARE REQUIRED.

**Beaverton ENGINEERING** | **TYPICAL HYDRANT MARKER LOCATIONS** | SCALE: NONE | DATE: JUNE 2018 | **650-4**

**NOTE:**

- EXCAVATE A HOLE LARGE ENOUGH TO ACCESS CORP
- TURN CORP OFF
- SEVER COPPER AWAY FROM CORP STOP
- REMOVE CORP STOP FROM MAIN AND INSTALL TAPERED BRASS PLUG
- BACKFILL WITH 3/4 MINUS GRANULAR ROCK, FULL TRENCH DEPTH
- ABANDONMENT TO BE DONE WITH THE WATER DEPT. INSPECTOR PRESENT

**Beaverton ENGINEERING** | **SERVICE ABANDONMENT** | SCALE: NONE | DATE: JUNE 2018 | **660-1**

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**PRELIMINARY**  
10/17/2022 10:55:01 AM  
EXP: 12/31/2023

PROJECT  
**5051 SW WESTERN AVE.**  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
18555 SW TETON AVENUE  
TUALATIN OR 97062

**REVISIONS**

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
**07.15.2022**  
**LU REV SUBMITTAL**

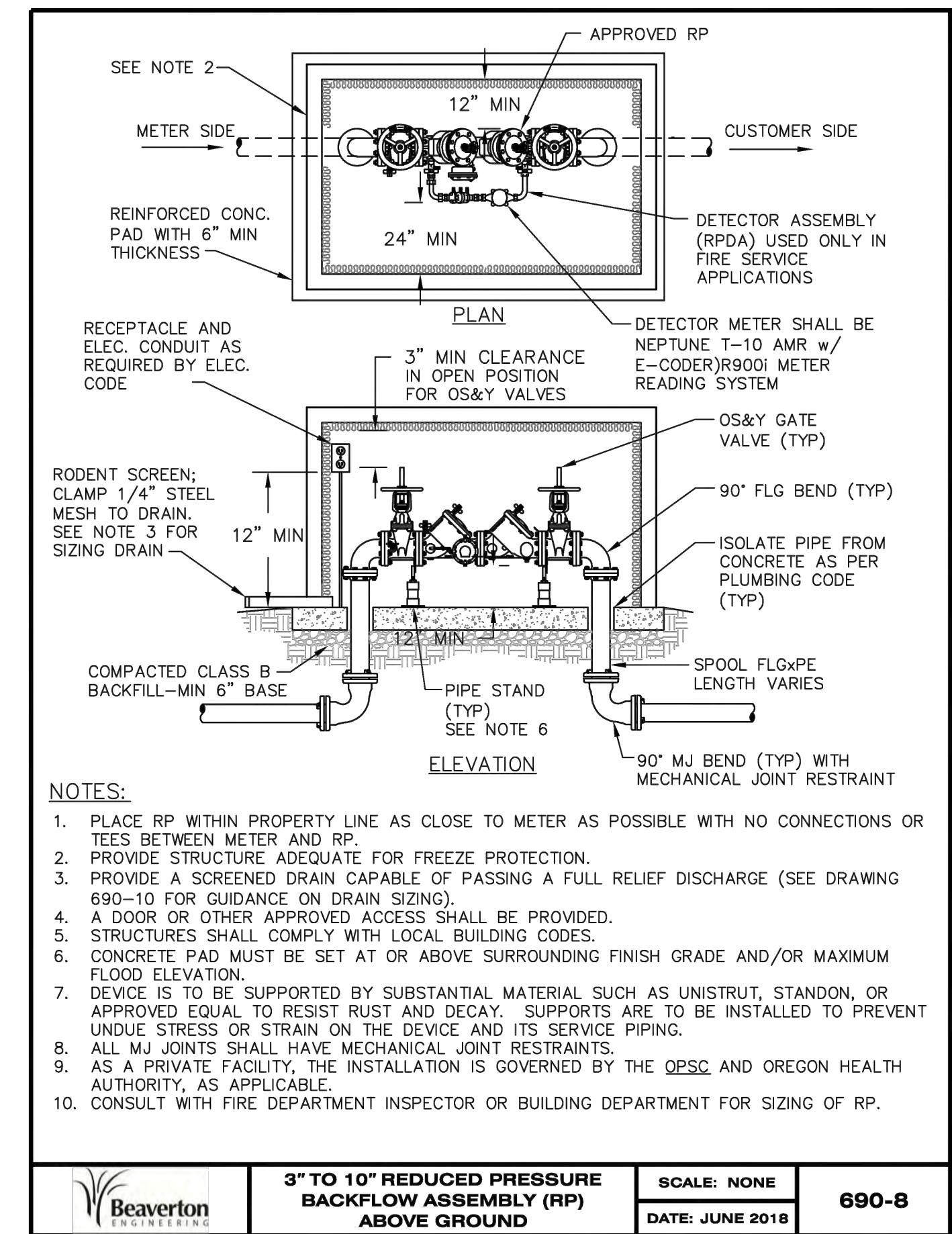
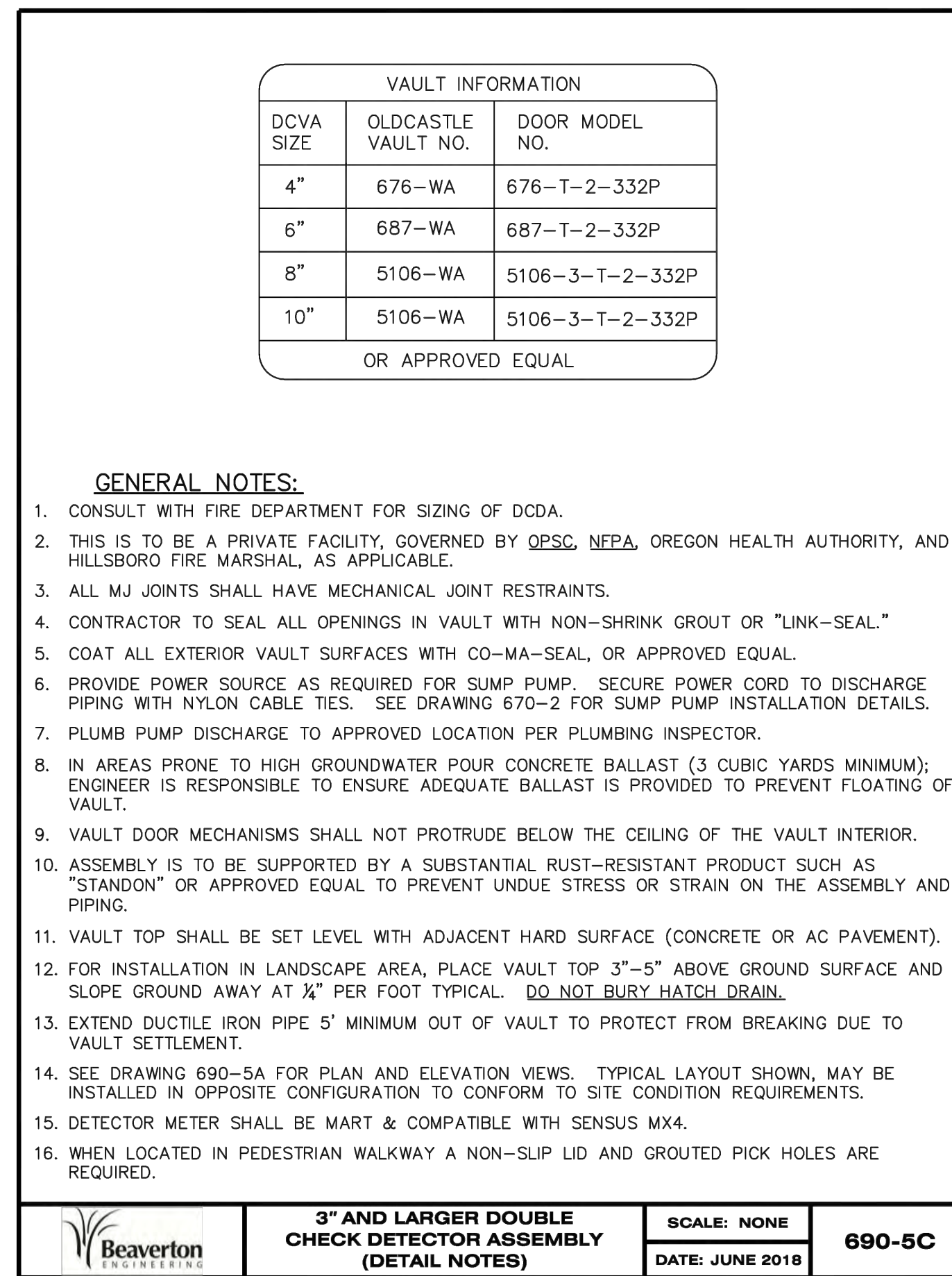
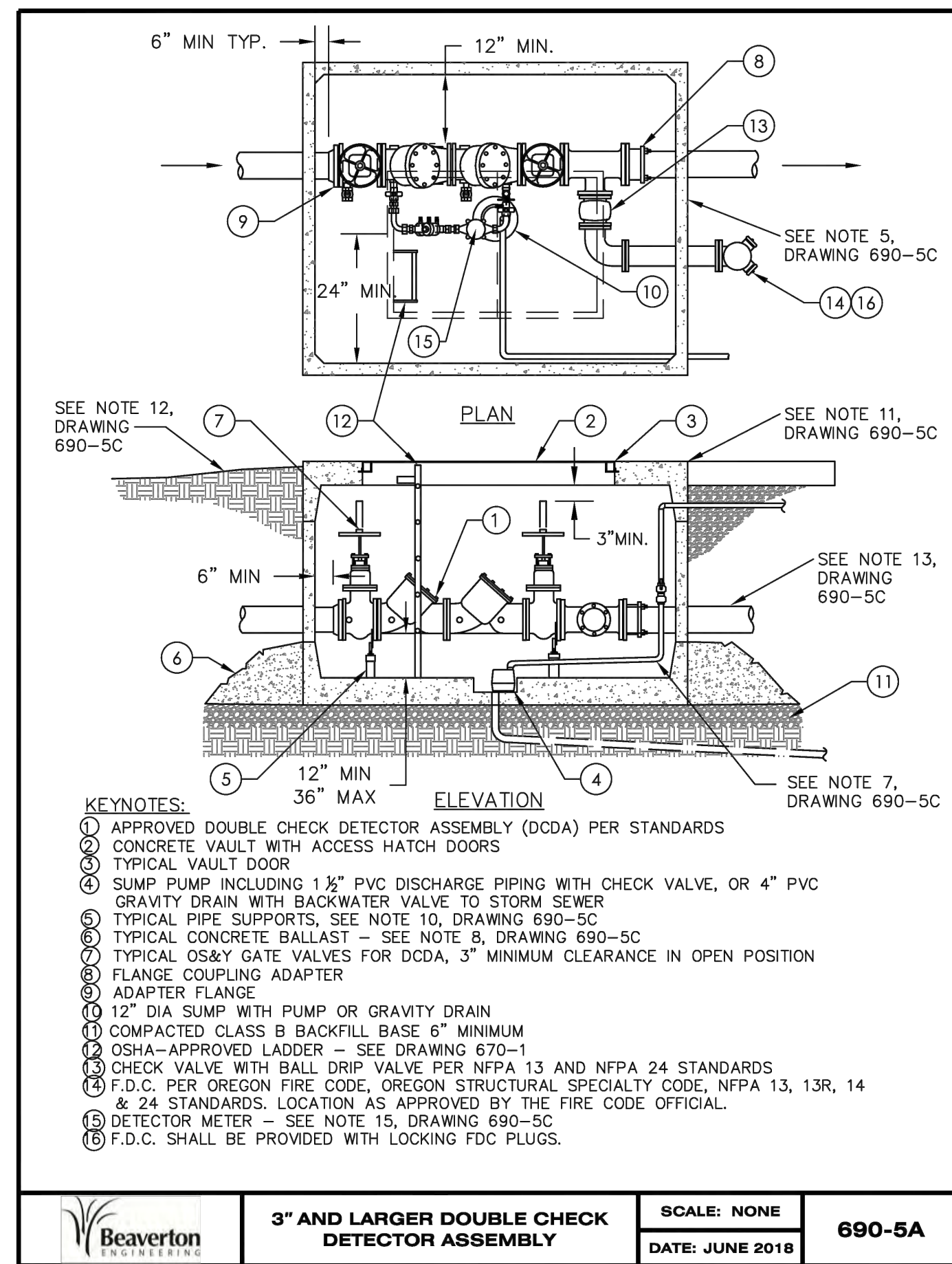
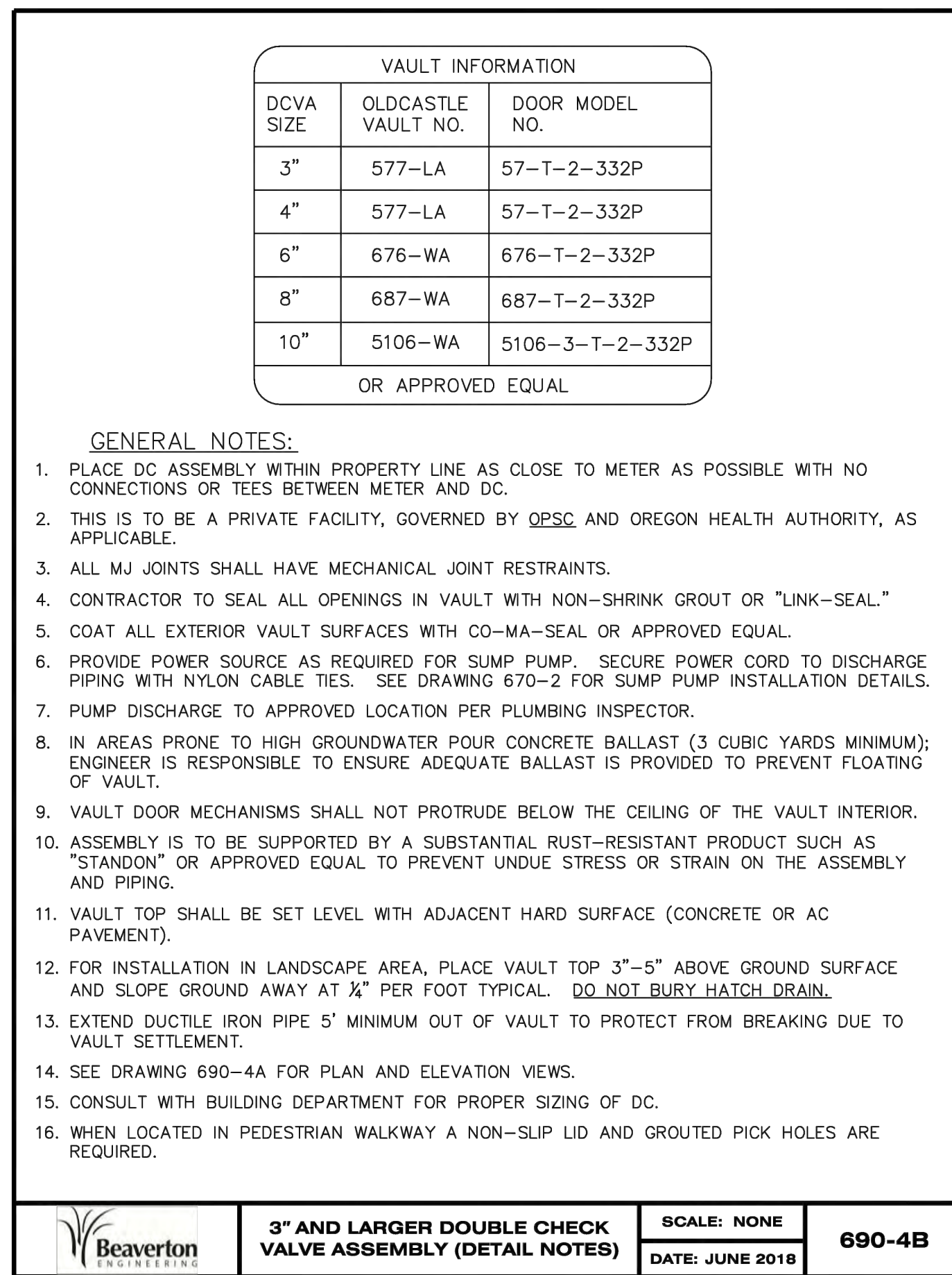
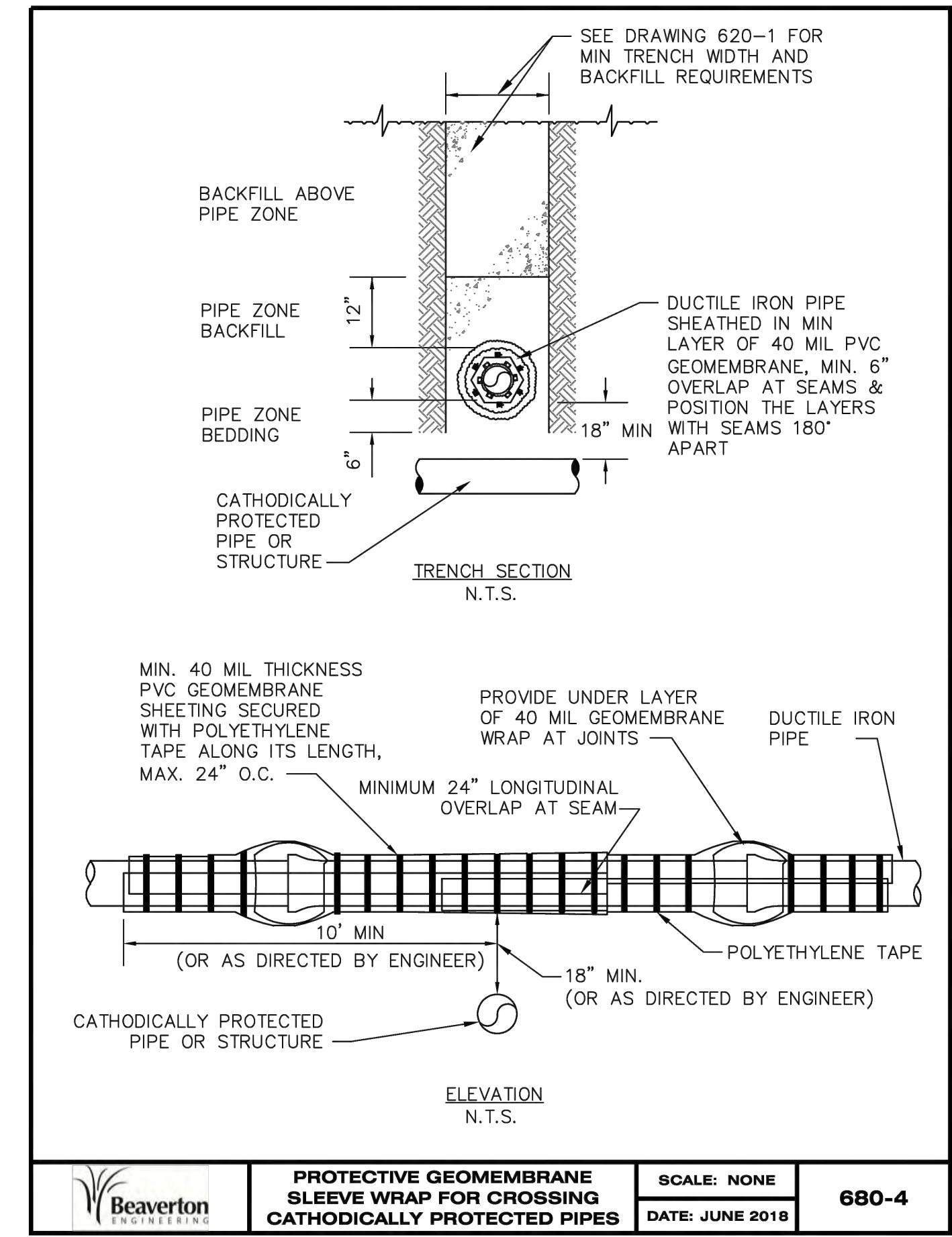
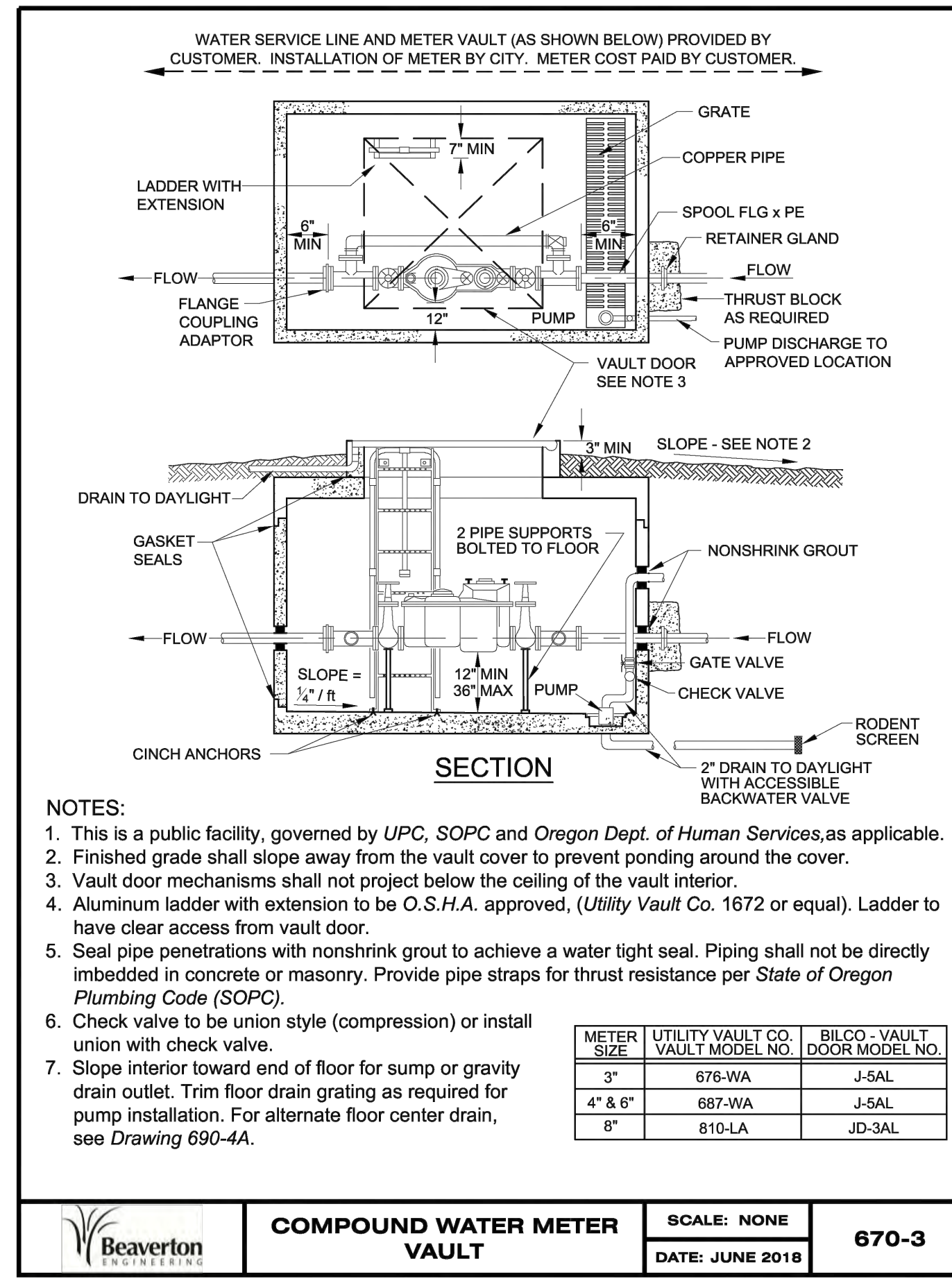
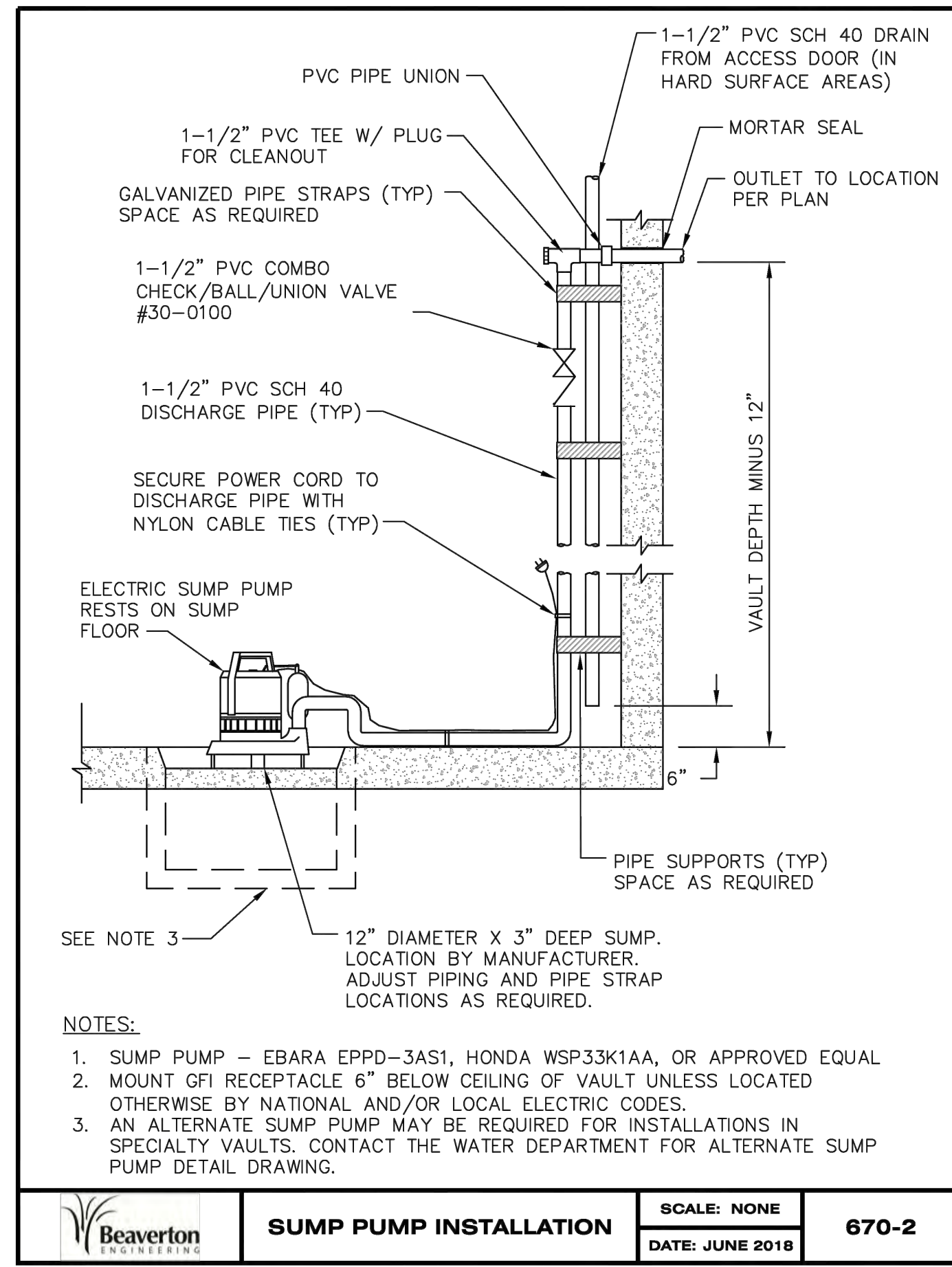
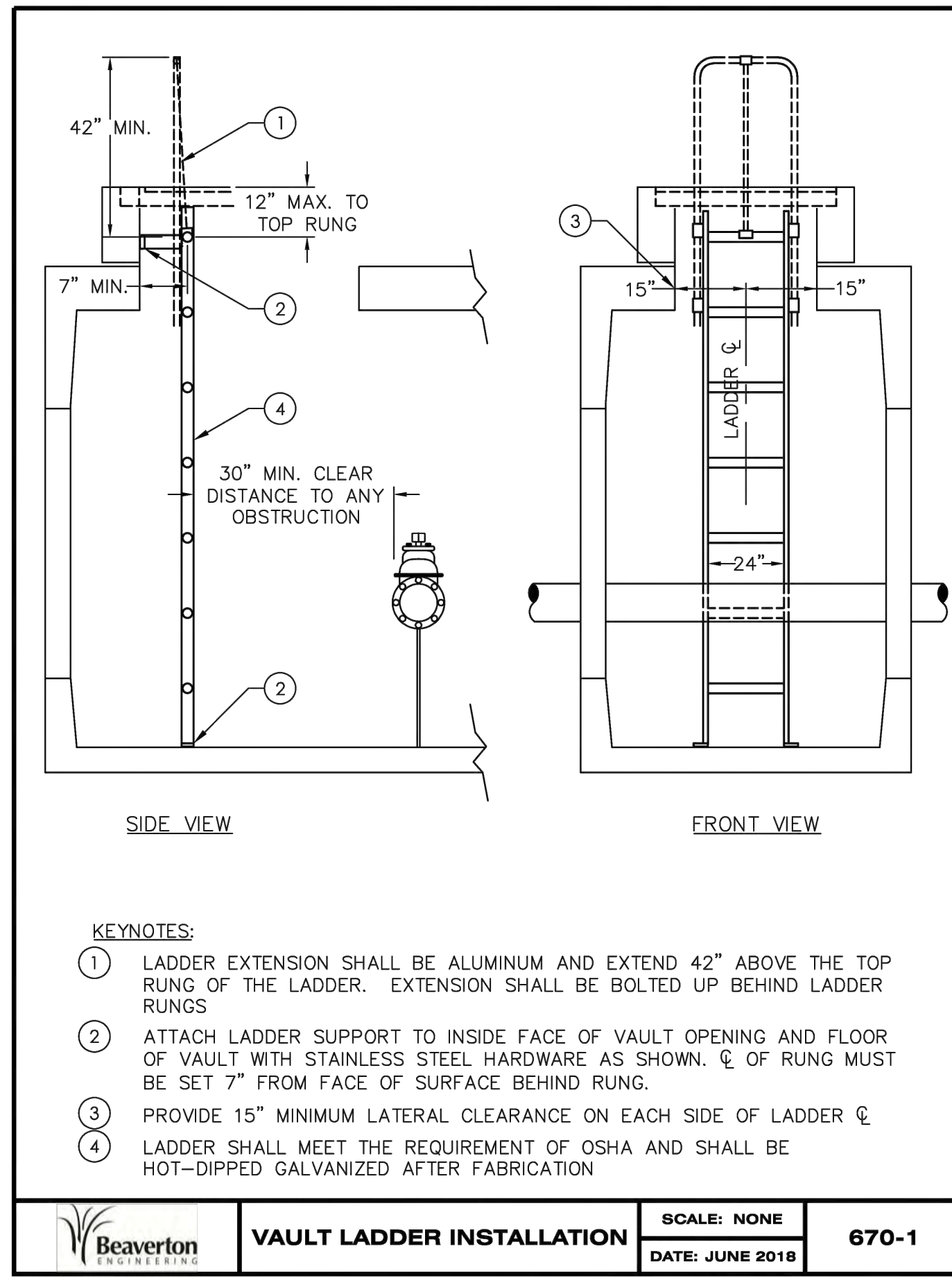
TMR PROJECT NUMBER  
**18207**

SCALE  
**AS INDICATED ON PLAN**

SHEET TITLE  
**DETAILS**

**C3.7**





SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**Preliminary**  
10/17/2022 8:00:55 AM  
EXP: 12/31/2023

PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
DETAILS

C3.8

SITE DEVELOPMENT PERMIT



**3" TO 10" REDUCED PRESSURE BACKFLOW ASSEMBLY (RP) IN BERM**

SCALE: NONE  
DATE: JUNE 2018  
690-9

FILENAME: 690-9.dwg

PIPE SIZE	FLOW (GPM)
2.5"	105
3"	262
4"	1620

**REDUCED PRESSURE BACKFLOW ASSEMBLY (RP) DISCHARGE RATES**

SCALE: NONE  
DATE: JUNE 2018  
690-10

FILENAME: 690-10.dwg

**OREGON STANDARD DRAWINGS**

**PAVEMENT MARKING STANDARD DETAIL BLOCKS**

Effective Date: December 01, 2019 - May 31, 2020  
TM500

**MANHOLE STEP**

REVISD 12-16

CleanWater Services

DRAWING NO. 100

**SUBURBAN AND STANDARD MANHOLE FRAME AND COVER SANITARY**

REVISD 02-17

CleanWater Services

DRAWING NO. 110

**STORM WATER MANHOLE LID**

REVISD 12-06

CleanWater Services

DRAWING NO. 120

**CONCRETE MANHOLE CLOSURE COLLAR**

REVISD 12-06

CleanWater Services

DRAWING NO. 140

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**Preliminary**  
10/17/2022 10:55:02 AM  
EXP: 12/31/2023

PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS  
1 10.09.2019 Site Develop. Permit Rev 1  
1 10.25.2019 Plumbing Permit Rev 1  
2 11.12.2019 Site Develop. Permit Rev 2  
3 11.15.2019 1200C Resubmittal  
3 11.26.2019 Site Develop. Permit Rev 3  
4 12.04.2019 Site Develop. Permit Rev 4  
5 01.21.2020 SD Revision  
6 03.02.2020 SD Revision  
7 10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

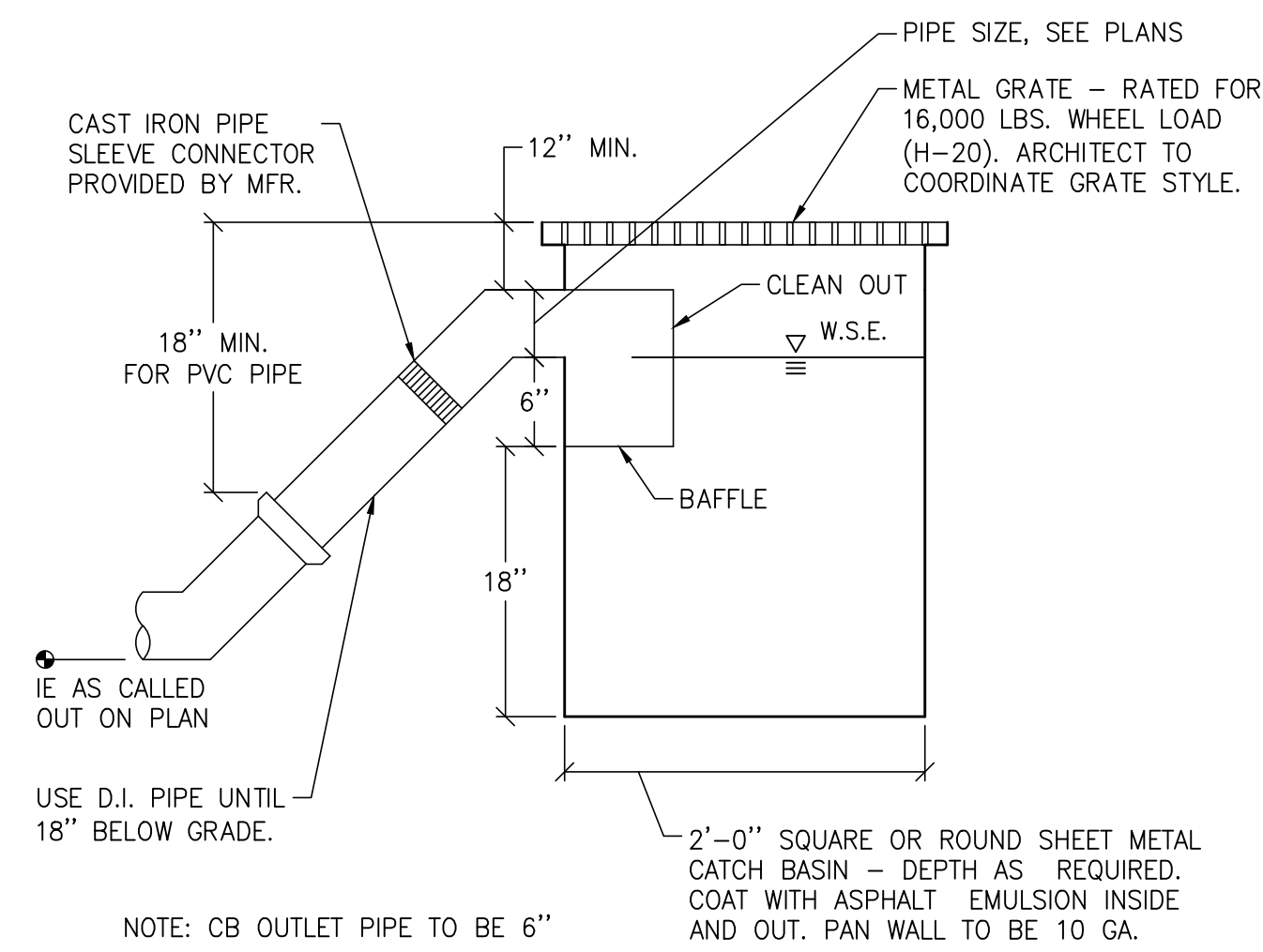
TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

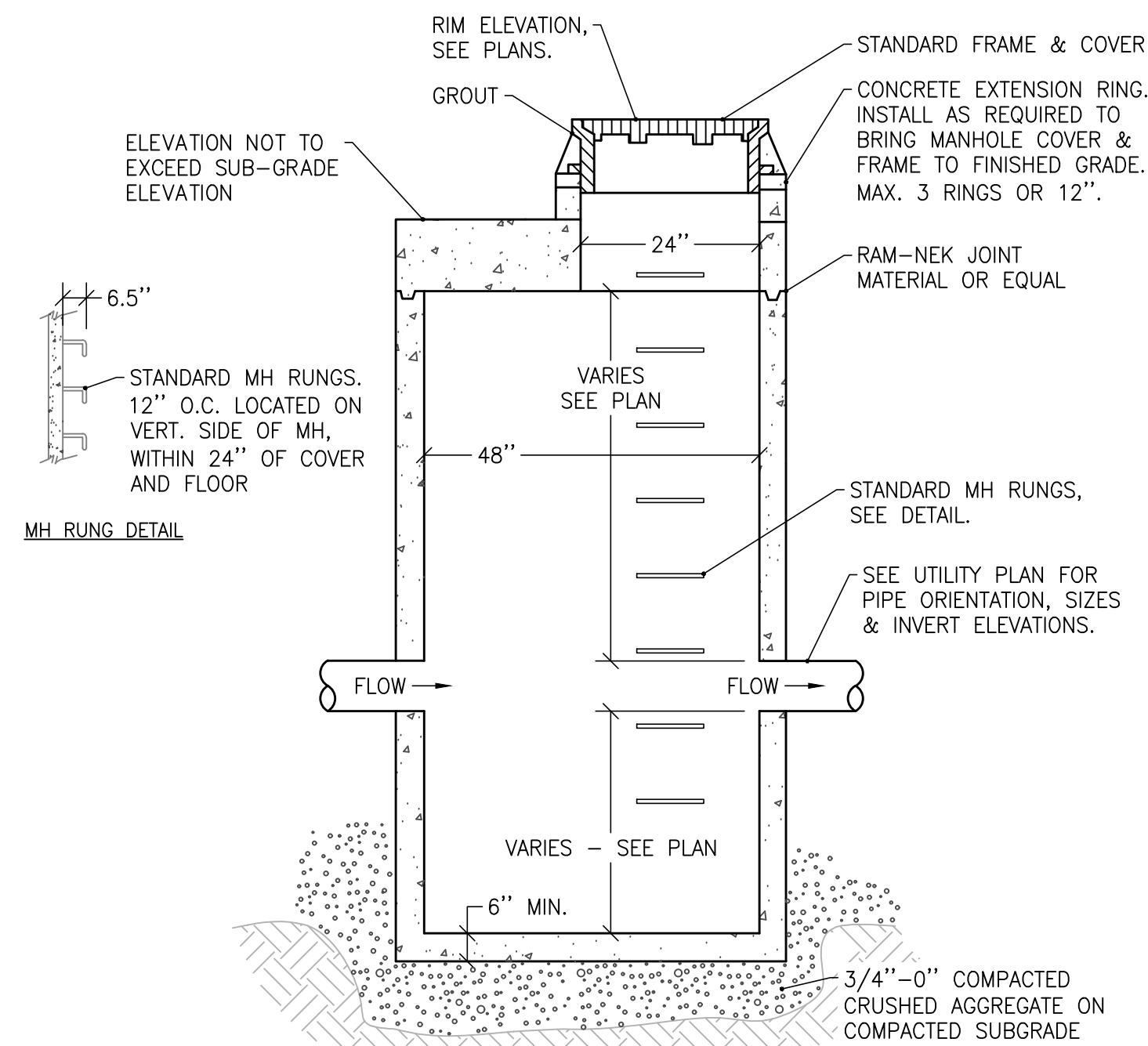
SHEET TITLE  
DETAILS

**C3.9**



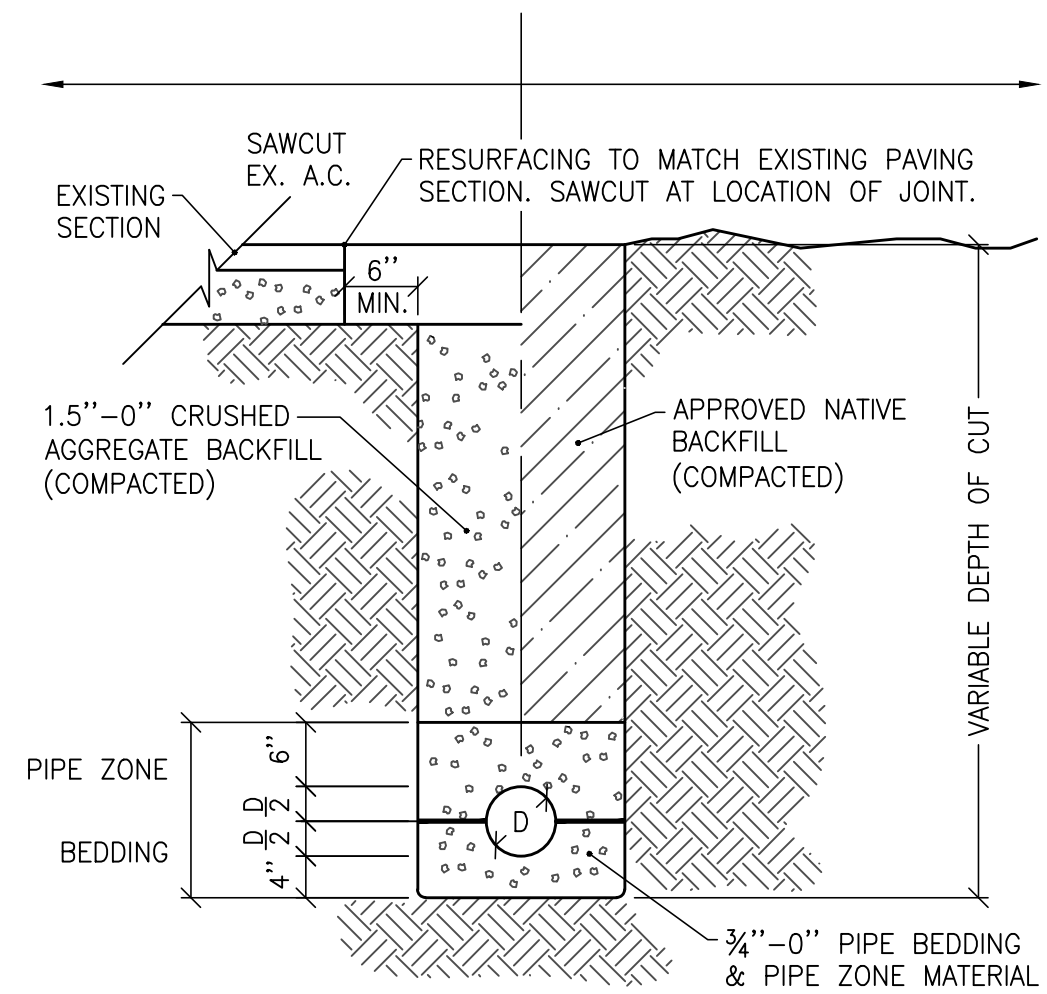


**1** CATCH BASIN DETAIL (PRIVATE ON-SITE CONSTRUCTION ONLY)  
NOT TO SCALE



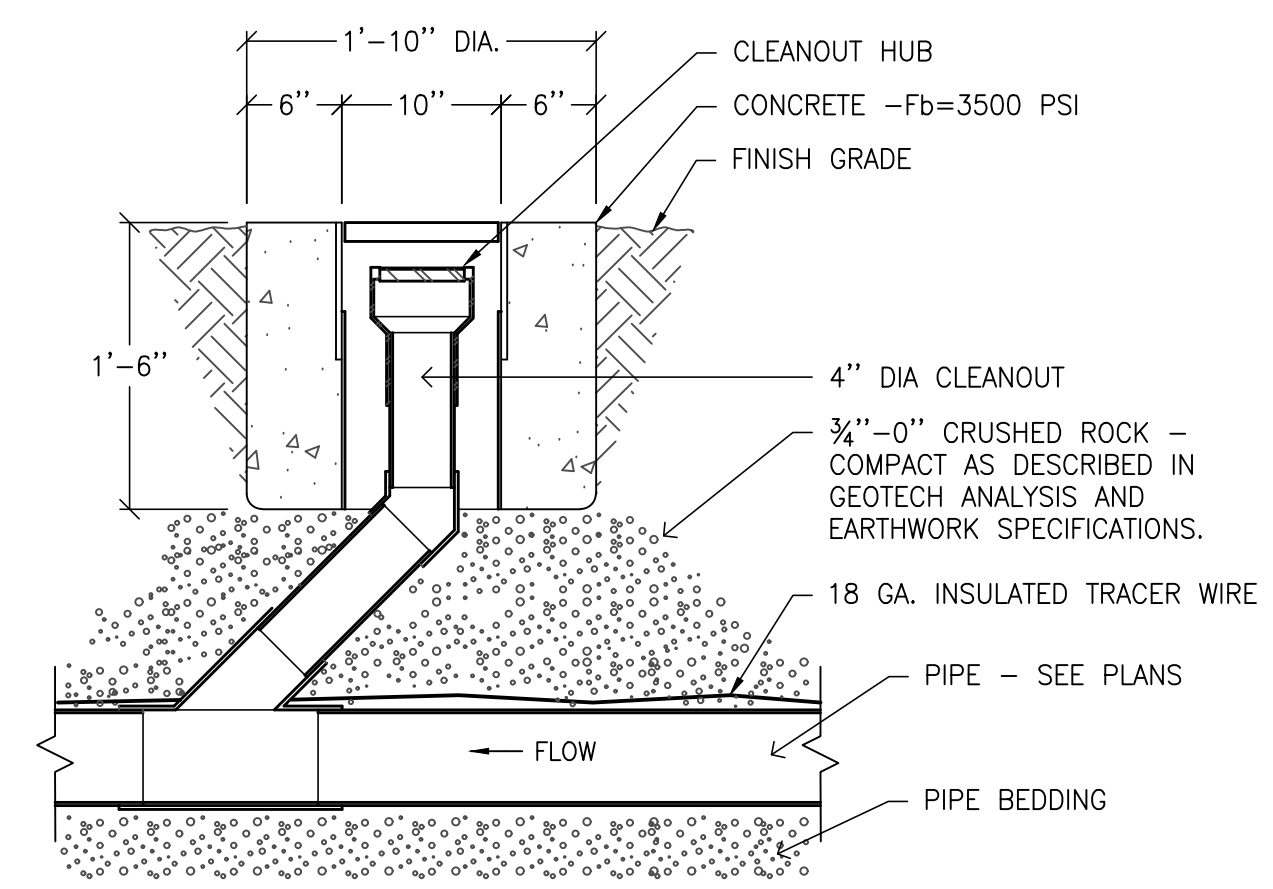
- NOTES:
1. MANHOLE TO CONFORM WITH ASTM C-478, ASTM C-94, AND ASTM C-14.
  2. ALL REINFORCEMENT SHALL BE GRADE 60.
  3. ALL CONCRETE SHALL HAVE A 28 DAY ULTIMATE STRENGTH OF 4000 PSI.
  4. STANDARD PRECAST BASE SLAB.
  5. ALL PIPES ENTERING OR EXITING SHALL BE WATER TIGHT. WITH MANUFACTURER'S SAND COLLAR COMPATIBLE WITH PRECAST MANHOLE.
  6. 12" MINIMUM BETWEEN PIPE ACCESS HOLES INTO MANHOLE. DISTANCE MEASURED AT OUTSIDE OF MANHOLE OR PER MANUFACTURER'S RECOMMENDATION.
  7. PIPE ACCESSES INTO MANHOLES SHALL BE PRE-FORMED OR CORE DRILLED. HOLE SIZE TO EQUAL PIPE O.D. PLUS MANHOLE WALL THICKNESS.
  8. PROVIDE FLEXIBLE PIPE CONNECTION ONE TO THREE FEET FROM ALL PRIVATE STORM AND SANITARY MANHOLES AND VAULTS, PER OPSC 1101.4 AND 719.6.

**4** 48" STORM ACCESS MANHOLE DETAIL (PRIVATE ON-SITE CONSTRUCTION ONLY)  
NOT TO SCALE

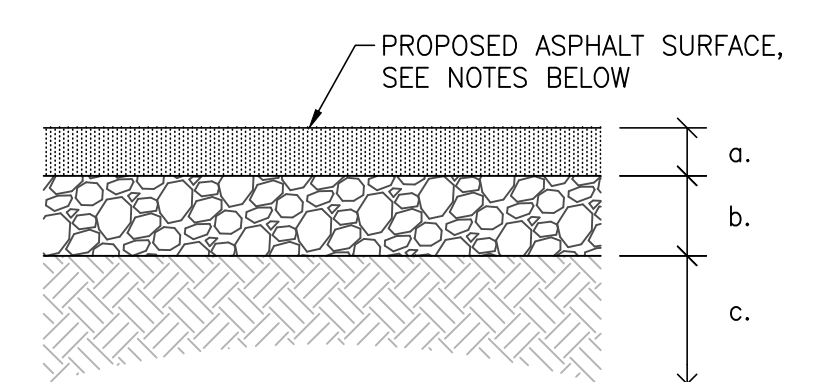


- NOTES:
1. VERIFY ALL REQUIREMENTS W/ JURISDICTION PRIOR TO START OF CONSTRUCTION.
  2. SEE GEOTECHNICAL ANALYSIS AND EARTHWORK SPECIFICATIONS FOR COMPACTION REQUIREMENTS.
  3. SEE CITY OF BEAVERTON DETAIL 620-1 ON C3.6 FOR ON-SITE PUBLIC WATER MAIN.

**2** TRENCH BACKFILL DETAIL (PRIVATE ON-SITE CONSTRUCTION ONLY)  
NOT TO SCALE

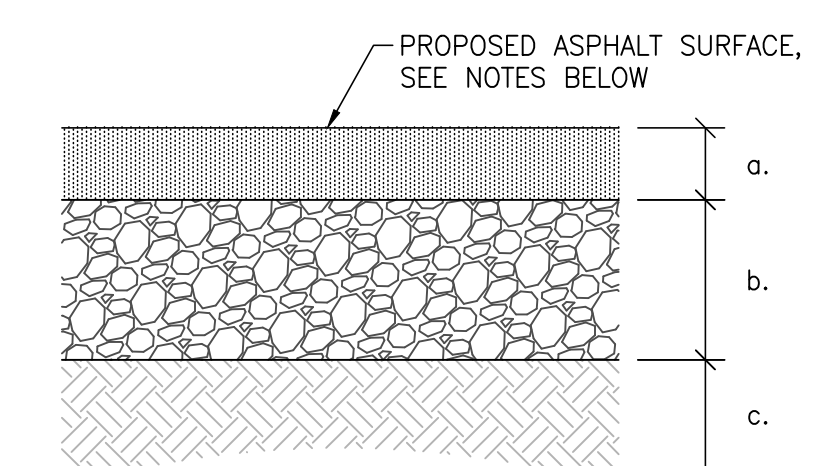


**3** TYPICAL CLEANOUT SECTION (PRIVATE ON-SITE CONSTRUCTION ONLY)  
NOT TO SCALE



- NOTES:
1. SEE PROJECT GEOTECHNICAL ANALYSIS PREPARED BY GEOTECH SOLUTIONS, INC., DATED JUNE 2018 FOR EXCAVATION, FILL, PAVING, AND COMPACTION REQUIREMENTS.
    - a. 3" OF ASPHALT CONCRETE
    - b. 6" OF 1" TO 0" COMPACTED CRUSHED AGGREGATE
    - c. COMPACTED SUBGRADE

**5** AUTO AREAS PAVING SECTION (PRIVATE ON-SITE CONSTRUCTION ONLY)  
NOT TO SCALE



- NOTES:
1. SEE PROJECT GEOTECHNICAL ANALYSIS PREPARED BY GEOTECH SOLUTIONS, INC., DATED JUNE 2018 FOR EXCAVATION, FILL, PAVING, AND COMPACTION REQUIREMENTS.
    - a. 4.5" OF ASPHALT CONCRETE
    - b. 10" OF 1" TO 0" COMPACTED CRUSHED AGGREGATE
    - c. COMPACTED SUBGRADE

**6** TRUCK ASPHALT PAVING SECTION (PRIVATE ON-SITE CONSTRUCTION ONLY)  
NOT TO SCALE

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

PROFESSIONAL ENGINEER  
10/17/2022 10:55:02 AM  
EXP: 12/31/2023

PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

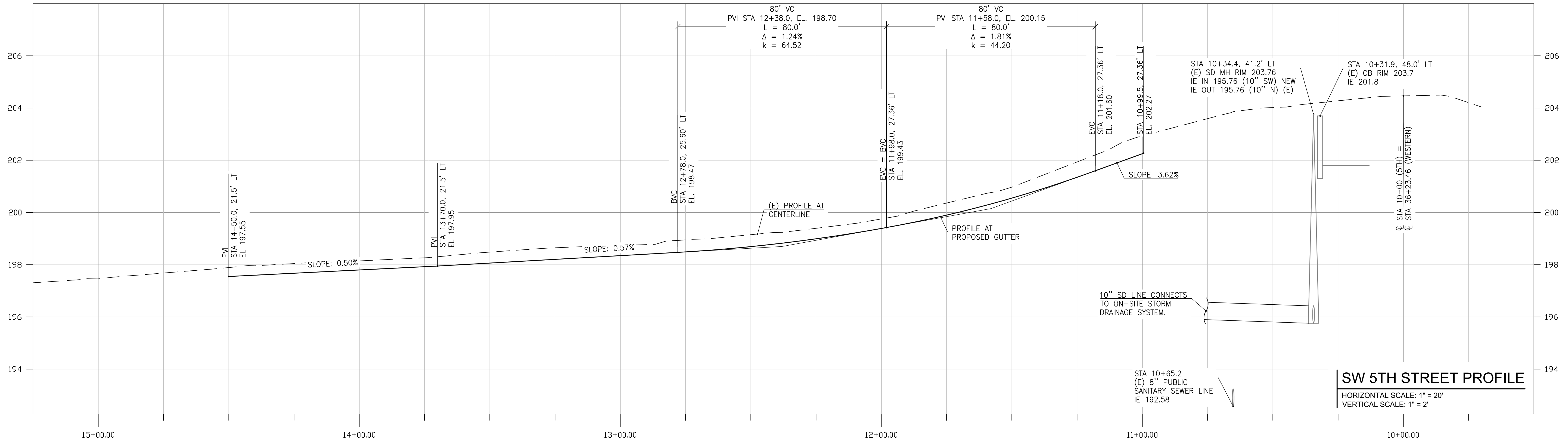
SCALE  
AS INDICATED ON PLAN

SHEET TITLE  
DETAILS

**C3**

SITE DEVELOPMENT PERMIT





SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**REGISTERED PROFESSIONAL ENGINEER**  
 800589  
*Chris J. Desjardins*  
 OREGON  
 JUNE 7, 2013  
 CHRIS J. DESJARDINS

EXP: 12/31/23

PROJECT  
 5051 SW WESTERN AVENUE  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.29.2022 LU Revision 1

DATE

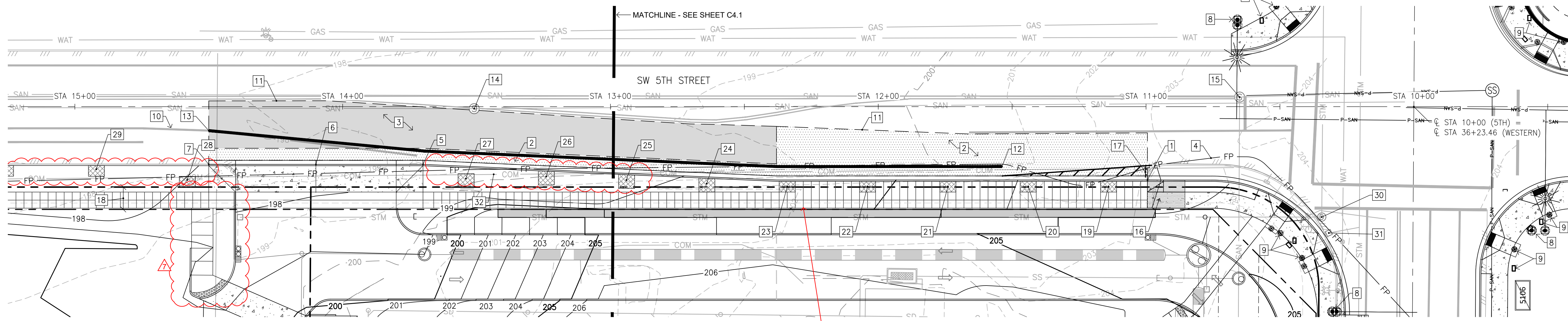
07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

SHEET TITLE  
 SW 5TH STREET  
 PUBLIC IMPROVEMENT  
 PLAN AND PROFILE  
**C4**

SITE DEVELOPMENT PERMIT



**KEY NOTES**

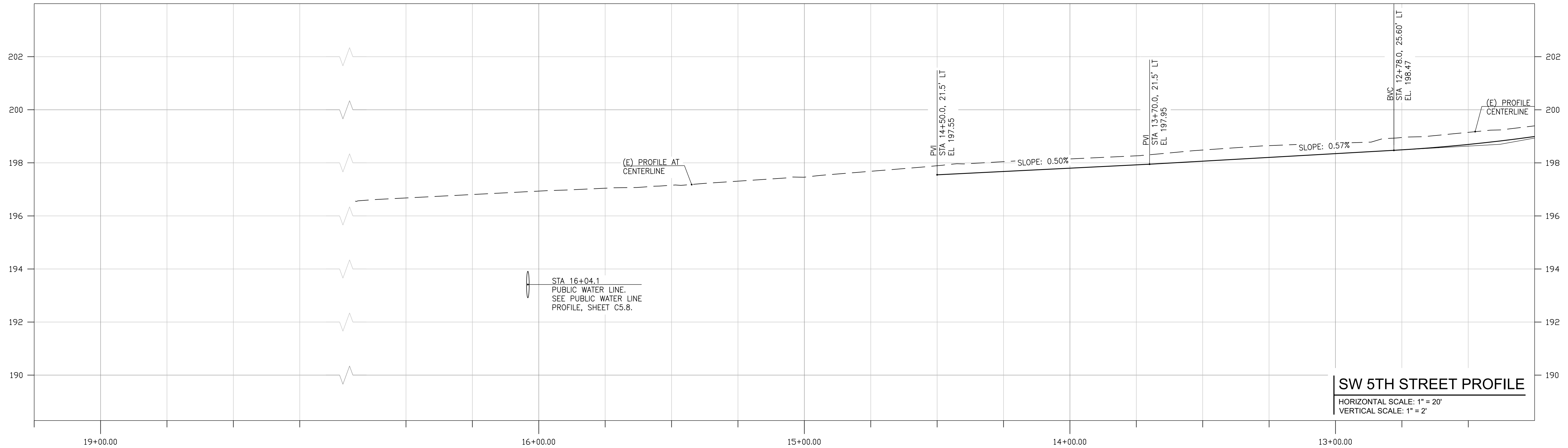
- |  |   |   |
|--|---|---|
| <p>1. STA 10+99.5, 27.36' LT BEGIN (E) CURB/ASPHALT REMOVAL AND NEW CURB/GUTTER &amp; CURB-TIGHT SIDEWALK CONSTRUCTION.</p> <p>2. (E) BASE ROCK &amp; PAVEMENT REMOVAL AND REPLACEMENT. SEE DETAIL 1/C2.1.</p> <p>3. MILL (E) PAVING AND OVERLAY WITH NEW PAVING. SEE DETAIL 1/C2.1.</p> <p>4. 100-YR FLOOD PLAIN BASED ON FEMA NATIONAL FLOOD HAZARD LAYER FIRMETTE 41067 C 0531 E (NGVD 29). ELEVATION VARIES.</p> <p>5. STA 13+70.0, 21.5' LT CONTINUE (E) CURB REMOVAL. END HORIZONTAL TAPER AND CURB/GUTTER &amp; SIDEWALK CONSTRUCTION. BEGIN DRIVEWAY CONSTRUCTION.</p> <p>6. STA 14+10.0, 21.5' LT CENTERLINE OF 60' COMMERCIAL DRIVEWAY</p> <p>7. STA 14+50.0, 21.5' LT END (E) CURB REMOVAL AND DRIVEWAY CONSTRUCTION. BEGIN CURB-TIGHT SIDEWALK CONSTRUCTION.</p> <p>8. NEW TRAFFIC SIGNAL POLE, BY OTHERS</p> <p>9. NEW PEDESTRIAN SIGNAL POLE &amp; JUNCTION BOX, BY OTHERS</p> <p>10. (E) STRIPE TO REMAIN</p> | <p>11. SAWCUT LINE, TYP.</p> <p>12. STA 11+53.8, 22.3' LT BEGIN NEW 8"-WIDE BIKE LANE STRIPE. SEE DETAIL "W-2" ON ODOT STD. DWG. TM500 ON C3.9.</p> <p>13. STA 14+50.0, 8.9' LT END NEW 8"-WIDE BIKE LANE STRIPE. SEE DETAIL "W-2" ON ODOT STD. DWG. TM500 ON C3.9.</p> <p>14. STA 13+50.9, 1.0' LT (E) SSMH, RIM 198.47 IE = 190.3 (18" E/W)</p> <p>15. STA 10+65.1, 3.6' RT (E) SSMH, RIM 203.89 IE = 192.0 (18" E/W)</p> <p>16. ASPHALT TRANSITION FROM NEW SIDEWALK TO (E) SIDEWALK.</p> <p>17. STA 11+00.5, 24.4' LT INSTALL NEW 4'-0" WIDE BARRICADE. SEE CITY OF BEAVERTON DETAIL 436 ON SHEET C3.6.</p> <p>18. 8.36' RIGHT OF WAY DEDICATION TO THE CITY OF BEAVERTON.</p> <p>19. STA 11+14.0, 29.9' LT 4'x6' STREET TREE WELL. SEE LANDSCAPE PLANS.</p> <p>20. STA 11+44.0, 29.9' LT 4'x6' STREET TREE WELL. SEE LANDSCAPE PLANS</p> | <p>21. STA 11+74.0, 29.9' LT 4'x6' STREET TREE WELL. SEE LANDSCAPE PLANS</p> <p>22. STA 12+04.0, 29.9' LT 4'x6' STREET TREE WELL. SEE LANDSCAPE PLANS</p> <p>23. STA 12+34.0, 29.9' LT 4'x6' STREET TREE WELL. SEE LANDSCAPE PLANS</p> <p>24. STA 12+64.0, 28.7' LT 4'x6' STREET TREE WELL. SEE LANDSCAPE PLANS</p> <p>25. STA 12+94.0, 28.7' LT 4'x6' STREET TREE WELL. SEE LANDSCAPE PLANS</p> <p>26. 13+24.0, 27.7' LT 4'x6' STREET TREE WELL. SEE LANDSCAPE PLANS</p> <p>27. 13+54.0, 26.7' LT 4'x6' STREET TREE WELL. SEE LANDSCAPE PLANS</p> <p>28. 14+58.09, 28.0' LT 4'x6' STREET TREE WELL. SEE LANDSCAPE PLANS</p> <p>29. 14+92.27, 24.0' LT 4'x6' STREET TREE WELL. SEE LANDSCAPE PLANS</p> <p>30. STA 10+34.4, 41.2' LT (E) SD MH RIM 203.76</p> <p>31. STA 10+31.9, 48.0' LT (E) CB RIM 203.7</p> <p>32. STA 13+43.6, 25.4' LT INSTALL STREET LIGHT. SEE LIGHTING PLAN, BY OTHERS.</p> |
|--|---|---|

**NOTES**

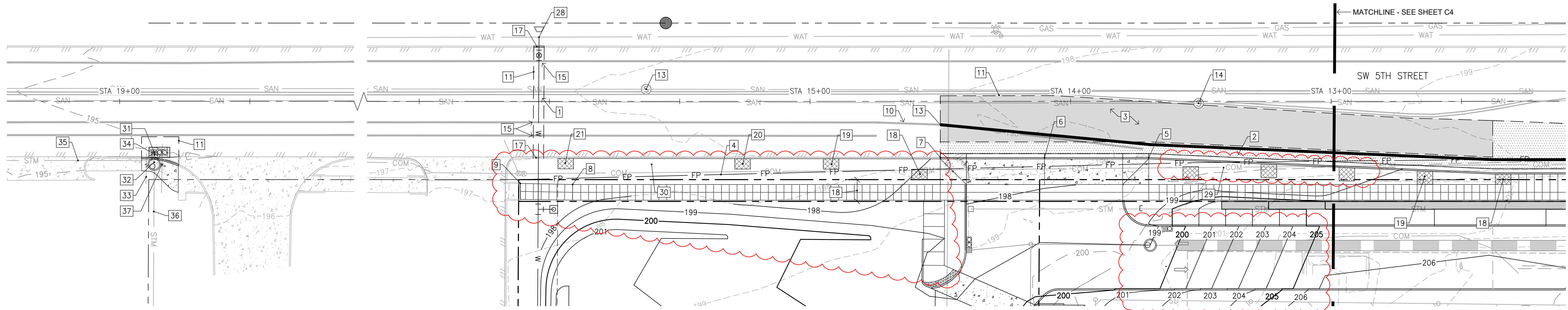
- PUBLIC STREET ILLUMINATION TO BE PROVIDED BY PGE UTILIZING THEIR OPTION "C" PROGRAM. SEE SEPARATE PLANS BY PGE.
- IMPROVEMENTS TO SW WESTERN AVE, INCLUDING CURB RETURN AT SW 5TH ST, GENERALLY CONSISTING OF PAVING, CURB/GUTTER, SIDEWALK, ADA RAMPS, AND UNDERGROUND UTILITY MODIFICATIONS WILL BE CONSTRUCTED UNDER A SEPARATE PUBLIC PROJECT BY OTHERS.
- WORK WITHIN RIGHT OF WAY, EAST OF STA 10+99.5, TO INCLUDE PAVING REPLACEMENT, WIDENING, CURB/GUTTER, SIDEWALK AND SIGNAL MODIFICATIONS TO BE BY CITY OF BEAVERTON UNDER SEPARATE CAPITAL IMPROVEMENT PROJECT.

THIS SIDEWALK LAYOUT AND ROW WAS APPROVED WITH SDM2019-0007 AND IS CURRENTLY PERMITTED TO CONSTRUCT. CITY REQUIRED A NEW SDM2022-0004 APPLICATION WITH THE DESIGN REVIEW PROCESS. THIS CURRENT LAYOUT AS SHOWN WAS COORDINATED WITH CITY PLANNING AND ENGINEERING STAFF IN A MEETING HELD ON DECEMBER 20, 2022. CITY AGREED TO APPROVE THE NEW SDM APPLICATION FOR THE PORTION OF THE SIDEWALK ALONG THE CABION RETAINING WALL. PLANNING AND ENGINEERING AGREED IN THAT MEETING THAT IF THE STANDARDS CANNOT BE ACHIEVED WHEN ENGINEERING REVIEWS THE CONSTRUCTION DETAILS DURING THE PERMITTING PROCESS, THAT PLANNING WOULD THEN ALLOW ANOTHER SDM APPLICATION TO APPROVE MODIFICATIONS TO THE CITY STANDARD WEST OF THE CABION RETAINING WALL.





**SW 5TH STREET PROFILE**  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'



**SW 5TH STREET PLAN**  
 SCALE: 1" = 20'

**KEY NOTES**

1. INSTALL NEW CENTER LANE STRIPES, MATCH (E). SEE DETAIL 'Y' ON ODOT STD. DWG. TM500.
2. (E) BASE ROCK & PAVEMENT REMOVAL AND REPLACEMENT. SEE DETAIL 1/C2.1.
3. MILL (E) PAVING AND OVERLAY WITH NEW PAVING. SEE DETAIL 1/C2.1.
4. 100-YR FLOOD PLAIN BASED ON FEMA NATIONAL FLOOD HAZARD LAYER FIRMETTE 41067 C 0531 E (NOVD 29). ELEVATION VARIES.
5. STA 13+70.0, 21.5' LT CONTINUE (E) CURB REMOVAL. END HORIZONTAL TAPER AND CURB/GUTTER & SIDEWALK CONSTRUCTION. BEGIN DRIVEWAY CONSTRUCTION.
6. STA 14+10.0, 21.5' LT CENTERLINE OF 60' COMMERCIAL DRIVEWAY
7. STA 14+50.0, 21.5' LT END (E) CURB REMOVAL AND DRIVEWAY CONSTRUCTION. CONTINUE SEPARATED SIDEWALK CONSTRUCTION.
8. STA 15+91.2, 31.86' LT BEGIN SIDEWALK TRANSITION TO CONNECT TO (E) SIDEWALK RAMP GOING WEST.
9. STA 16+11.2, 31.5' LT END SIDEWALK CONSTRUCTION. MATCH (E) CONCRETE RAMP.
10. (E) STRIPE TO REMAIN
11. SAWCUT LINE, TYP. DAMAGE TO (E) STRIPING BY STREET IMPROVEMENT SHALL BE REPLACED PER THE CITY INSPECTOR'S REQUIREMENT.
12. STA 14+50.0, 8.9' LT END NEW 8"-WIDE BIKE LANE STRIPE. SEE DETAIL 'W-2' ON ODOT STD. DWG. TM500 ON C3.9.
13. STA 15+62.9, 4.6' RT (E) SSMH, RIM 197.17 IE = 189.5 (18" E/W)
14. STA 13+50.9, 1.0' LT (E) SSMH, RIM 198.47 IE = 190.3 (18" E/W)
15. INSTALL NEW BIKE LANE STRIPE, MATCH (E). SEE DETAIL 'W-2' ON ODOT STD. DWG. TM500 ON C3.9.
16. ASPHALT TRANSITION FROM NEW SIDEWALK TO (E) SIDEWALK.
17. REPLACE (E) CURB WITH NEW CURB AT WATERLINE CROSSING, TO NEAREST JOINT. MATCH (E) ELEVATIONS. SEE COB DETAIL 208 ON C3.5.
18. STA 12+34.0, 29.9' LT 4"x6" STREET TREE WELL. SEE LANDSCAPE PLANS
19. STA 12+64.1, 28.7' LT 4"x6" STREET TREE WELL. SEE LANDSCAPE PLANS
20. STA 15+26.22, 24.0' LT 4"x6" STREET TREE WELL. SEE LANDSCAPE PLANS
21. STA 15+94.11, 24.0' LT 4"x6" STREET TREE WELL. SEE LANDSCAPE PLANS
22. NOT USED
23. NOT USED
24. NOT USED
25. NOT USED
26. STA 16+04.1, 24.6' RT (SW 5TH ST) = STA 0+00 (PUBLIC WATER LINE). SEE PUBLIC WATER LINE PROFILE, SHEET C5.8.
27. STA 13+41.3, 25.4' LT INSTALL STREET LIGHT. SEE LIGHTING PLAN, BY OTHERS.
28. STA 15+60.8, 24.1' LT INSTALL STREET LIGHT. SEE LIGHTING PLAN, BY OTHERS.
29. STA 18+86.7, 19.6' LT INSTALL PUBLIC STORMFILTER CB #1. RIM 194.70-MATCH (E) SURFACE IE OUT 192.40. 10" @ 1% SLOPE MIN.
30. STA 18+86.7, 23.3' LT INSTALL 48" SHALLOW MANHOLE RIM 195.40-MATCH FG IE IN 192.35 (10" N) NEW IE IN 192.00 (12" W) (E) IE OUT 192.00 (12" S) (E) REPLACE (E) SIDEWALK TO NEAREST JOINTS. SAWCUT & REPLACE (E) CURB AS REQUIRED. MANHOLE TO BE LOCATED AS FAR SOUTH AS POSSIBLE. SET SHALLOW MANHOLE CONE BELOW REPLACEMENT CURB. SEE CITY OF BEAVERTON DETAIL 336 ON C3.6 & DETAIL 5 ON C4.2.
31. (E) WATER LINE, PROTECT DURING CONSTRUCTION.
32. STA 18+86.5, 20.3' LT REMOVE (E) CB
33. (E) 12" PVC PUBLIC STORM MAIN. SLOPE: 0.80%
34. (E) 12" PVC PUBLIC STORM MAIN.
35. STA 18+83.8, 24.7' LT (E) GAS METER, PROTECT DURING CONSTRUCTION. COORDINATE WITH NW NATURAL GAS & PROPERTY OWNER.

NOTE: PUBLIC STREET ILLUMINATION TO BE PROVIDED BY PGE UTILIZING THEIR OPTION 'C' PROGRAM. SEE SEPARATE PLANS BY PGE.

SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

EXP: 12/31/23

PROJECT  
**5051 SW WESTERN AVENUE**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS	DATE
1 10.09.2019 Site Develop. Permit Rev 1	
1 10.25.2019 Plumbing Permit Rev 1	
2 11.12.2019 Site Develop. Permit Rev 2	
3 11.15.2019 1200C Resubmittal	
3 11.26.2019 Site Develop. Permit Rev 3	
4 12.04.2019 Site Develop. Permit Rev 4	
5 01.21.2020 SD Revision	
6 03.02.2020 SD Revision	
7 03.05.2020 SD Revision	
7 10.29.2022 LU Revision 1	

DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

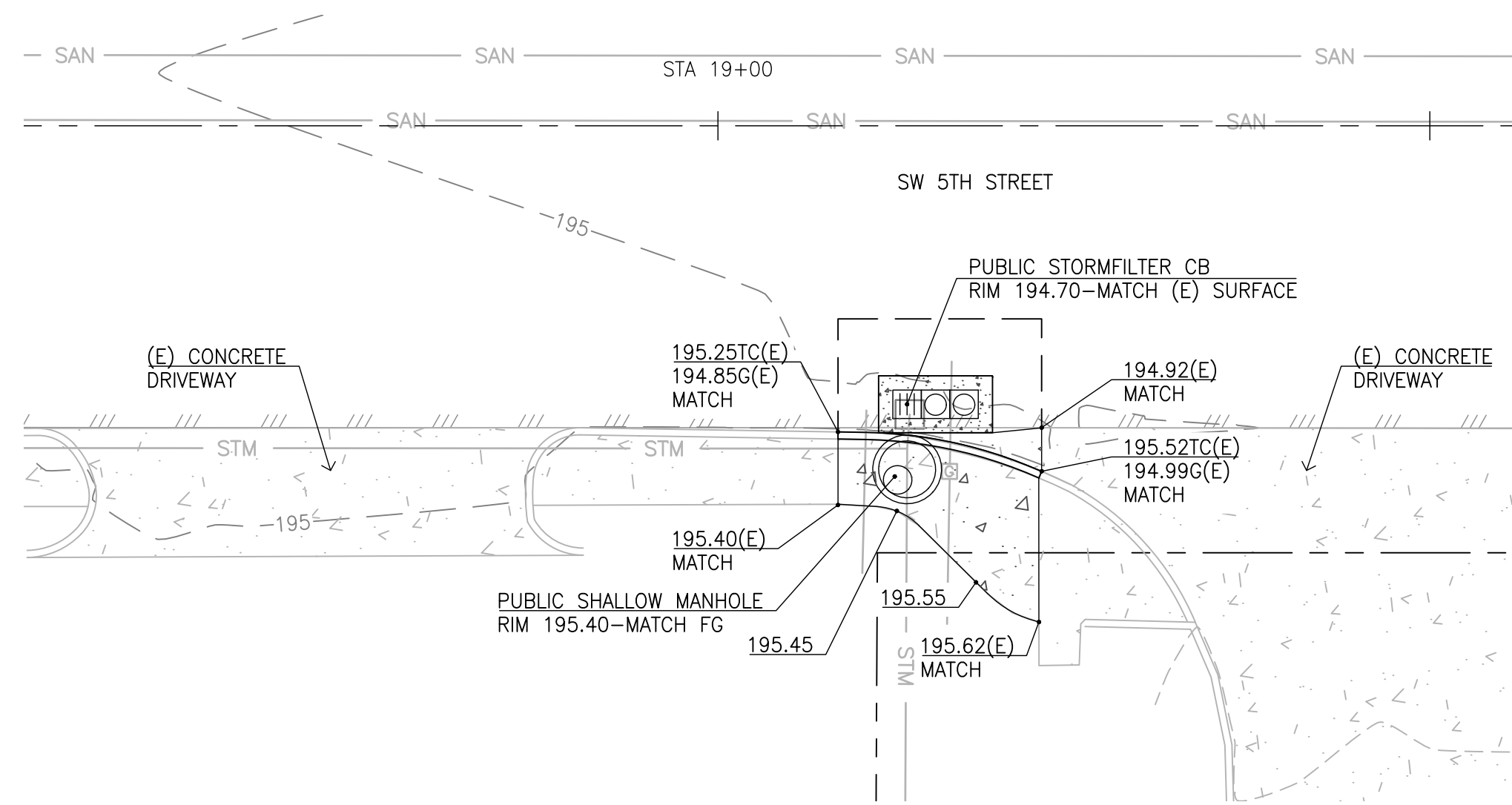
SCALE  
 AS INDICATED  
 ON PLAN

SHEET TITLE  
 SW 5TH STREET  
 PUBLIC IMPROVEMENT  
 PLAN AND PROFILE

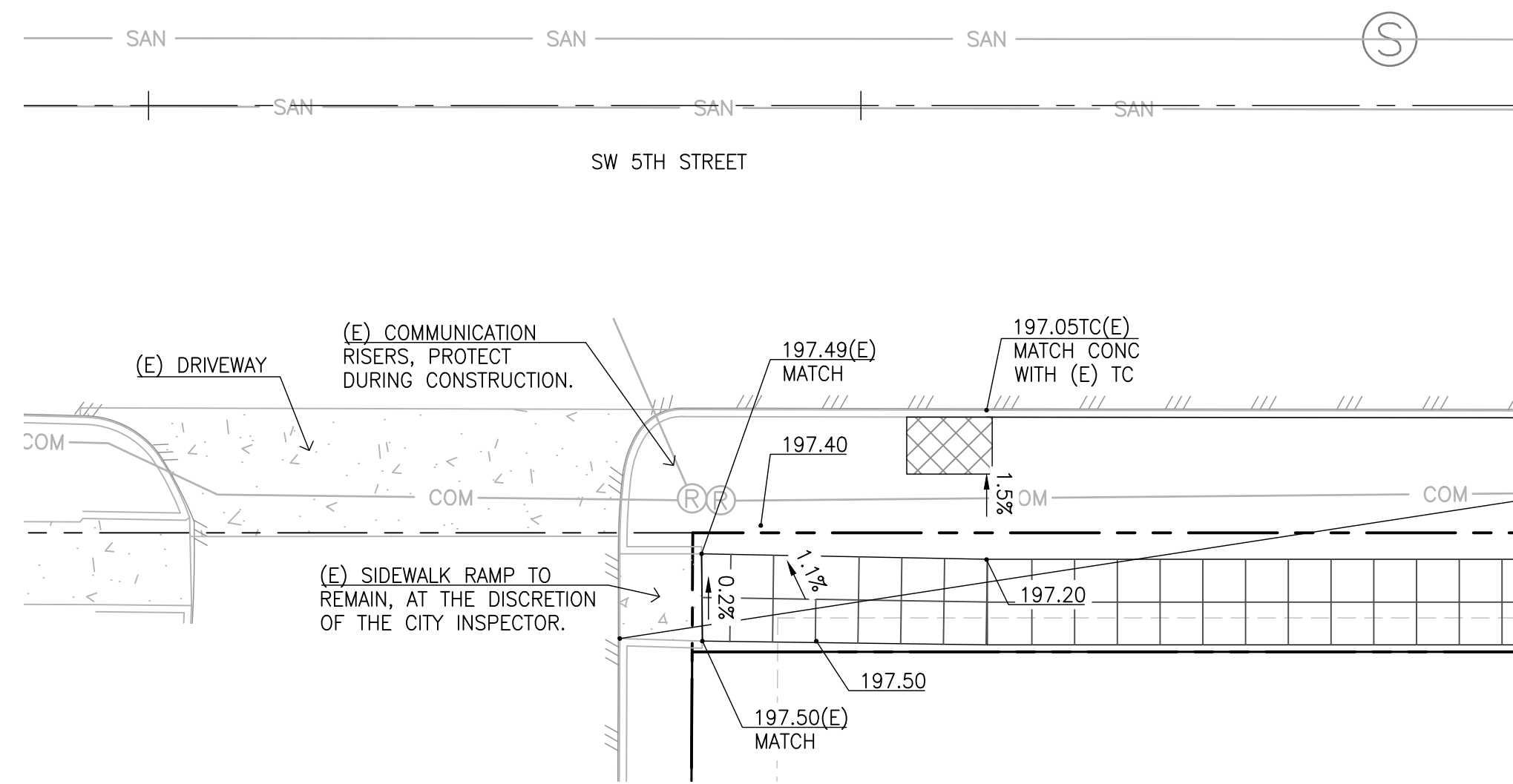
**C4.1**

SITE DEVELOPMENT PERMIT

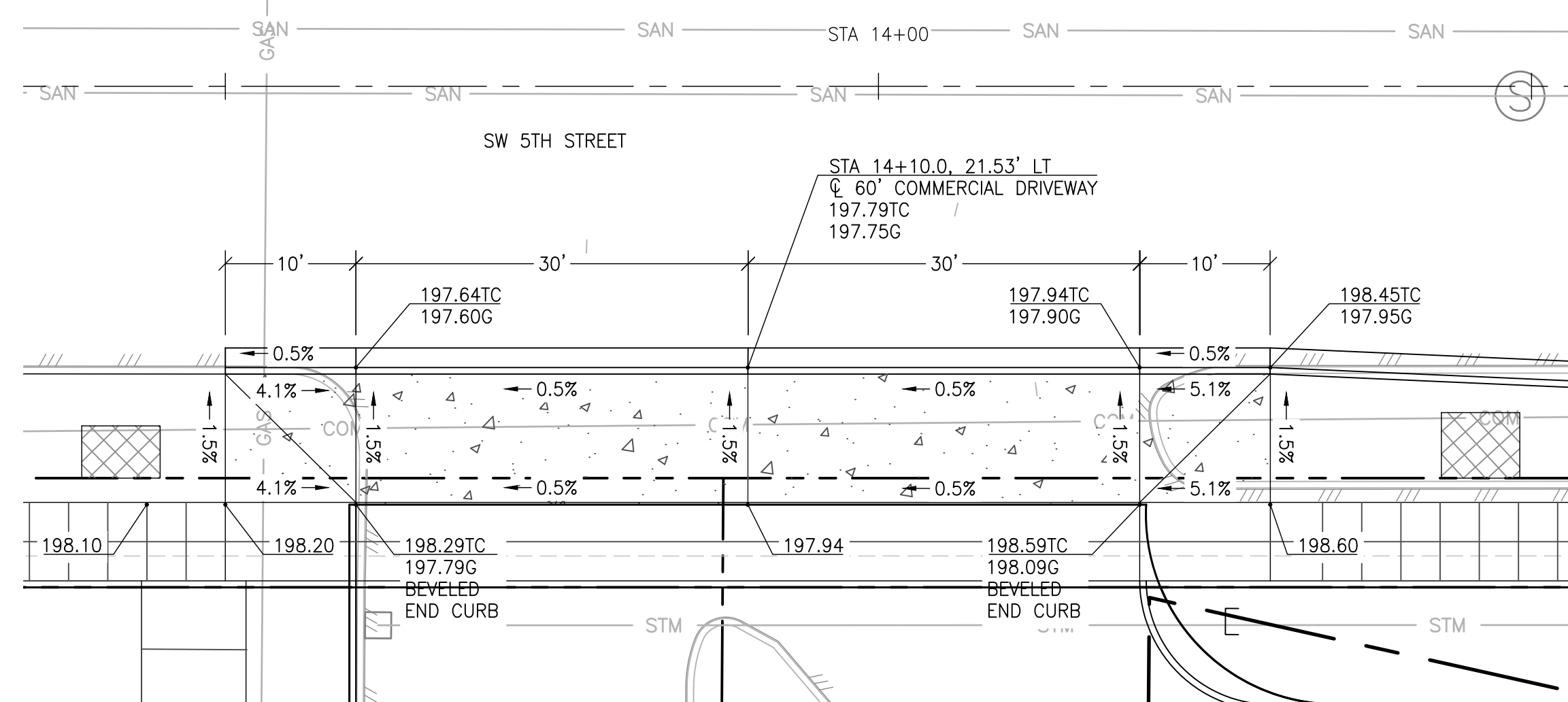




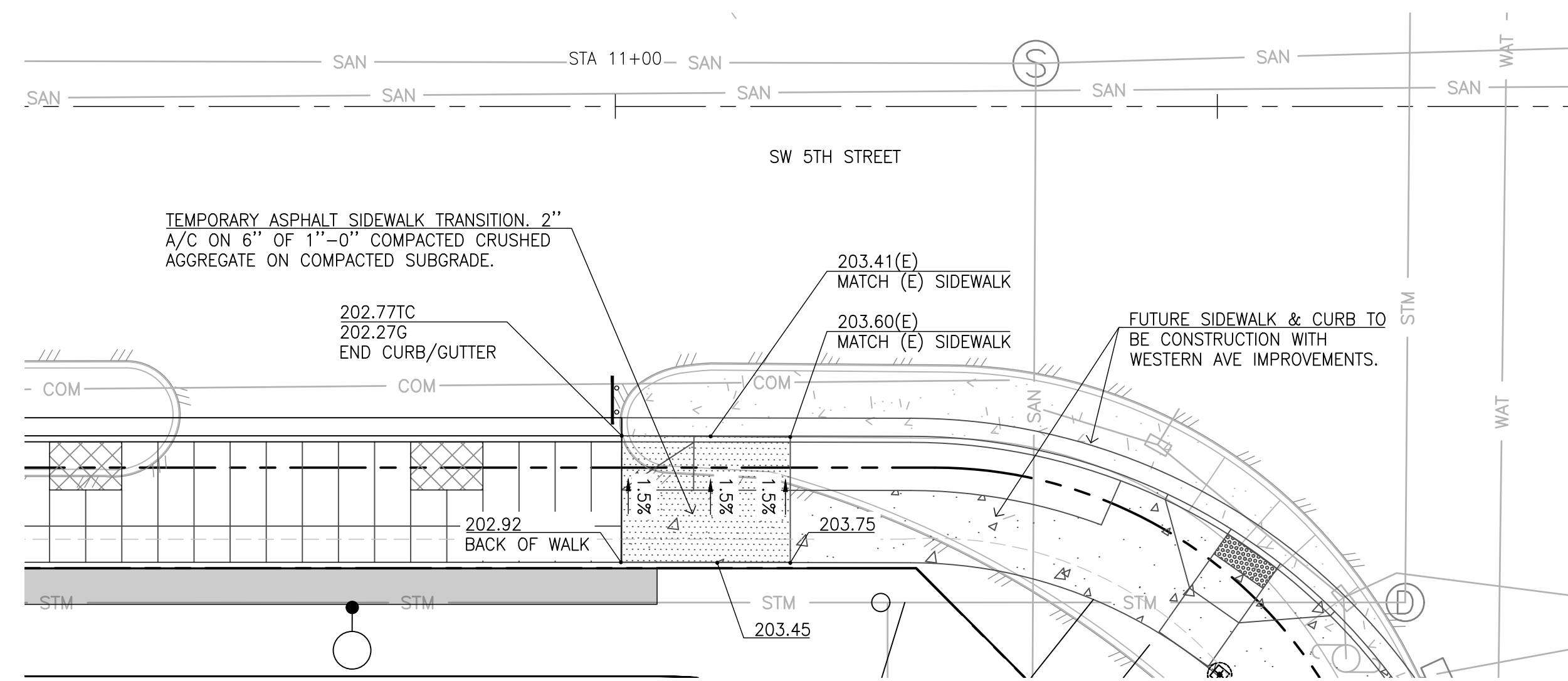
**1** GRADING DETAIL AT SW 5TH STREET WESTERN CATCH BASIN  
SCALE: 1" = 10'



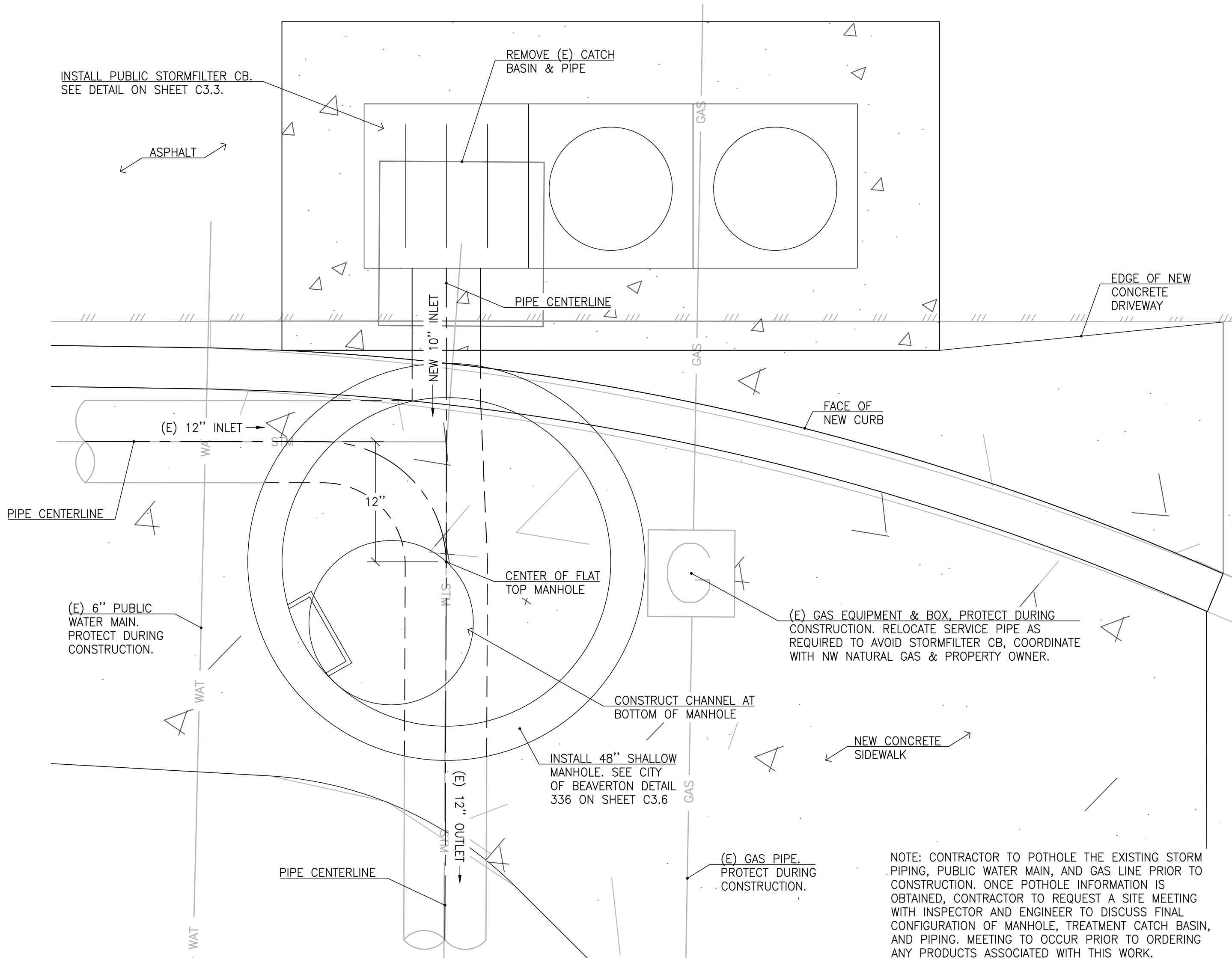
**2** GRADING DETAIL AT SW 5TH STREET WEST CONNECTION  
SCALE: 1" = 10'



**3** GRADING DETAIL AT SW 5TH STREET DRIVEWAY  
SCALE: 1" = 10'



**4** GRADING DETAIL AT SW 5TH STREET EAST CONNECTION  
SCALE: 1" = 10'



**5** DETAIL AT SW 5TH STREET NEW PUBLIC MANHOLE  
SCALE: 1" = 1'

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700



PROJECT  
5051 SW WESTERN AVENUE  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.29.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

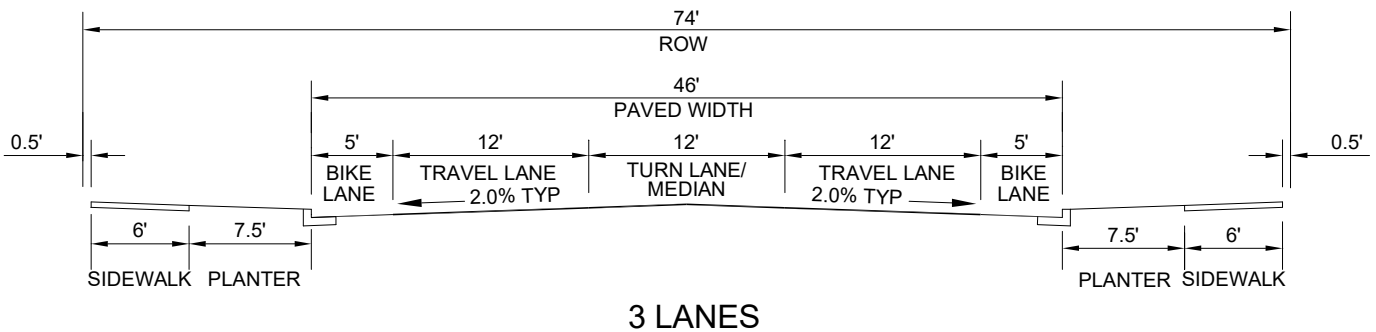
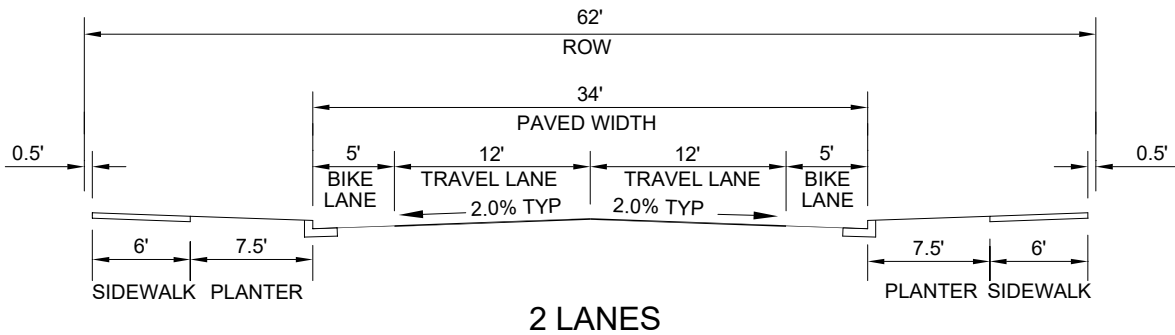
SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
GRADING DETAILS

C4.2

SITE DEVELOPMENT PERMIT

# Exhibit APP 2.1

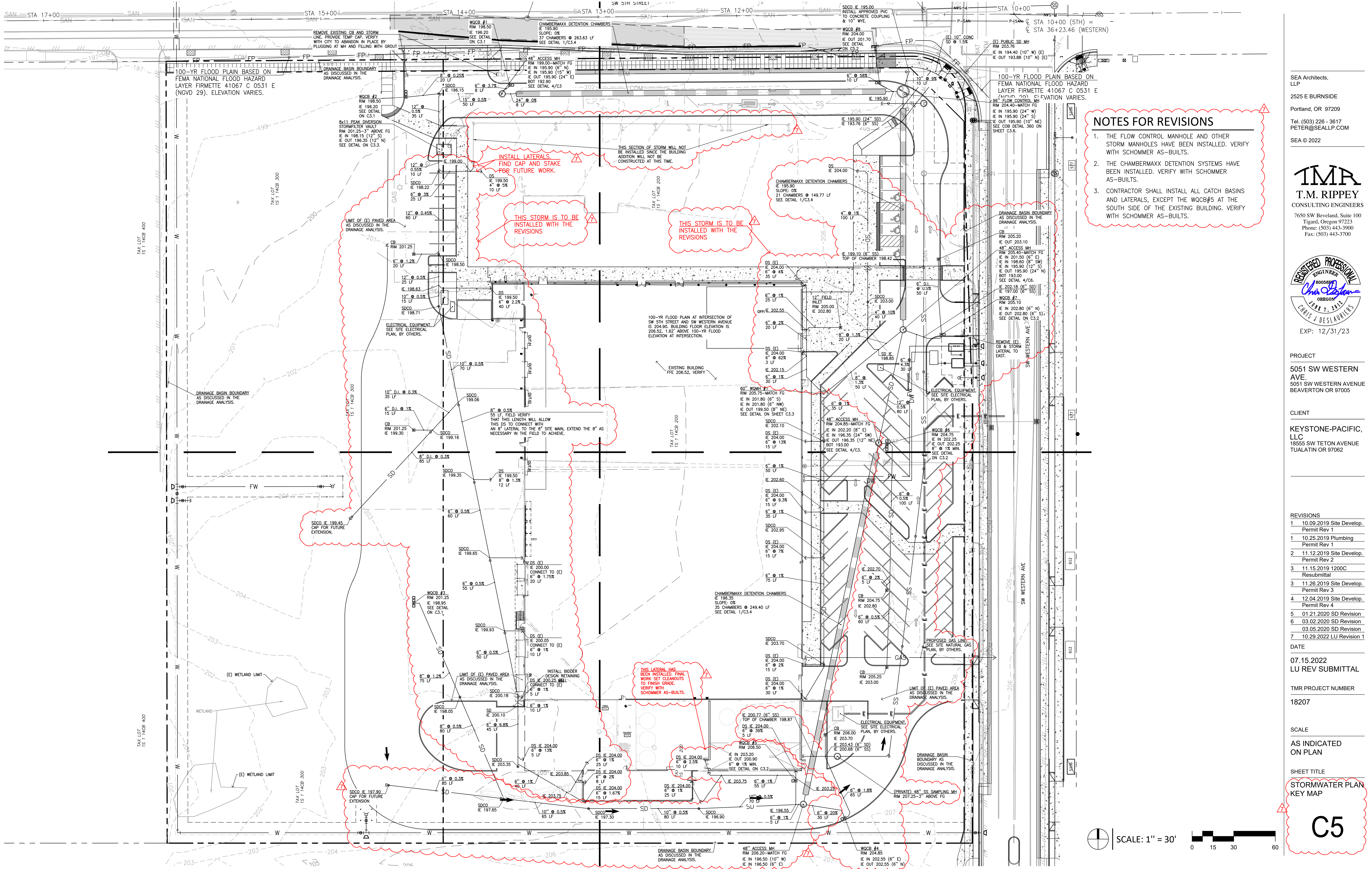


**PROJECT MUST BE THIS**

**NOTES:**

1. A planter strip is required on all Collectors.
2. Paved width and planter strip are measured to face of curb.
3. Provide 0.5 feet from right-of-way line to the back of sidewalk for maintenance and survey monument protection.
4. Street trees and street lights are required and shall be located within the planter strip.
5. Engineer/Designer is required to check for special district design parameters. Contact Community Development - Planning Division for additional information.
6. Power, street lights, traffic signal, and all other franchise utility boxes/vaults shall be located outside of ADA ramps & landings.





- ### NOTES FOR REVISIONS
1. THE FLOW CONTROL MANHOLE AND OTHER STORM MANHOLES HAVE BEEN INSTALLED. VERIFY WITH SCHOMMER AS-BUILTS.
  2. THE CHAMBERMAXX DETENTION SYSTEMS HAVE BEEN INSTALLED. VERIFY WITH SCHOMMER AS-BUILTS.
  3. CONTRACTOR SHALL INSTALL ALL CATCH BASINS AND LATERALS, EXCEPT THE WCCB#5 AT THE SOUTH SIDE OF THE EXISTING BUILDING. VERIFY WITH SCHOMMER AS-BUILTS.

SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**REGISTERED PROFESSIONAL ENGINEER**  
 80058997  
 Chris Rippey  
 1988  
 OR  
 1988  
 1988  
 Chris J. Desjardins  
 EXP: 12/31/23

PROJECT  
**5051 SW WESTERN AVE.**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.29.2022 LU Revision 1

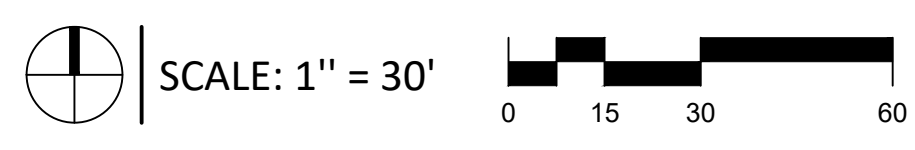
DATE  
**07.15.2022**  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

SHEET TITLE  
**STORMWATER PLAN  
 KEY MAP**

**C5**

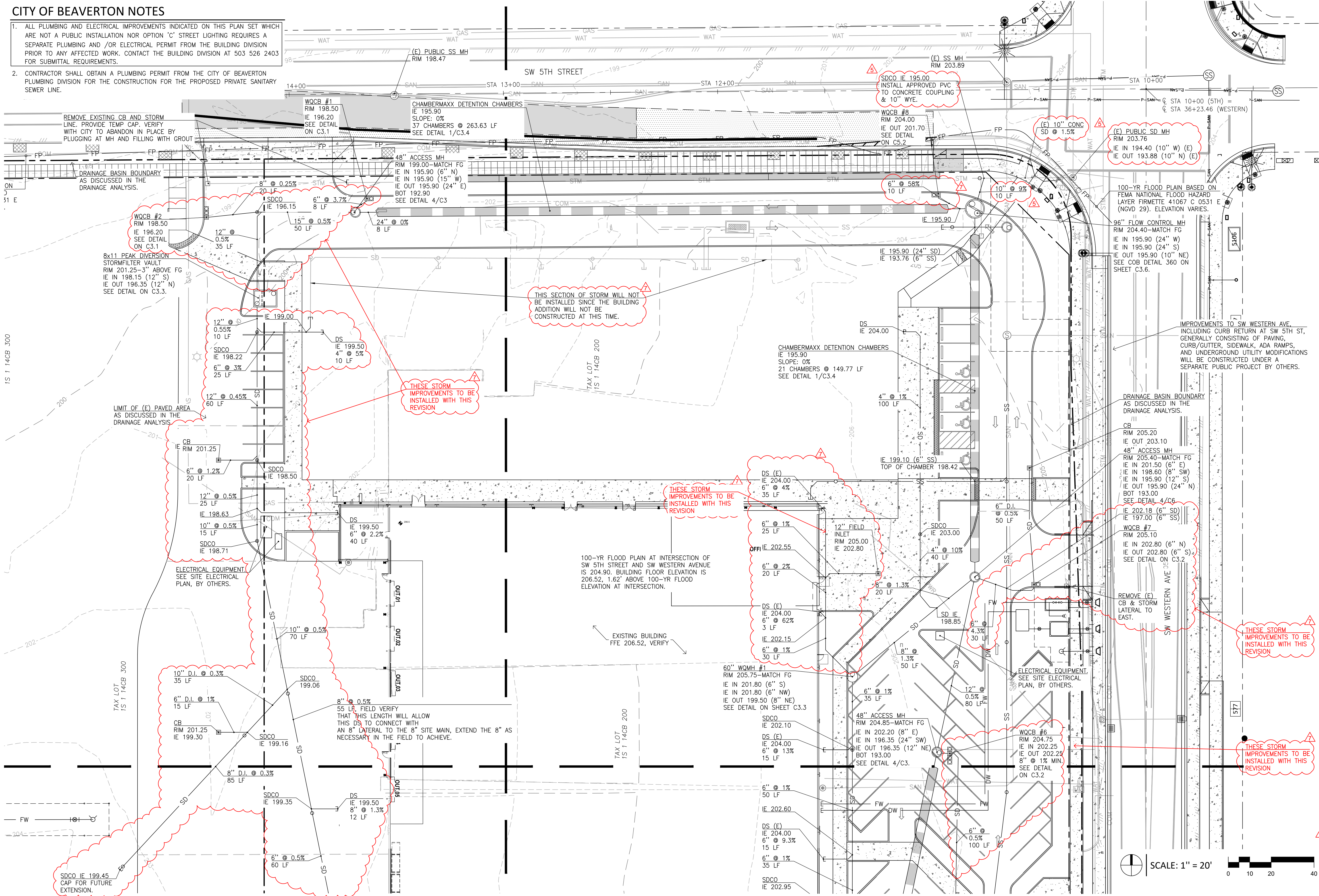


SITE DEVELOPMENT PERMIT



CITY OF BEAVERTON NOTES

- ALL PLUMBING AND ELECTRICAL IMPROVEMENTS INDICATED ON THIS PLAN SET WHICH ARE NOT A PUBLIC INSTALLATION NOR OPTION 'C' STREET LIGHTING REQUIRES A SEPARATE PLUMBING AND /OR ELECTRICAL PERMIT FROM THE BUILDING DIVISION PRIOR TO ANY AFFECTED WORK. CONTACT THE BUILDING DIVISION AT 503 526 2403 FOR SUBMITTAL REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN A PLUMBING PERMIT FROM THE CITY OF BEAVERTON PLUMBING DIVISION FOR THE CONSTRUCTION FOR THE PROPOSED PRIVATE SANITARY SEWER LINE.



SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS

7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

REGISTERED PROFESSIONAL ENGINEER  
 800589P  
*Chris Rippey*  
 OREGON  
 JUNE 7, 2013  
 CHRIS J. DESJARDINS  
 EXP: 12/31/23

PROJECT  
 5051 SW WESTERN AVENUE  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
 KEYSTONE-PACIFIC, LLC  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.29.2022 LU Revision 1

DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

SHEET TITLE  
 STORMWATER PLAN  
 NORTHEAST

**C5.0**

SITE DEVELOPMENT PERMIT









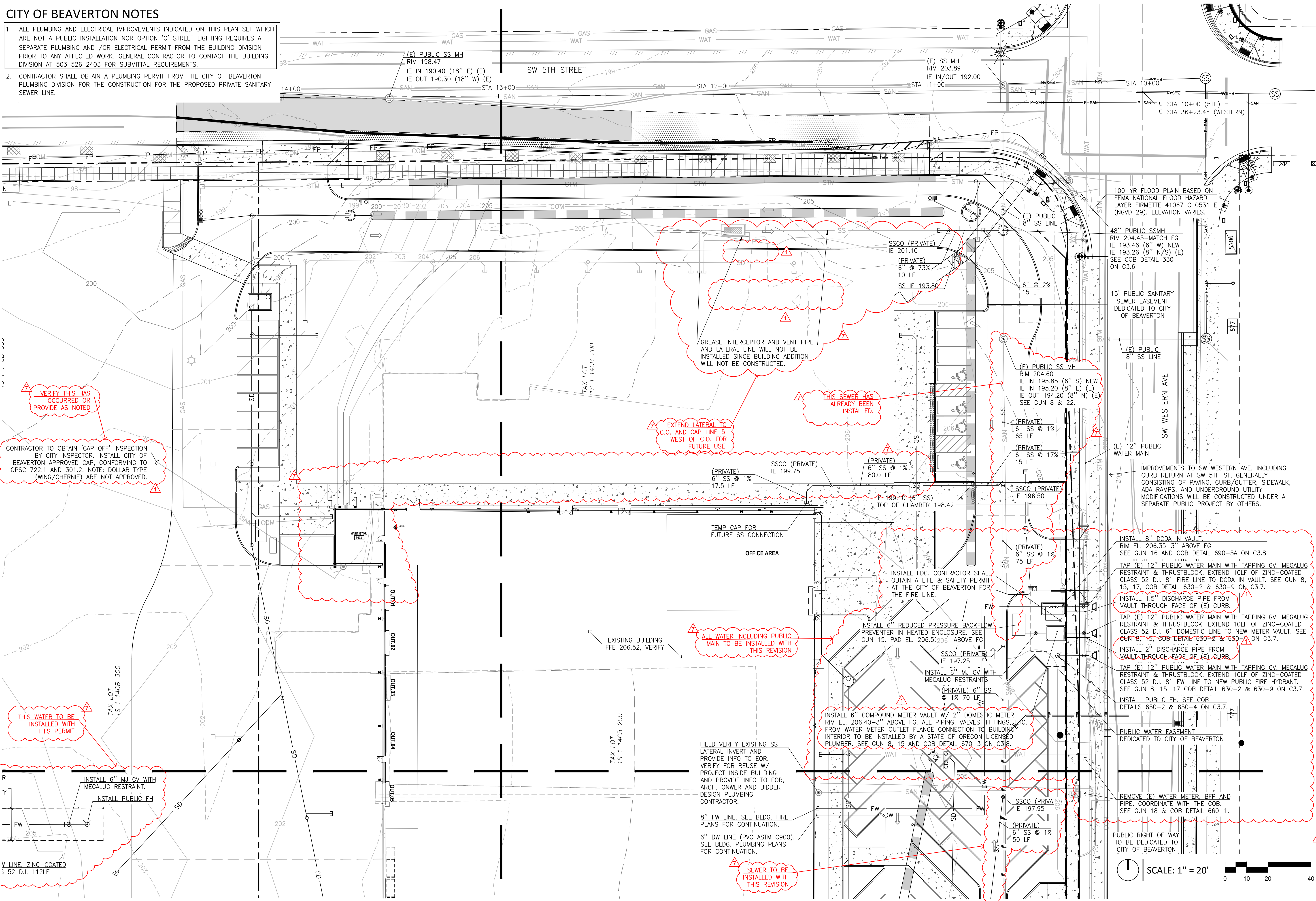






CITY OF BEAVERTON NOTES

- ALL PLUMBING AND ELECTRICAL IMPROVEMENTS INDICATED ON THIS PLAN SET WHICH ARE NOT A PUBLIC INSTALLATION NOR OPTION 'C' STREET LIGHTING REQUIRES A SEPARATE PLUMBING AND /OR ELECTRICAL PERMIT FROM THE BUILDING DIVISION PRIOR TO ANY AFFECTED WORK. GENERAL CONTRACTOR TO CONTACT THE BUILDING DIVISION AT 503 526 2403 FOR SUBMITTAL REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN A PLUMBING PERMIT FROM THE CITY OF BEAVERTON PLUMBING DIVISION FOR THE CONSTRUCTION FOR THE PROPOSED PRIVATE SANITARY SEWER LINE.



SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

REGISTERED PROFESSIONAL ENGINEER  
 800589P  
*Chris Rippey*  
 OREGON  
 EXPIRES 12/31/2023  
 CHRIS J. DESJARDINS

EXP: 12/31/23

PROJECT  
**5051 SW WESTERN AVENUE**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.29.2022 LU Revision 1

DATE  
**07.15.2022**  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED ON PLAN

SHEET TITLE  
**SANITARY SEWER & WATER PLAN NORTHEAST**

**C5.4**

SITE DEVELOPMENT PERMIT



CITY OF BEAVERTON NOTES

1. ALL PLUMBING AND ELECTRICAL IMPROVEMENTS INDICATED ON THIS PLAN SET WHICH ARE NOT A PUBLIC INSTALLATION NOR OPTION 'C' STREET LIGHTING REQUIRES A SEPARATE PLUMBING AND /OR ELECTRICAL PERMIT FROM THE BUILDING DIVISION PRIOR TO ANY AFFECTED WORK. GENERAL CONTRACTOR TO CONTACT THE BUILDING DIVISION AT 503 526 2403 FOR SUBMITTAL REQUIREMENTS.
2. CONTRACTOR SHALL OBTAIN A PLUMBING PERMIT FROM THE CITY OF BEAVERTON PLUMBING DIVISION FOR THE CONSTRUCTION FOR THE PROPOSED PRIVATE SANITARY SEWER LINE.

SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700



PROJECT  
**5051 SW WESTERN AVENUE**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.29.2022 LU Revision 1

DATE  
 07.15.2022  
 LU REV SUBMITTAL

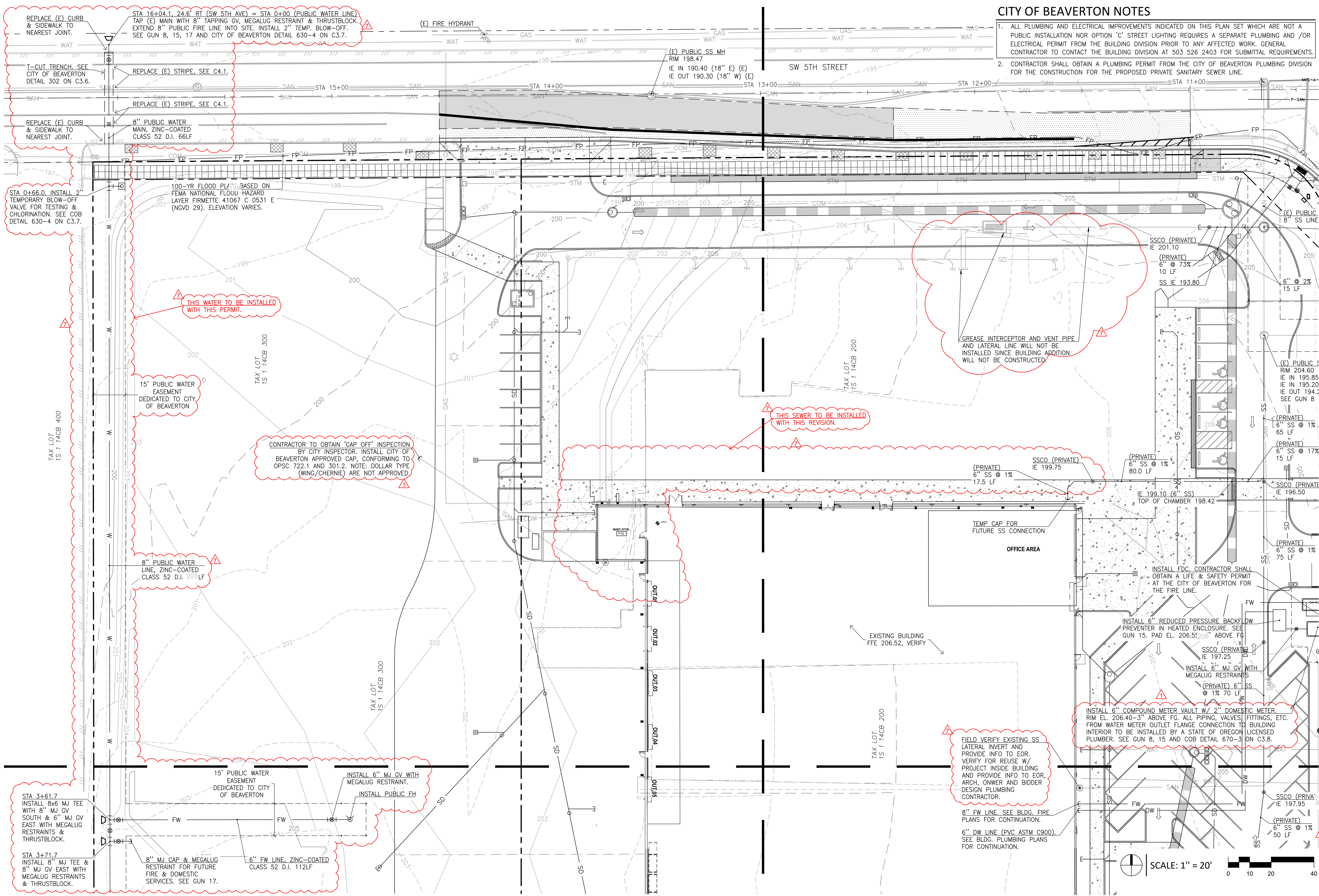
TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

SHEET TITLE  
**SANITARY SEWER & WATER PLAN**  
**NORTHWEST**

**C5.5**

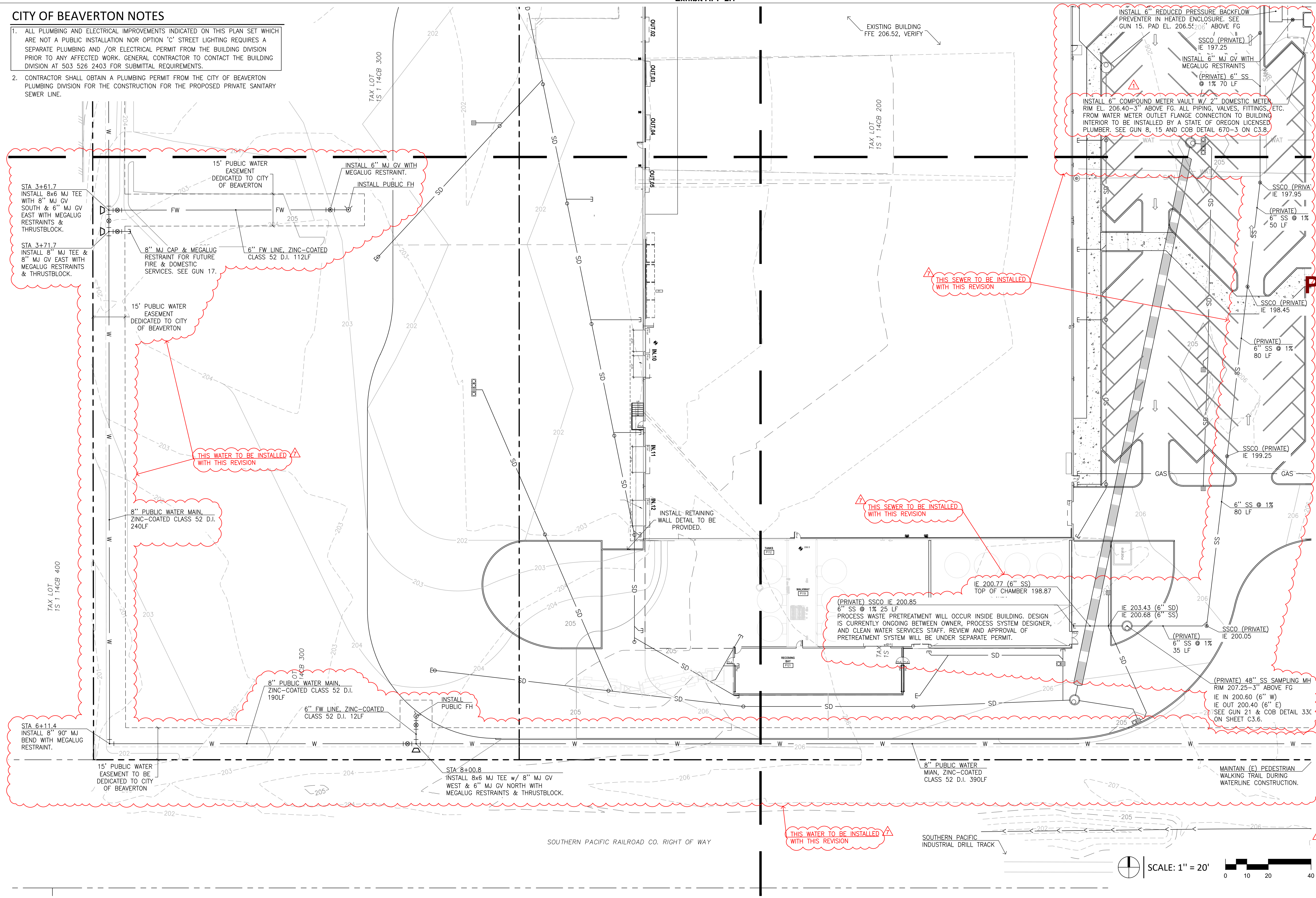
SITE DEVELOPMENT PERMIT





**CITY OF BEAVERTON NOTES**

- ALL PLUMBING AND ELECTRICAL IMPROVEMENTS INDICATED ON THIS PLAN SET WHICH ARE NOT A PUBLIC INSTALLATION NOR OPTION 'C' STREET LIGHTING REQUIRES A SEPARATE PLUMBING AND /OR ELECTRICAL PERMIT FROM THE BUILDING DIVISION PRIOR TO ANY AFFECTED WORK. GENERAL CONTRACTOR TO CONTACT THE BUILDING DIVISION AT 503 526 2403 FOR SUBMITTAL REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN A PLUMBING PERMIT FROM THE CITY OF BEAVERTON PLUMBING DIVISION FOR THE CONSTRUCTION FOR THE PROPOSED PRIVATE SANITARY SEWER LINE.



SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**PROFESSIONAL ENGINEER**  
 T.M. RIPPEY  
 No. 105503  
 Oregon  
 10/17/2022 10:55:03 AM  
 EXP: 12/31/2023

**PROJECT**  
 5051 SW WESTERN AVENUE  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

**CLIENT**  
 KEYSTONE-PACIFIC, LLC  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

**REVISIONS**

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.05.2022 LU Revision 1

**DATE**  
 07.15.2022  
**LU REV SUBMITTAL**

**TMR PROJECT NUMBER**  
 18207

**SCALE**  
 AS INDICATED ON PLAN

**SHEET TITLE**  
 SANITARY SEWER & WATER PLAN  
 SOUTHWEST

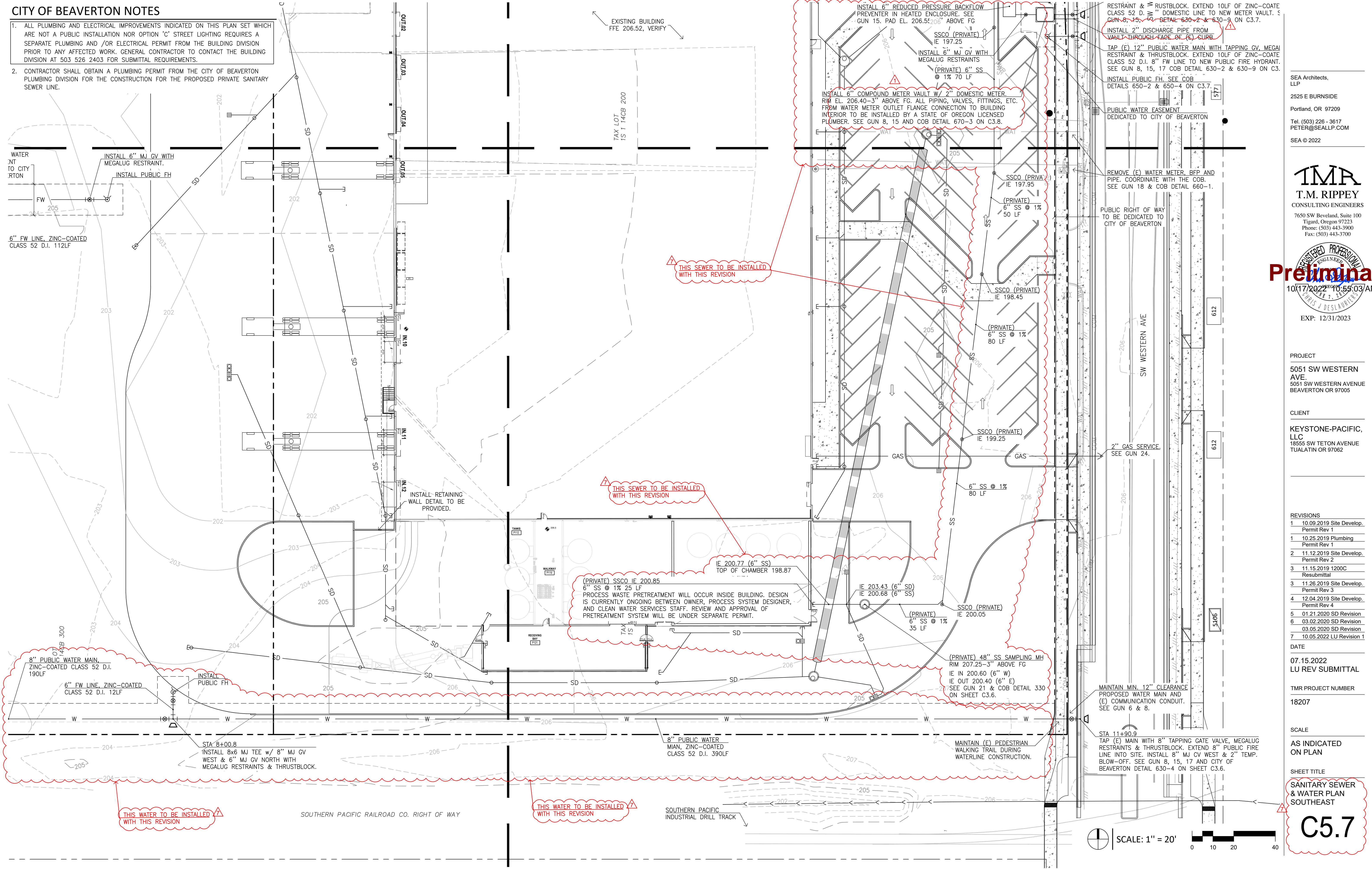
**C5.6**

SITE DEVELOPMENT PERMIT



CITY OF BEAVERTON NOTES

- ALL PLUMBING AND ELECTRICAL IMPROVEMENTS INDICATED ON THIS PLAN SET WHICH ARE NOT A PUBLIC INSTALLATION NOR OPTION 'C' STREET LIGHTING REQUIRES A SEPARATE PLUMBING AND/OR ELECTRICAL PERMIT FROM THE BUILDING DIVISION PRIOR TO ANY AFFECTED WORK. GENERAL CONTRACTOR TO CONTACT THE BUILDING DIVISION AT 503 526 2403 FOR SUBMITTAL REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN A PLUMBING PERMIT FROM THE CITY OF BEAVERTON PLUMBING DIVISION FOR THE CONSTRUCTION FOR THE PROPOSED PRIVATE SANITARY SEWER LINE.



SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
 T.M. RIPPEY  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**Preliminary**  
 10/17/2022 10:55:03 AM  
 EXP: 12/31/2023

PROJECT  
 5051 SW WESTERN AVENUE  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
 KEYSTONE-PACIFIC, LLC  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.05.2022 LU Revision 1

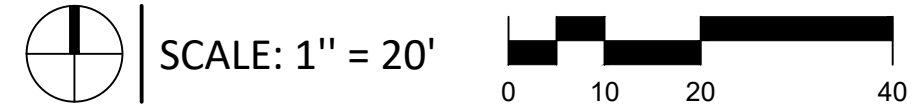
DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

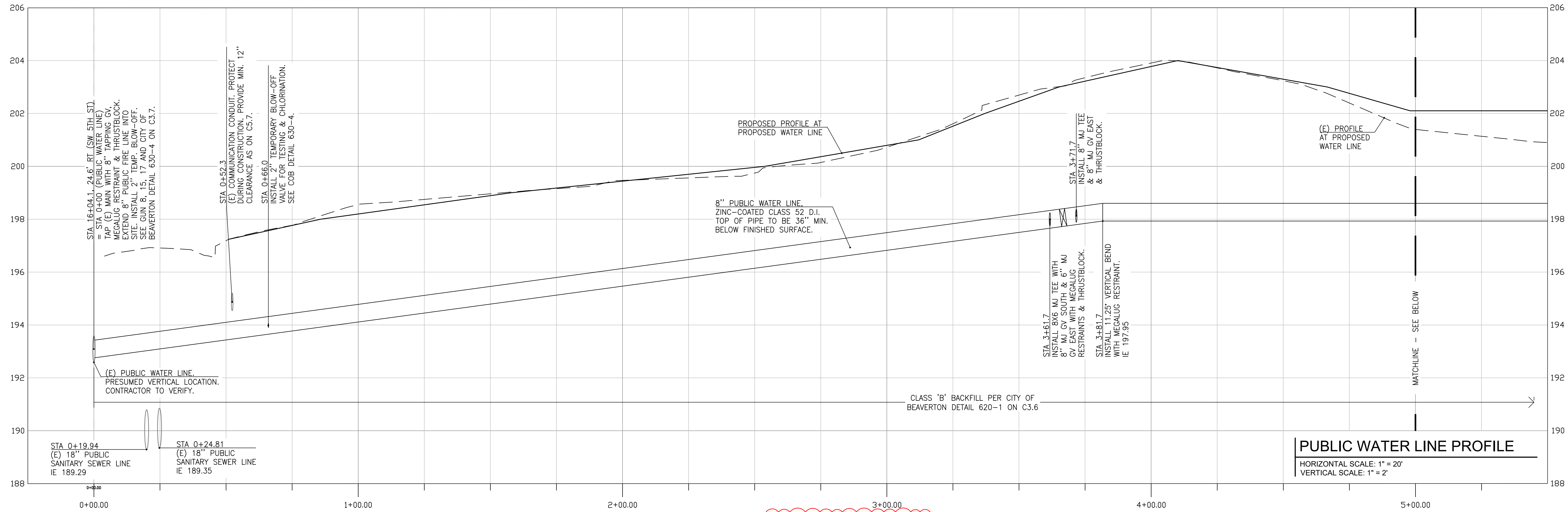
SHEET TITLE  
 SANITARY SEWER & WATER PLAN  
 SOUTHEAST

**C5.7**

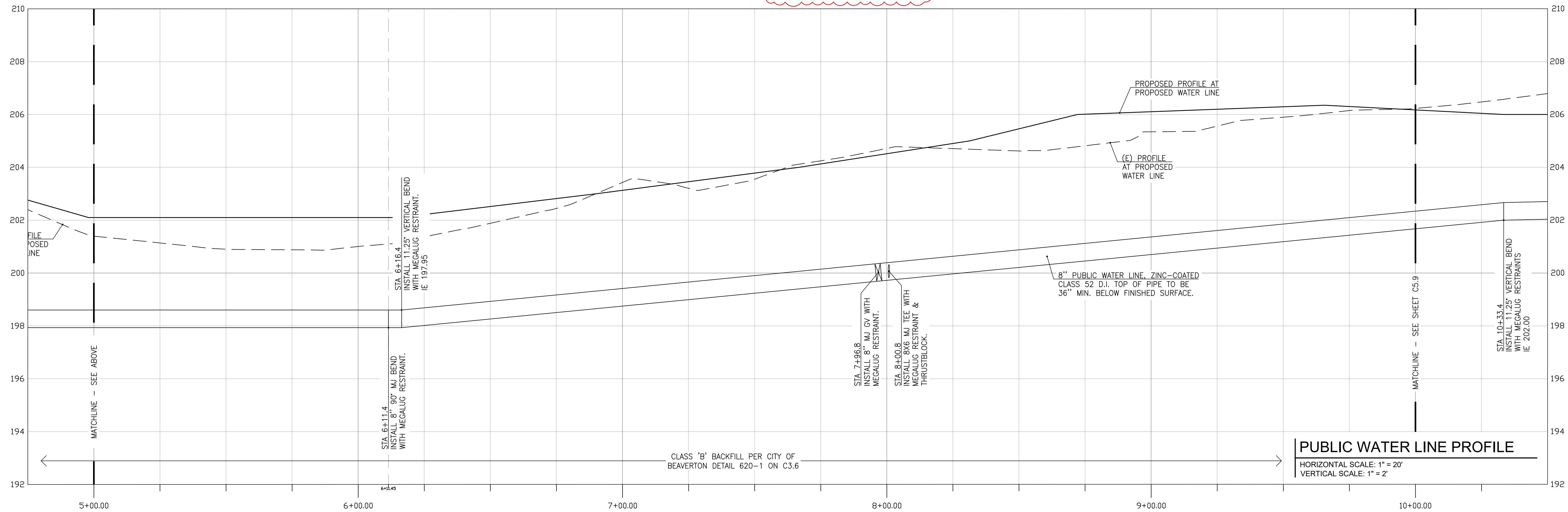


SITE DEVELOPMENT PERMIT





ALL PUBLIC AND PRIVATE  
WATER TO BE INSTALLED  
WITH THIS REVISION.



SEA Architects,  
LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226 - 3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**Preliminary**  
10/17/2022 10:55:03 AM  
EXP: 12/31/2023

PROJECT  
5051 SW WESTERN  
AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC,  
LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

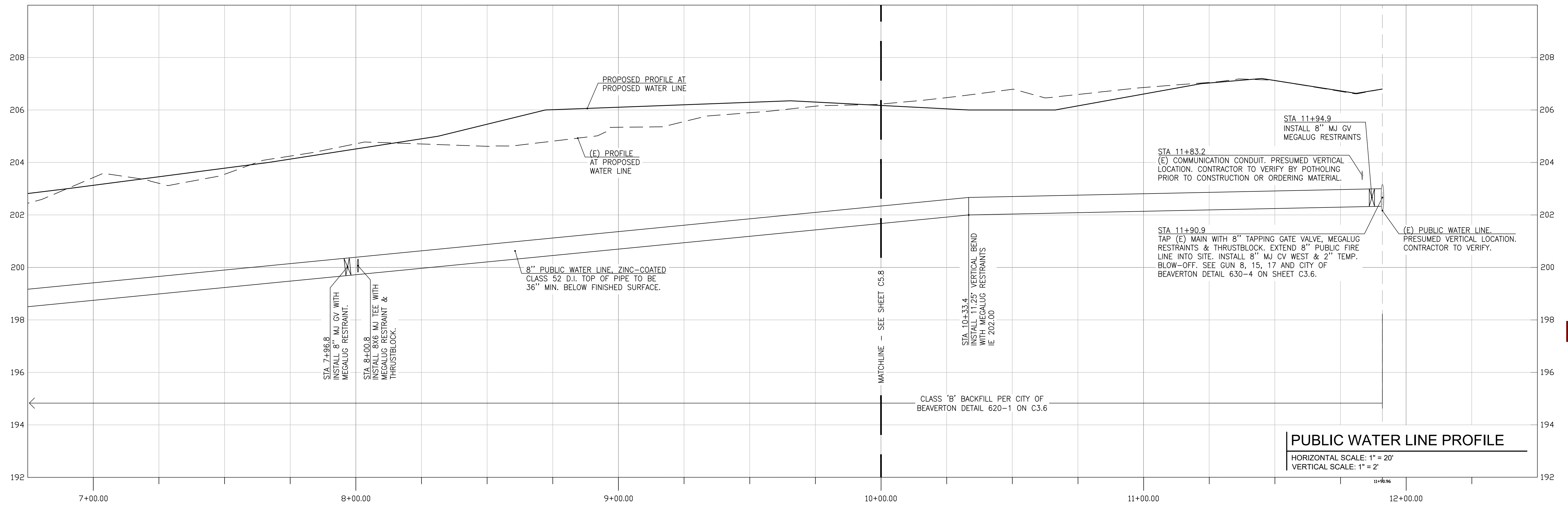
SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
PUBLIC WATER LINE  
PROFILE

**C5.8**

SITE DEVELOPMENT PERMIT





ALL PUBLIC AND PRIVATE WATER TO BE INSTALLED WITH THIS REVISION.

SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

REGISTERED PROFESSIONAL ENGINEER  
 T.M. RIPPEY  
 No. 10000  
 State of Oregon  
 10/17/2022 10:55:03 AM  
 EXP: 12/31/2023

Preliminary

**PUBLIC WATER LINE PROFILE**  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'

PROJECT  
 5051 SW WESTERN AVE.  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

NO.	DATE	DESCRIPTION
1	10.09.2019	Site Develop. Permit Rev 1
1	10.25.2019	Plumbing Permit Rev 1
2	11.12.2019	Site Develop. Permit Rev 2
3	11.15.2019	1200C Resubmittal
3	11.26.2019	Site Develop. Permit Rev 3
4	12.04.2019	Site Develop. Permit Rev 4
5	01.21.2020	SD Revision
6	03.02.2020	SD Revision
7	10.05.2022	LU Revision 1

DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

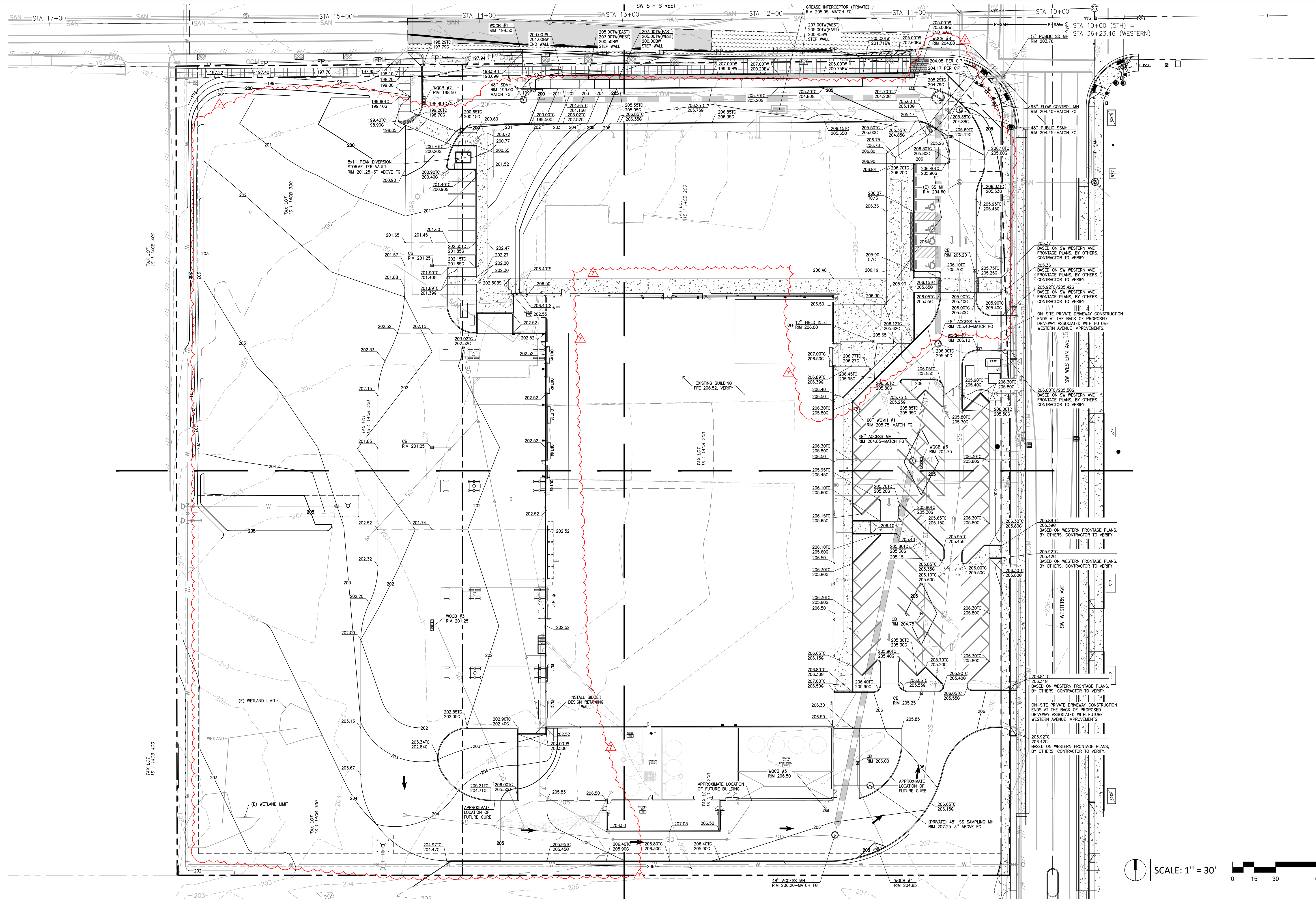
SHEET TITLE  
 PUBLIC WATER LINE PROFILE

**C5.9**

SITE DEVELOPMENT PERMIT



Exhibit APP 2.1



SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

REGISTERED PROFESSIONAL ENGINEER  
 8005899  
*Chris Rippey*  
 OREGON  
 JUNE 7, 2013  
 CHRIS J. DESJARDIERS  
 EXP: 12/31/23

PROJECT  
**5051 SW WESTERN AVE.**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.29.2022 LU Revision 1

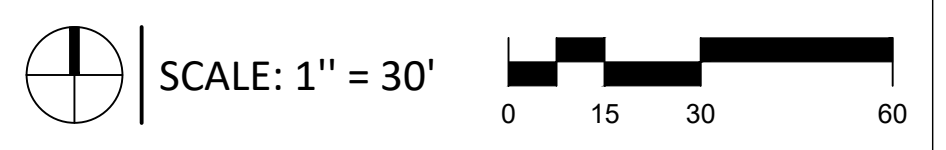
DATE  
**07.15.2022**  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
**18207**

SCALE  
**AS INDICATED ON PLAN**

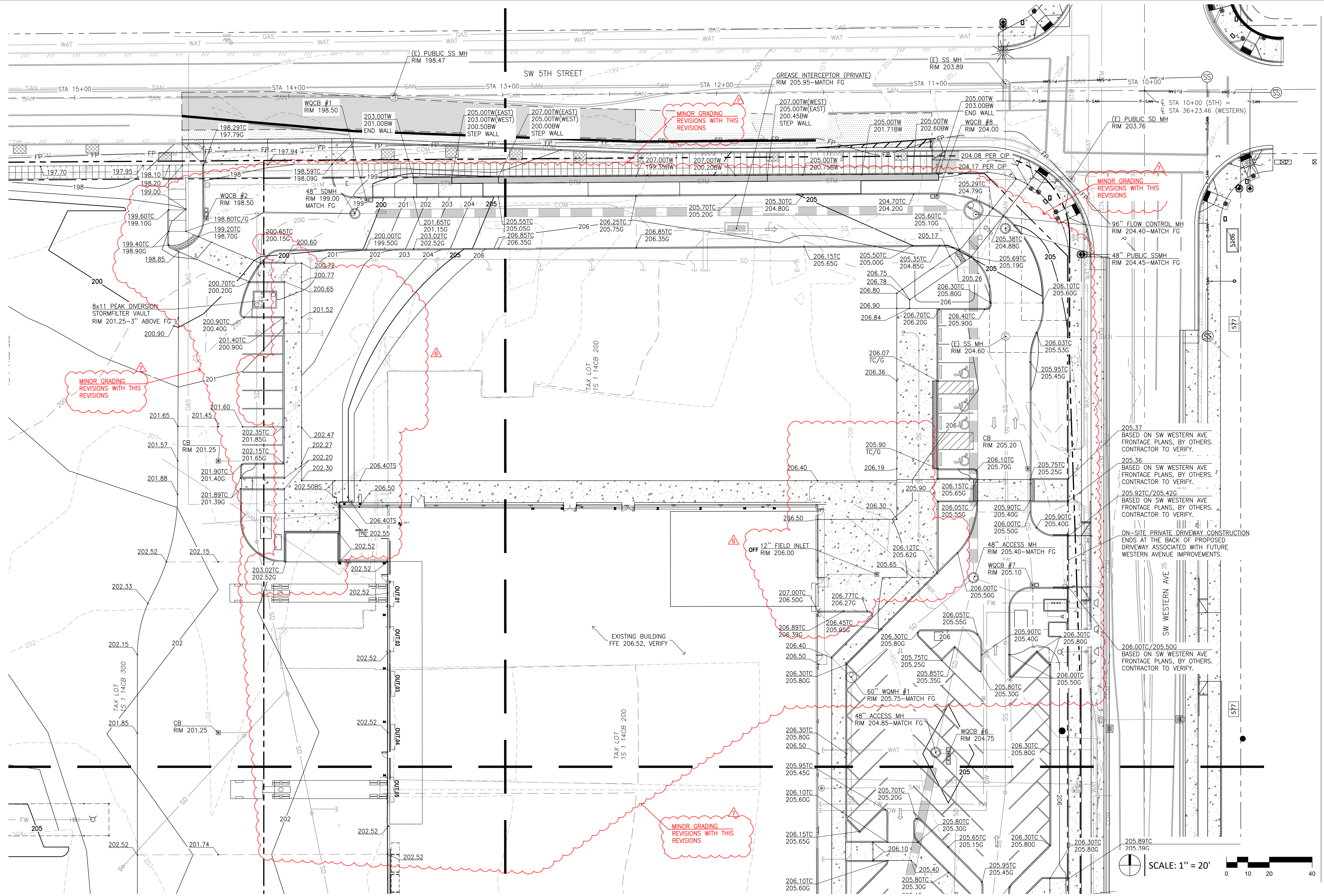
SHEET TITLE  
**GRADING PLAN KEY MAP**

**C6**



SITE DEVELOPMENT PERMIT





SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**REGISTERED PROFESSIONAL ENGINEER**  
 800589P  
*Chris J. Desjardins*  
 OREGON  
 JUNE 7, 2013  
 CHRIS J. DESJARDINS  
 EXP: 12/31/23

PROJECT  
**5051 SW WESTERN AVENUE**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.29.2022 LU Revision 1

DATE  
**07.15.2022**  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
**18207**

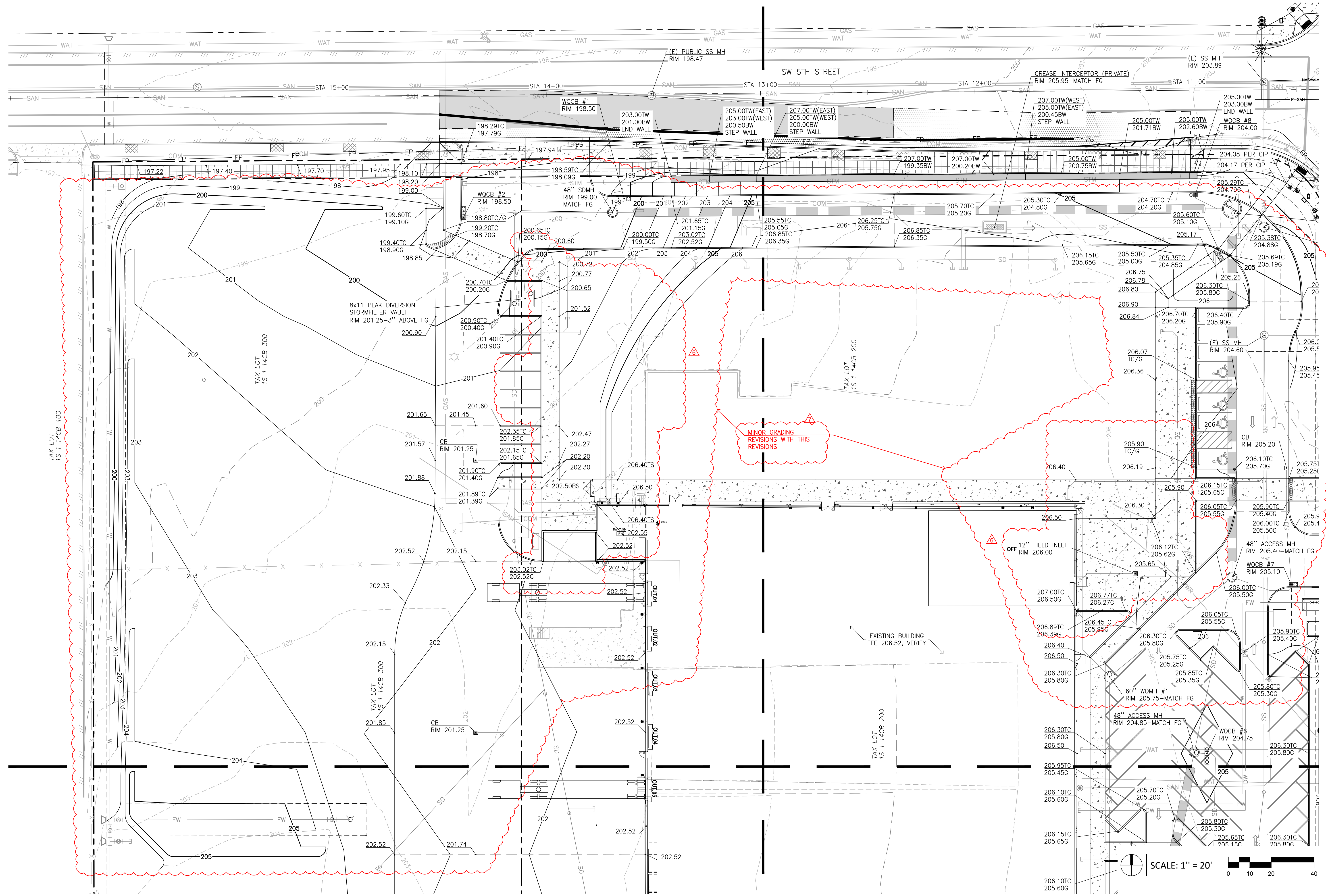
SCALE  
 AS INDICATED  
 ON PLAN

SHEET TITLE  
**GRADING PLAN  
 NORTHEAST**

**C6.0**

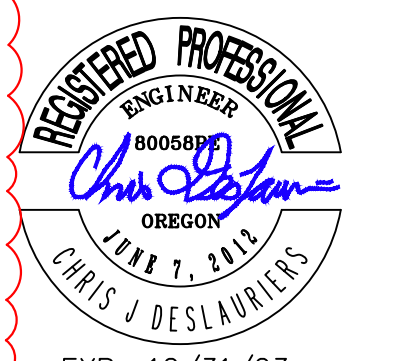
SITE DEVELOPMENT PERMIT





SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97233  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700



PROJECT  
**5051 SW WESTERN AVENUE**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.29.2022 LU Revision 1

DATE  
**07.15.2022**  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

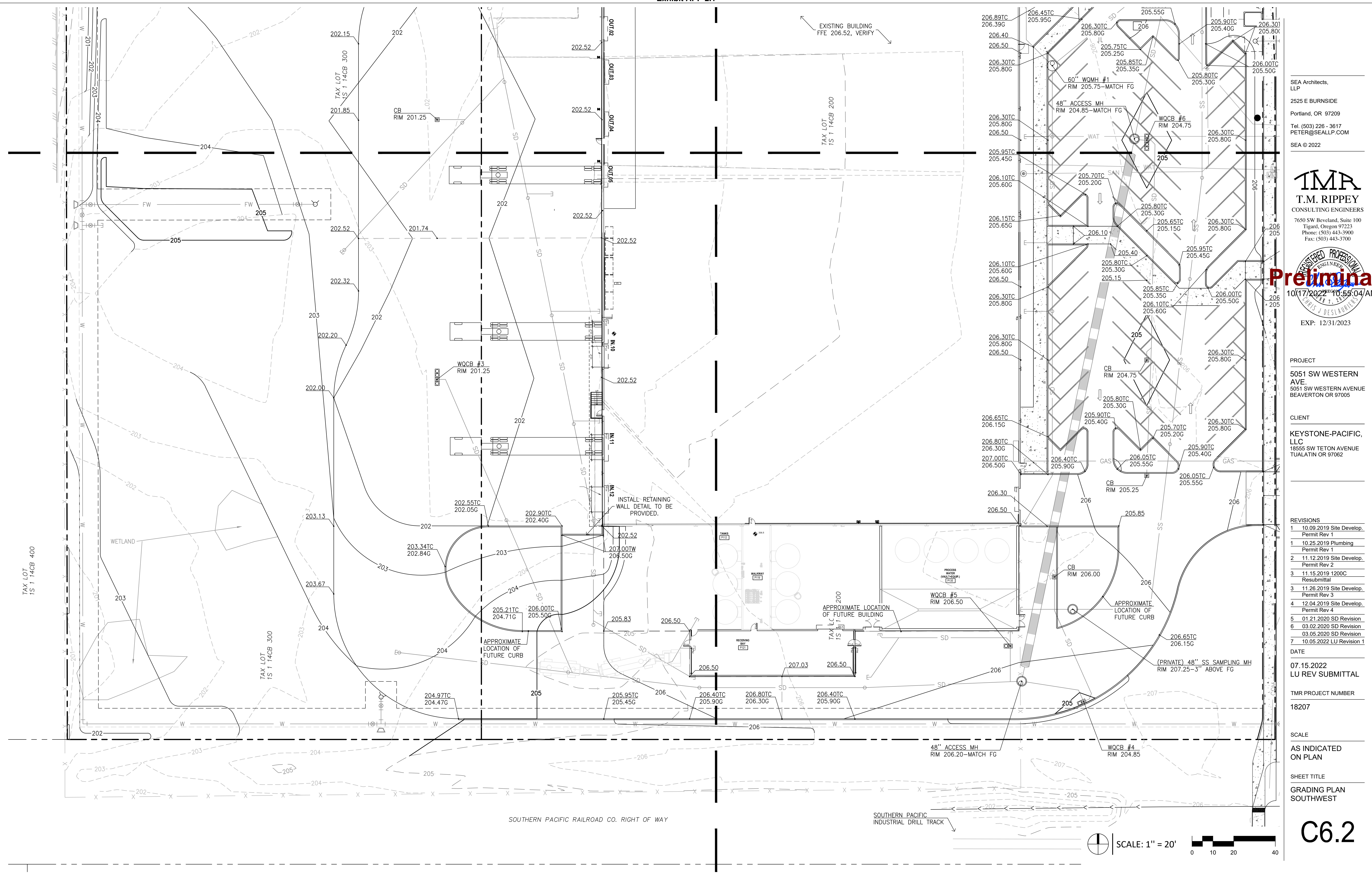
SCALE  
 AS INDICATED  
 ON PLAN

SHEET TITLE  
**GRADING PLAN  
 NORTHWEST**

**C6.1**

SITE DEVELOPMENT PERMIT





SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97233  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**Preliminary**  
 10/17/2022 10:55:04 AM  
 EXP: 12/31/2023

PROJECT  
**5051 SW WESTERN AVENUE**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

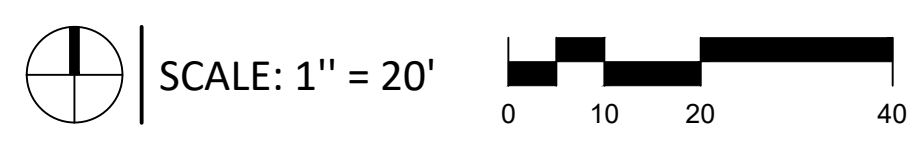
DATE  
**07.15.2022**  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

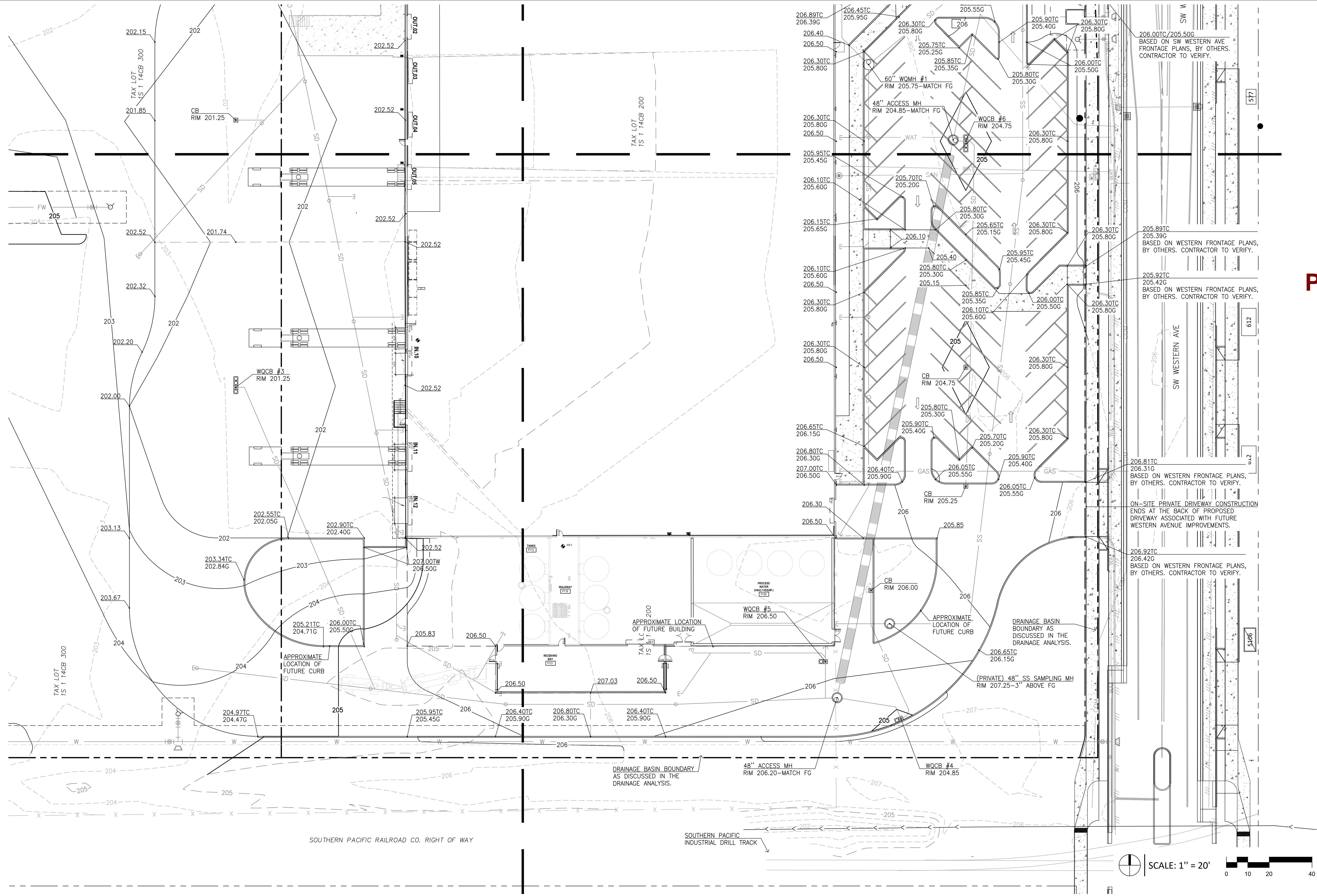
SHEET TITLE  
**GRADING PLAN  
 SOUTHWEST**

**C6.2**



SITE DEVELOPMENT PERMIT





**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**Preliminary**  
 10/17/2022 10:55:04 AM  
 EXP: 12/31/2023

PROJECT  
**5051 SW WESTERN AVENUE**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.05.2022 LU Revision 1

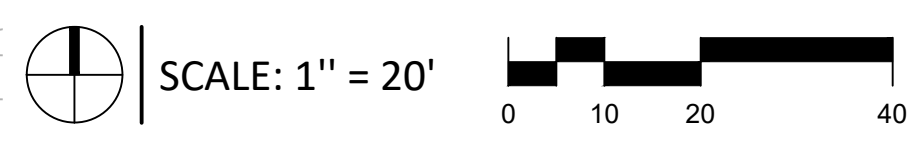
DATE  
**07.15.2022**  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
**18207**

SCALE  
**AS INDICATED ON PLAN**

SHEET TITLE  
**GRADING PLAN SOUTHEAST**

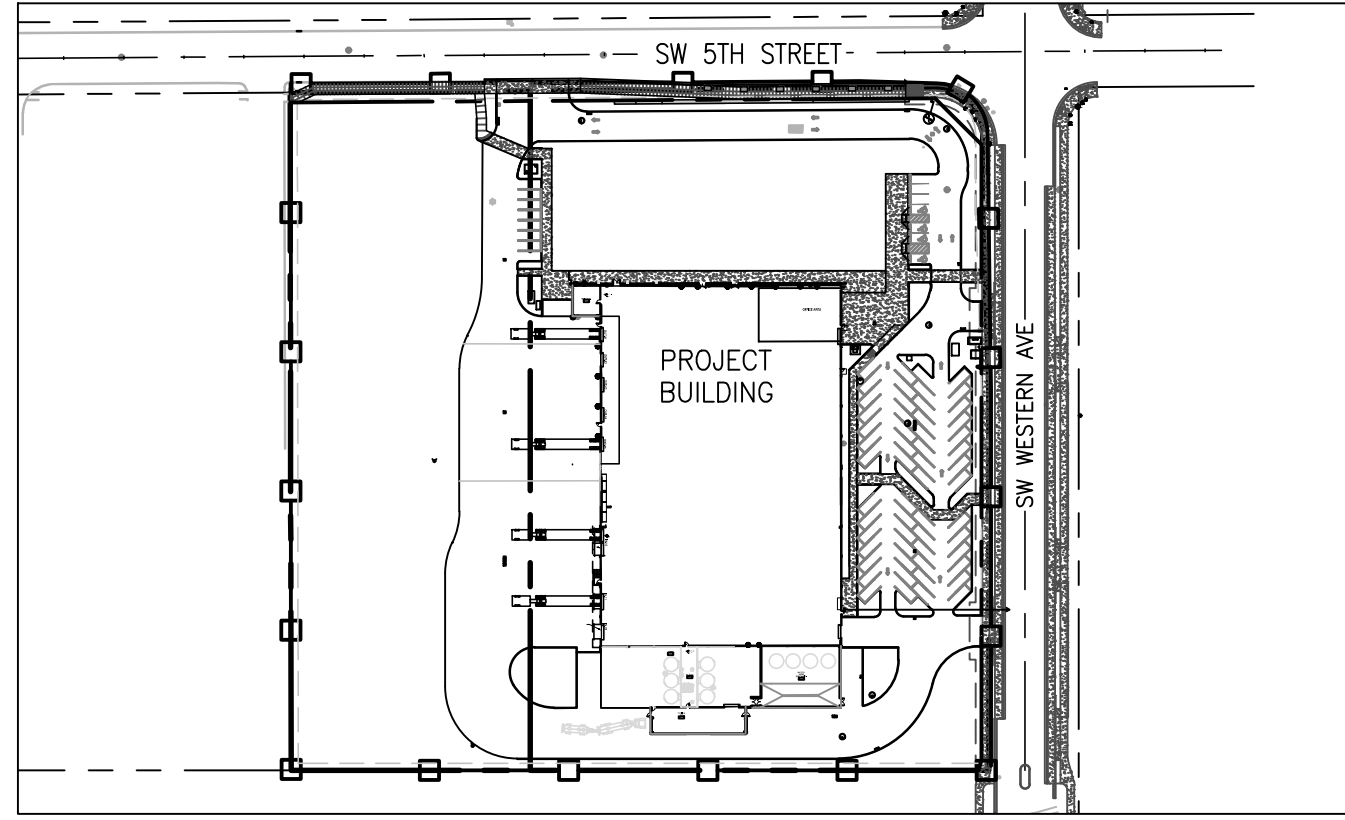
**C6.3**



SITE DEVELOPMENT PERMIT

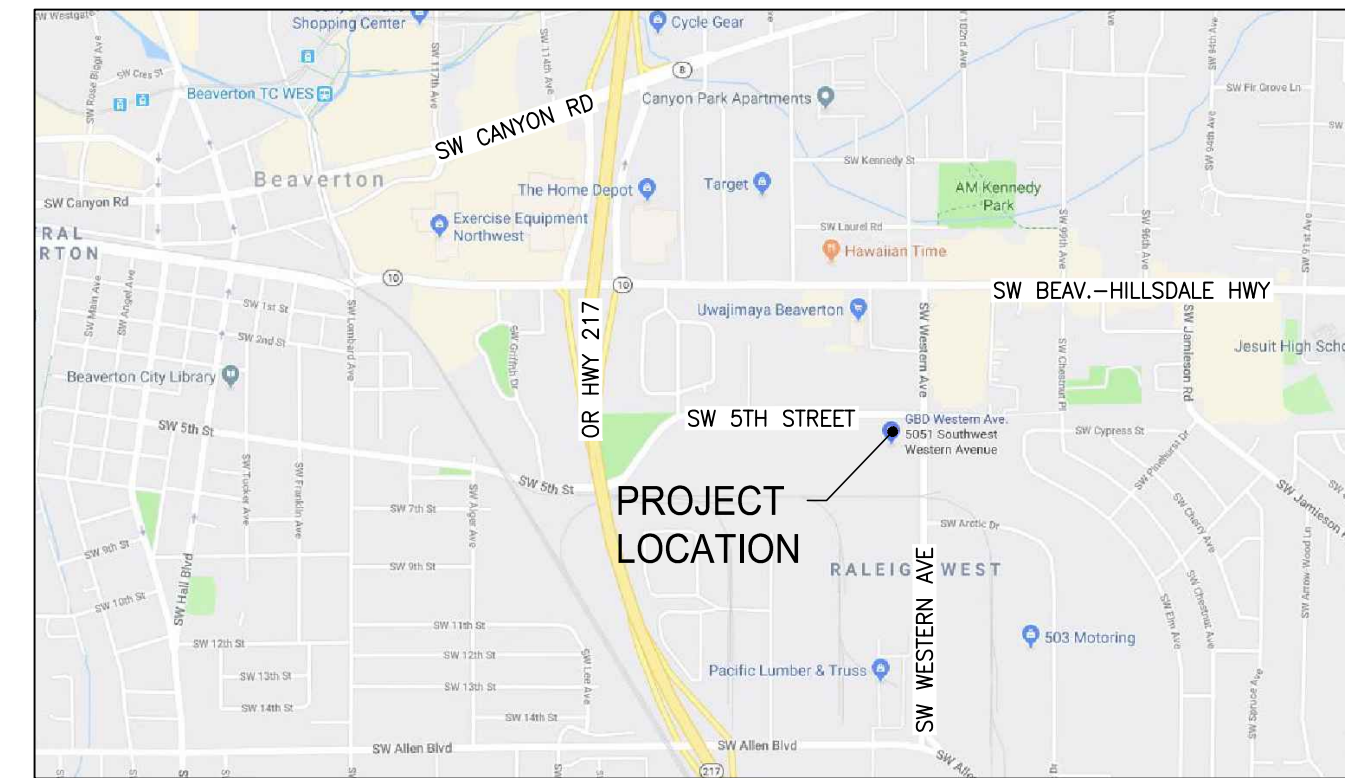
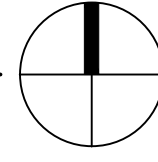


# ESC PLAN FOR SITES 5 ACRES AND GREATER



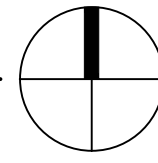
## SITE MAP

NOT TO SCALE



## VICINITY MAP

NOT TO SCALE



## PROJECT LOCATION

5051 SW WESTERN AVE.  
BEAVERTON, OR 97005  
LATITUDE = 45° 28' 58" N, LONGITUDE = 122° 47' 01" W

## PROPERTY DESCRIPTION

TAX LOTS 200 & 300 LOCATED IN SECTION 14, TOWNSHIP 1 SOUTH, RANGE 1 WEST WASHINGTON COUNTY, OREGON

## ATTENTION EXCAVATORS

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503 232 1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503 246 6699.

## RATIONALE STATEMENT

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ GUIDANCE MANUAL HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMP'S WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS, AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESC PLAN, AN ACTION PLAN WILL BE SUBMITTED.

## LOCAL AGENCY-SPECIFIC EROSION CONTROL NOTES

- IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 1; THE TYPE AND PERCENTAGES OF SEED IN THE MIX MUST BE IDENTIFIED ON THE PLANS.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP (I.E. FILTER BAG).
- ALL EXPOSED SOILS MUST BE COVERED DURING THE WET WEATHER PERIOD, OCTOBER 01 - MAY 31.

## PROJECT TEAM

### DEVELOPER / OWNER

KEYSTONE-PACIFIC, LLC  
CONTACT: JOSEPH MCCARTHY  
18555 SW TETON AVENUE  
TUALATIN, OREGON 97062  
PHONE: 503 303 0360  
E-MAIL: joe.mccarthy@keystone-pacific.com

### CIVIL ENGINEER

TM RIPPEY CONSULTING ENGINEERS  
CONTACT: KARL KOROCH, PE  
7650 SW BEVELAND ST, SUITE 100  
TIGARD, OR 97223  
PHONE: 503 443 3900  
E-MAIL: kkoroch@tmrippey.com

### SURVEYOR

FORD ENGINEERING, INC.  
CONTACT: FRED FORD  
12205 IOKA WAY NW  
SILVERDALE, WA 98383  
PHONE: 503 624 2050  
E-MAIL: fcf@fordeng.com

## STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES

- HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS. (SCHEDULE A.8.C.I.(3))
- ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS. (SCHEDULE A.12.B AND SCHEDULE B.1)
- INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS. (SCHEDULE B.1.C AND B.2)
- RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ, AGENT, OR THE LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, THE ABOVE RECORDS MUST BE RETAINED BY THE PERMIT REGISTRANT BUT DO NOT NEED TO BE AT THE CONSTRUCTION SITE. (SCHEDULE B.2.C)
- ALL PERMIT REGISTRANTS MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTROL MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT. (SCHEDULE A 8.A)
- THE ESCP MUST BE ACCURATE AND REFLECT SITE CONDITIONS. (SCHEDULE A.12.C.I)
- SUBMISSION OF ALL ESCP REVISIONS IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISIONS IS ONLY UNDER SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISION TO DEQ OR AGENT WITHIN 10 DAYS. (SCHEDULE A.12.C.IV. AND V)
- PHASE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED INACTIVE AREAS FROM BECOMING A SOURCE OF EROSION. (SCHEDULE A.7.A.III)
- IDENTIFY, MARK, AND PROTECT (BY CONSTRUCTION FENCING OR OTHER MEANS) CRITICAL RIPARIAN AREAS AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, AND VEGETATION AREAS TO BE PRESERVED. IDENTIFY VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITIVE AREAS (E.G., WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS. (SCHEDULE A.8.C.I.(1) AND (2))
- PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS. RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE OF VEGETATIVE SEED MIX USED. (SCHEDULE A.7.A.V)
- MAINTAIN AND DELINEATE ANY EXISTING NATURAL BUFFER WITHIN THE 50-FEET OF WATERS OF THE STATE. (SCHEDULE A.7.B.I.AND (2)(A)(B))
- INSTALL PERIMETER SEDIMENT CONTROL, INCLUDING STORM DRAIN INLET PROTECTION AS WELL AS ALL SEDIMENT BASINS, TRAPS, AND BARRIERS PRIOR TO LAND DISTURBANCE. (SCHEDULE A.8.C.I.(5))
- CONTROL BOTH PEAK FLOW RATES AND TOTAL STORMWATER VOLUME, TO MINIMIZE EROSION AT OUTLETS AND DOWNSTREAM CHANNELS AND STREAMBANKS. (SCHEDULE A.7.C)
- CONTROL SEDIMENT AS NEEDED ALONG THE SITE PERIMETER AND AT ALL OPERATIONAL INTERNAL STORM DRAIN INLETS AT ALL TIMES DURING CONSTRUCTION, BOTH INTERNALLY AND AT THE SITE BOUNDARY. (SCHEDULE A.7.D.I)
- ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING CONCRETE WORK. (SCHEDULE A.8.C.I.(6))
- APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES. TEMPORARY OR PERMANENT STABILIZATIONS MEASURES ARE NOT REQUIRED FOR AREAS THAT ARE INTENDED TO BE LEFT UNVEGETATED, SUCH AS DIRT ACCESS ROADS OR UTILITY POLE PADS.(SCHEDULE A.8.C.II.(3))
- ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS. (SCHEDULE A.8.C.I.(7))
- PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMP'S SUCH AS: CONSTRUCTION ENTRANCE, GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOCATED ONSITE, OR USE AN EXIT TIRE WASH. THESE BMP'S MUST BE IN PLACE PRIOR TO LAND-DISTURBING ACTIVITIES. (SCHEDULE A 7.D.II AND A.8.C.I.(4))
- WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON SITE. (SCHEDULE A.7.D.II.(5))
- CONTROL PROHIBITED DISCHARGES FROM LEAVING THE CONSTRUCTION SITE, I.E., CONCRETE WASH-OUT, WASTEWATER FROM CLEANOUT OF STUCCO, PAINT AND CURING COMPOUNDS. (SCHEDULE A.6)
- USE BMP'S TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANTS FROM SPILLS; VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVITIES; AND WASTE HANDLING ACTIVITIES. THESE POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, AND OTHER OILS FROM VEHICLES AND MACHINERY, AS WELL AS DEBRIS, FERTILIZER, PESTICIDES AND HERBICIDES, PAINTS, SOLVENTS, CURING COMPOUNDS AND ADHESIVES FROM CONSTRUCTION OPERATIONS. (SCHEDULE A.7.E.I.(2))
- IMPLEMENT THE FOLLOWING BMP'S WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES, EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, SPILL KITS IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL DELIVERY AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE AND SUPPLIES. (SCHEDULE A. 7.E.III.)
- USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WIND-BLOWN SOIL. (SCHEDULE A 7.A.IV)
- THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. EXERCISE CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE. (SCHEDULE A.9.B.III)
- IF AN ACTIVE TREATMENT SYSTEM (FOR EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRATION, ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, LOCATION OF DISCHARGE, DISCHARGE DISPERSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY) BEFORE OPERATING THE TREATMENT SYSTEM. OBTAIN PLAN APPROVAL BEFORE OPERATING THE TREATMENT SYSTEM. OPERATE AND MAINTAIN THE TREATMENT SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS. (SCHEDULE A.9.D)
- TEMPORARILY STABILIZE SOILS AT THE END OF THE SHIFT BEFORE HOLIDAYS AND WEEKENDS, IF NEEDED. THE REGISTRANT IS RESPONSIBLE FOR ENSURING THAT SOILS ARE STABLE DURING RAIN EVENTS AT ALL TIMES OF THE YEAR. (SCHEDULE A 7.B)
- AS NEEDED BASED ON WEATHER CONDITIONS, AT THE END OF EACH WORKDAY SOIL STOCKPILES MUST BE STABILIZED OR COVERED, OR OTHER BMP'S MUST BE IMPLEMENTED TO PREVENT DISCHARGES TO SURFACE WATERS OR CONVEYANCE SYSTEMS LEADING TO SURFACE WATERS. (SCHEDULE A 7.E.II.(2))
- CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND BARE GROUND ACTIVITIES DURING WET WEATHER. (SCHEDULE A.7.A.I)
- SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT AND BEFORE FENCE REMOVAL. (SCHEDULE A.9.C.I)
- OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO INCHES DEPTH ABOVE GROUND HEIGHT AND BEFORE BMP REMOVAL. (SCHEDULE A.9.C.I)
- CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEDIMENT BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT AND AT COMPLETION OF PROJECT. (SCHEDULE A.9.C.III& IV)
- WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REMEDIATED. INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PREVENT A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN-UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIMEFRAME. (SCHEDULE A.9.B.I)
- THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NOT OCCUR. VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS. (SCHEDULE A.9.B.II)
- THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR 30 DAYS OR MORE. (SCHEDULE A.7.F.I)
- PROVIDE TEMPORARY STABILIZATION FOR THAT PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES CEASE FOR 14 DAYS OR MORE WITH A COVERING OF BLOWN STRAW AND A TACKIFIER, LOOSE STRAW, OR AN ADEQUATE COVERING OF COMPOST MULCH UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (SCHEDULE A.7.F.II)
- DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, ALL TEMPORARY EROSION CONTROLS AND RETAINED SOILS MUST BE REMOVED AND DISPOSED OF PROPERLY, UNLESS DOING SO CONFLICTS WITH LOCAL REQUIREMENTS. (SCHEDULE A.8.C.II(1) AND D.3.C.II AND III)

## BMP MATRIX FOR CONSTRUCTION PHASES

REFER TO DEQ GUIDANCE MANUAL FOR A COMPREHENSIVE LIST OF AVAILABLE BMP'S.

	CLEARING	MASS GRADING	UTILITY INSTALLATION	STREET CONSTRUCTION	FINAL STABILIZATION	WET WEATHER (OCT. 1 TO MAY 31)
<b>EROSION PREVENTION</b>						
PRESERVE NATURAL VEGETATION	**x	x	x		x	x
GROUND COVER					x	x
<b>HYDRAULIC APPLICATIONS</b>						
PLASTIC SHEETING					x	
MATTING						x
DUST CONTROL	x	x	x		x	
TEMPORARY/ PERMANENT SEEDING		x	x		x	x
<b>BUFFER ZONE</b>						
<b>SEDIMENT CONTROL</b>						
SEDIMENT FENCE (PERIMETER)	**x	x	x			x
SEDIMENT FENCE (INTERIOR)						
STRAW WATTLES						
FILTER BERM						
INLET PROTECTION	**x	x	x		x	x
DEWATERING						
SEDIMENT TRAP						
NATURAL BUFFER ENCROACHMENT						
<b>RUN OFF CONTROL</b>						
CONSTRUCTION ENTRANCE	**x	x	x			x
PIPE SLOPE DRAIN						
OUTLET PROTECTION						x
SURFACE ROUGHENING						
CHECK DAMS						
<b>POLLUTION PREVENTION</b>						
PROPER SIGNAGE	x	x	x		x	x
HAZ WASTE MGMT	x	x	x			x
SPILL KIT ON-SITE	x	x	x			x
CONCRETE WASHOUT AREA			x			x
OTHER:						

- \* ADDITIONAL BMP'S REQUIRED FOR WORK WITHIN 50' OF WATER OF THE STATE.
- \*\* BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY.

## INSPECTION FREQUENCY

SITE CONDITION	MINIMUM FREQUENCY
1. ACTIVE PERIOD	DAILY WHEN STORMWATER RUNOFF, INCLUDING RUNOFF FROM SNOW MELT, IS OCCURRING. AT LEAST ONCE EVERY 14 CALENDAR DAYS, REGARDLESS OF WETHER STORMWATER RUNOFF IS OCCURRING.
2. PRIOR TO THE SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY.	ONCE TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN WORKING ORDER. ANY NECESSARY MAINTENANCE AND REPAIR MUST BE MADE PRIOR TO LEAVING THE SITE.
3. INACTIVE PERIODS GREATER THAN 14 CONSECUTIVE CALENDAR DAYS.	ONCE EVERY MONTH.
4. PERIODS DURING WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER.	IF PRACTICAL, INSPECTIONS MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION.
5. PERIODS DURING WHICH DISCHARGE IS UNLIKELY DUE TO FROZEN CONDITIONS	MONTHLY. RESUME MONITORING IMMEDIATELY UPON MELT, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.

## PERMITTEE'S SITE INSPECTOR

AUGGIE SAUCEDO  
6421 NE COLWOOD WAY  
PORTLAND, OR 97218  
PHONE: 503 810 0133

DESCRIPTION OF EXPERIENCE:  
INSPECTOR CERTIFICATION ID  
#ECO-3-5311918

## NARRATIVE DESCRIPTION

**EXISTING SITE CONDITIONS**  
TAX LOT 200: EXISTING LIGHT INDUSTRIAL & OFFICE BUILDING WITH ASSOCIATED PARKING, LANDSCAPING AND UTILITIES.

TAX LOT 300: UNDEVELOPED GRAVEL PARKING AND OPEN GRASS AREAS.

**DEVELOPED CONDITIONS**  
RECONSTRUCTED BUILDING, PAVED AUTO PARKING, LANDSCAPING, AND UTILITIES ASSOCIATED WITH FULL DEVELOPMENT OF THE SITE.

**NATURE OF CONSTRUCTION ACTIVITY AND ESTIMATED TIME TABLE**

- MASS GRADING: OCTOBER 2019
- UTILITY INSTALLATION: OCTOBER 2019 - MAY 2020
- BUILDING CONSTRUCTION: NOVEMBER 2019 - AUGUST 2020
- FINAL STABILIZATION: AUGUST 2020

TOTAL SITE AREA = 327,251 SF = 7.51 ACRES  
TOTAL DISTURBED AREA = 337,717 SF = 7.75 ACRES

## SHEET INDEX

- C7 EROSION & SEDIMENT CONTROL COVER SHEET
- C7.1 CLEARING & DEMOLITION, MASS GRADING EROSION & SEDIMENT CONTROL PLAN
- C7.2 GRADING & UTILITY CONSTRUCTION EROSION & SEDIMENT CONTROL PLAN
- C7.2.1 GRADING & UTILITY CONSTRUCTION EROSION & SEDIMENT CONTROL PLAN
- C7.3 EROSION & SEDIMENT CONTROL DETAILS

**SITE SOIL CLASSIFICATION**  
1 ALOHA SILT LOAM, (0-3% SLOPES)

ON-SITE SOILS HAVE A LOW EROSION POTENTIAL. FILL MATERIAL SHALL BE GENERATED ON-SITE FROM GRADING EXCAVATION & UTILITY TRENCH SPOILS.

**RECEIVING WATER BODIES**  
ON-SITE STORMWATER IS COLLECTED THROUGH TREATMENT CATCH BASINS, CONVEYED THROUGH A SERIES OF PIPES TO DETENTION CHAMBERS AND RELEASED THROUGH A FLOW CONTROL MANHOLE INTO THE EXISTING PUBLIC STORMWATER PIPING SYSTEM WITHIN SW WESTERN AVE. STORMWATER FLOWS ULTIMATELY OUTFALL TO BEAVERTON CREEK.

THE PERMITTEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200C PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200C PERMIT REQUIREMENTS. IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200C PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

REGISTERED PROFESSIONAL ENGINEER  
10/17/2022 10:55:04 AM  
T.M. RIPPEY  
EXP: 12/31/2023

Preliminary

PROJECT  
5051 SW WESTERN AVE.  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

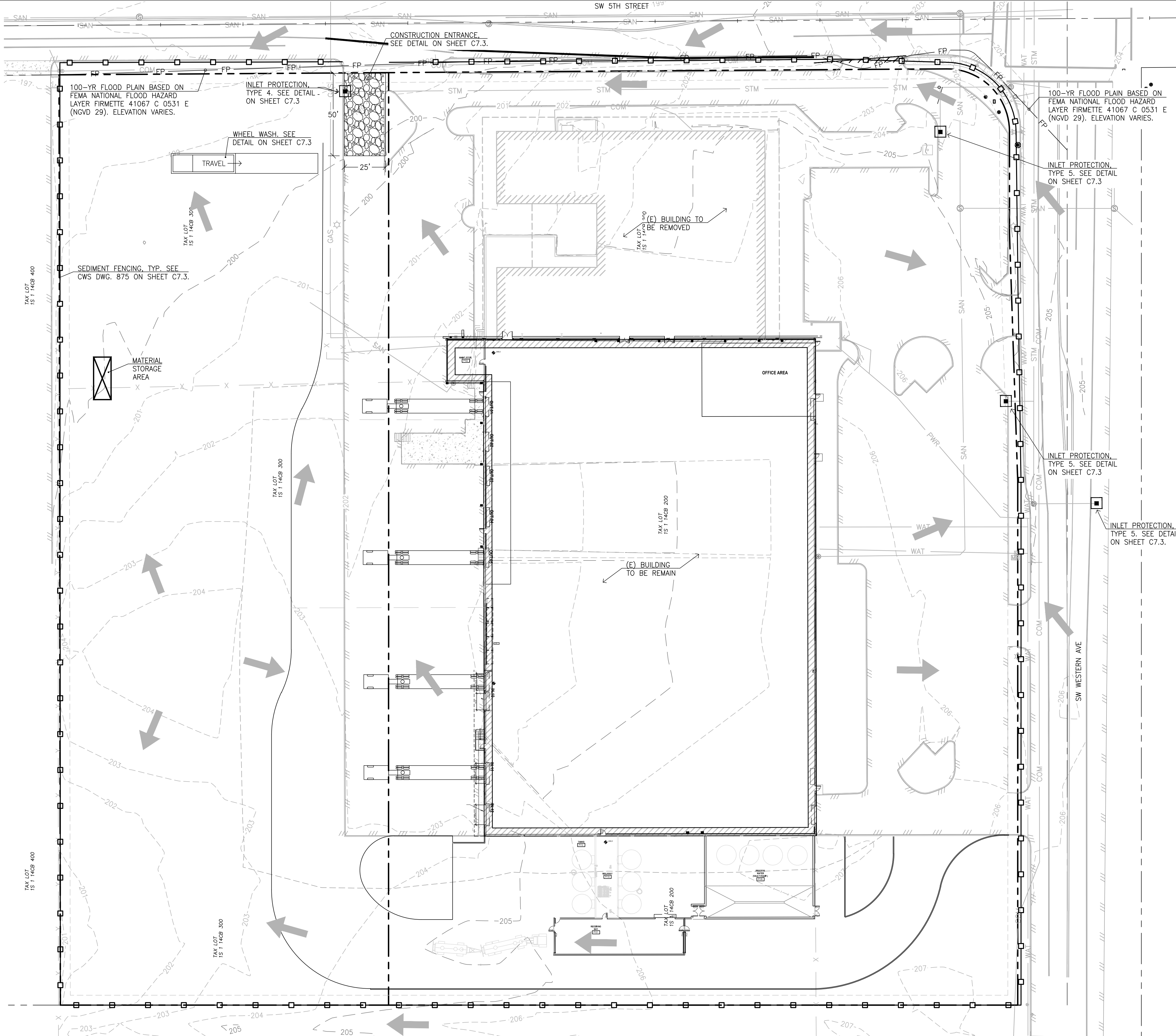
TMR PROJECT NUMBER  
18207

SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
EROSION & SEDIMENT CONTROL COVER SHEET

C7





**LEGEND**

- PROJECT BOUNDARY
- PROPERTY LINE
- EDGE OF PAVEMENT
- 1' CONTOUR
- 5' CONTOUR
- STORM SEWER LINE
- WATER LINE
- SANITARY SEWER LINE
- GAS LINE
- OVERHEAD UTILITY WIRE
- EXISTING FEATURE OR CONDITION (E)
- EXISTING SURFACE DRAINAGE FLOW DIRECTION
- EROSION CONTROL FENCE, SEE DETAIL ON SHEET C7.3
- INLET PROTECTION, SEE DETAIL ON SHEET C7.3
- CONSTRUCTION ENTRANCE, SEE DETAIL ON C7.3
- CONCRETE WASHOUT, SEE DETAIL ON SHEET C7.3
- MATERIAL STORAGE AREA (HAZARD WASTE, SOLID WASTE, FUELING, STAGING, EQUIPMENT MAINTENANCE, & PORT-A-POTTY)

**PRE-CONSTRUCTION, CLEARING & DEMOLITION NOTES**

1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
  2. SEDIMENT BARRIERS APPROVED FOR USE INCLUDE SEDIMENT FENCE, BERMS CONSTRUCTED OUT OF MULCH, CHIPPINGS, OR OTHER SUITABLE MATERIAL, STRAW WATTLES, OR OTHER APPROVED MATERIALS.
  3. SENSITIVE RESOURCES INCLUDING, BUT NOT LIMITED TO, TREES, WETLANDS, AND RIPARIAN PROTECTION AREAS SHALL BE CLEARLY DELINEATED WITH ORANGE CONSTRUCTION FENCING OR CHAIN LINK FENCING IN A MANNER THAT IS CLEARLY VISIBLE TO ANYONE IN THE AREA. NO ACTIVITIES ARE PERMITTED TO OCCUR BEYOND THE CONSTRUCTION BARRIER.
  4. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, STREET SWEEPING, AND VACUUMING, MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
  5. RUN-ON AND RUN-OFF CONTROLS SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-ON AND RUN-OFF CONTROL MEASURES INCLUDE: SLOPE DRAINS (WITH OUTLET PROTECTION), CHECK DAMS, SURFACE ROUGHENING, AND BANK STABILIZATION.
- NOTE: THESE EROSION AND SEDIMENT CONTROL PLANS ASSUME 'DRY WEATHER' CONSTRUCTION. 'WET WEATHER' CONSTRUCTION MEASURES NEED TO BE APPLIED BETWEEN OCTOBER 1ST AND MAY 31ST.
- NOTE: PRE-DEVELOPED RUN-OFF SHEET FLOWS TO THE NORTHWEST AND SOUTHEAST TO EXISTING SITE BOUNDARIES, AS WELL AS TO THE NORTH AND EAST INTO ON-SITE DRAINAGE STRUCTURES.
- NOTE: BIO-BAGS NOT ALLOWED AT SW WESTERN AVENUE.

SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel. (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

**TMR**  
T.M. RIPPEY  
CONSULTING ENGINEERS  
7650 SW Beveland, Suite 100  
Tigard, Oregon 97223  
Phone: (503) 443-3900  
Fax: (503) 443-3700

**PROFESSIONAL ENGINEER**  
10/17/2022 10:55:04 AM  
EXP: 12/31/2023

**Preliminary**

PROJECT  
**5051 SW WESTERN AVE**  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
**07.15.2022**  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
**18207**

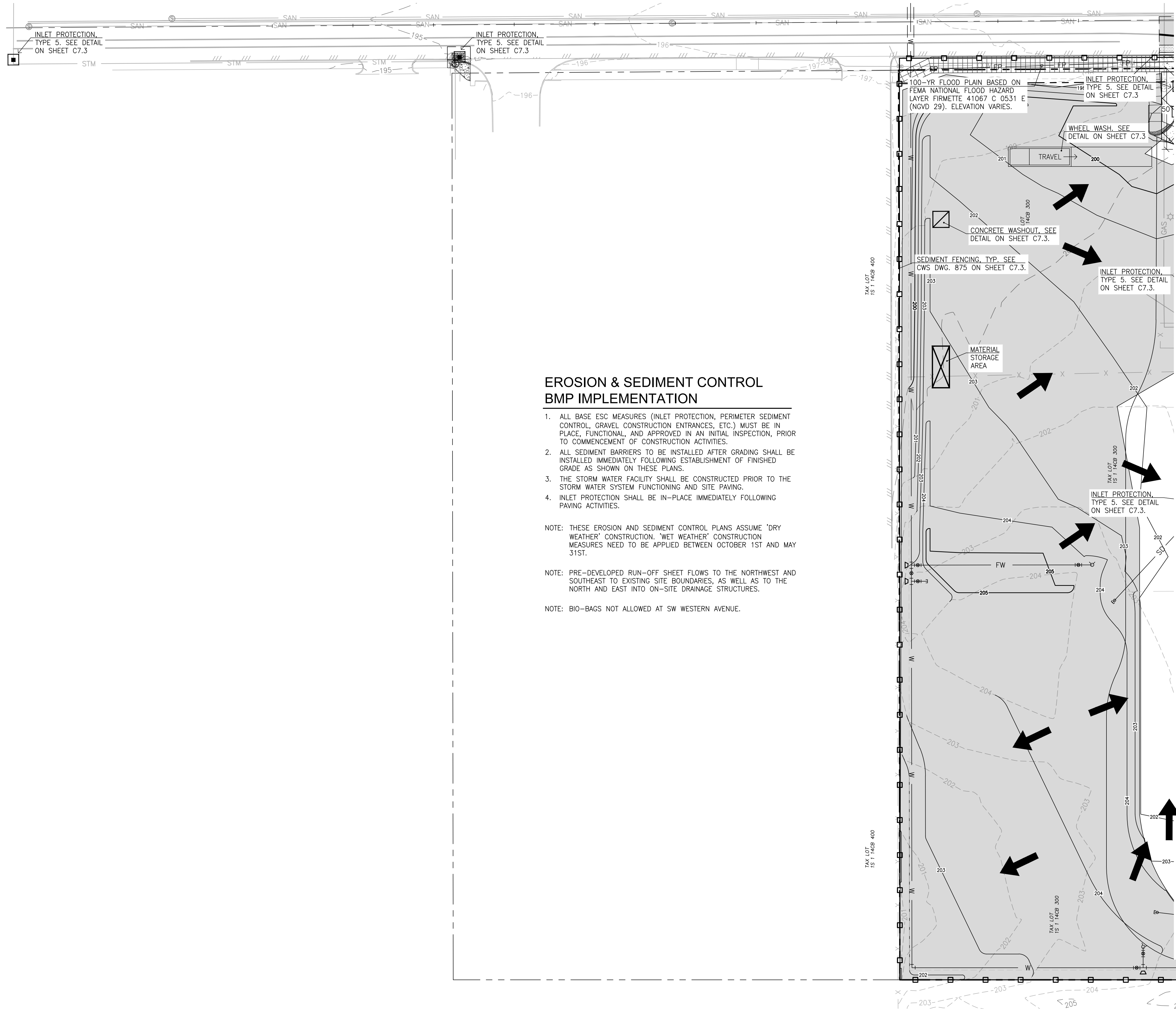
SCALE  
**AS INDICATED ON PLAN**

SHEET TITLE  
**CLEARING, DEMO & MASS GRADING EROSION & SEDIMENT CONTROL PLAN**

**C7.1**







**LEGEND**

PROJECT BOUNDARY	---
PROPERTY LINE	- - - -
EDGE OF PAVEMENT	///
1' CONTOUR	- - - 144
5' CONTOUR	- - - 145
STORM SEWER LINE	--- STM ---
WATER LINE	--- WATER ---
SANITARY SEWER LINE	--- SAN ---
GAS LINE	--- GAS ---
OVERHEAD UTILITY WIRE	--- OHW ---
EXISTING FEATURE OR CONDITION	(E)
EROSION CONTROL FENCE	□
PROPOSED SURFACE DRAINAGE FLOW DIRECTION	➔
INLET PROTECTION, SEE DETAILS ON SHEET C7.3	■
CONSTRUCTION ENTRANCE, SEE DETAIL ON SHEET C7.3	▣
CONCRETE WASHOUT, SEE DETAIL ON SHEET C7.3	▣
MATERIAL STORAGE AREA (HAZARD WASTE, SOLID WASTE, FUELING, STAGING, EQUIPMENT MAINTENANCE, & PORT-A-POTTY)	▣
AREA OF FILL	▣
AREA OF CUT	▣

**GRADING, STREET AND UTILITY EROSION & SEDIMENT CONSTRUCTION NOTES**

- SEED USED FOR TEMPORARY OR PERMANENT SEEDING AT FINAL STABILIZATION OR FROM OCT. 1 TO MAY 31 SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
  - VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
  - DWARF GRASS MIX (MIN. 100 LB./AC.)
    - DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
    - CREeping RED FESCUE (20% BY WEIGHT)
  - STANDARD HEIGHT GRASS MIX (MIN. 100LB./AC.)
    - ANNUAL RYEGRASS (40% BY WEIGHT)
    - TURF-TYPE FESCUE (60% BY WEIGHT)
- SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING 'WET WEATHER' PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
- SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
- AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
- USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

**EROSION & SEDIMENT CONTROL BMP IMPLEMENTATION**

- ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- ALL SEDIMENT BARRIERS TO BE INSTALLED AFTER GRADING SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
- THE STORM WATER FACILITY SHALL BE CONSTRUCTED PRIOR TO THE STORM WATER SYSTEM FUNCTIONING AND SITE PAVING.
- INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

NOTE: THESE EROSION AND SEDIMENT CONTROL PLANS ASSUME 'DRY WEATHER' CONSTRUCTION. 'WET WEATHER' CONSTRUCTION MEASURES NEED TO BE APPLIED BETWEEN OCTOBER 1ST AND MAY 31ST.

NOTE: PRE-DEVELOPED RUN-OFF SHEET FLOWS TO THE NORTHWEST AND SOUTHEAST TO EXISTING SITE BOUNDARIES, AS WELL AS TO THE NORTH AND EAST INTO ON-SITE DRAINAGE STRUCTURES.

NOTE: BIO-BAGS NOT ALLOWED AT SW WESTERN AVENUE.

SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**Preliminary**  
 10/17/2022 10:55:04 AM  
 EXP: 12/31/2023

PROJECT  
**5051 SW WESTERN AVE.**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

**REVISIONS**

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

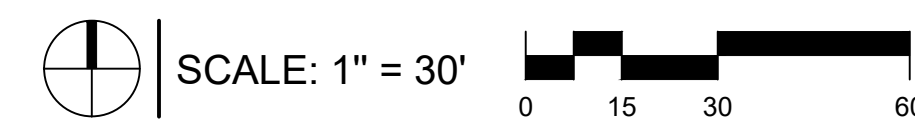
DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

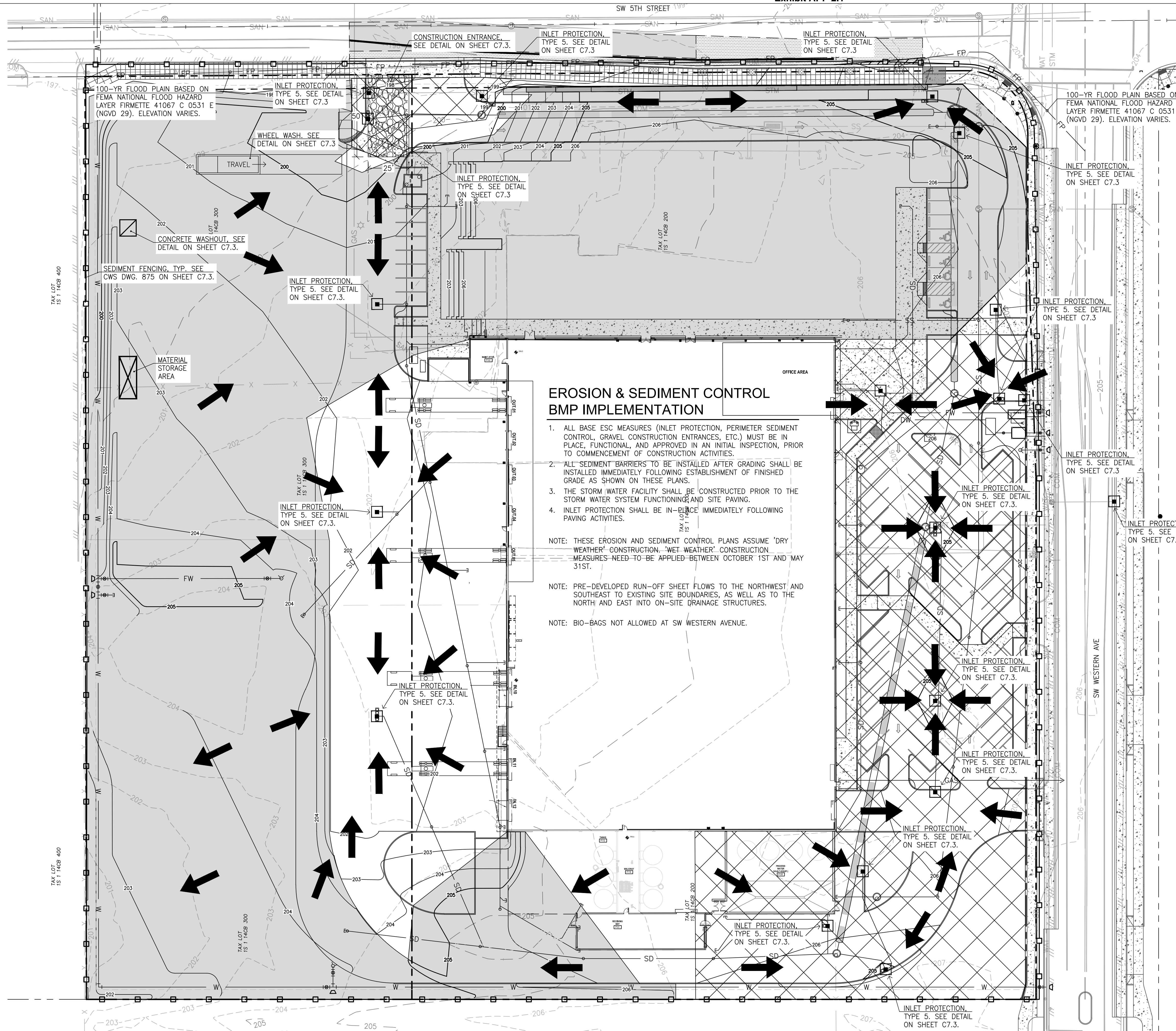
SHEET TITLE  
 GRADING & UTILITY  
 CONSTRUCTION EROSION &  
 SEDIMENT CONTROL PLAN

**C7.2.1**



SITE DEVELOPMENT PERMIT





**LEGEND**

- PROJECT BOUNDARY
- PROPERTY LINE
- EDGE OF PAVEMENT
- 1' CONTOUR
- 5' CONTOUR
- STORM SEWER LINE
- WATER LINE
- SANITARY SEWER LINE
- GAS LINE
- OVERHEAD UTILITY WIRE
- EXISTING FEATURE OR CONDITION
- EROSION CONTROL FENCE
- PROPOSED SURFACE DRAINAGE
- FLOW DIRECTION
- INLET PROTECTION, SEE DETAILS ON SHEET C7.3
- CONSTRUCTION ENTRANCE, SEE DETAIL ON SHEET C7.3
- CONCRETE WASHOUT, SEE DETAIL ON SHEET C7.3
- MATERIAL STORAGE AREA (HAZARD WASTE, SOLID WASTE, FUELING, STAGING, EQUIPMENT MAINTENANCE, & PORT-A-POTTY)
- AREA OF FILL
- AREA OF CUT

**GRADING, STREET AND UTILITY EROSION & SEDIMENT CONSTRUCTION NOTES**

1. SEED USED FOR TEMPORARY OR PERMANENT SEEDING AT FINAL STABILIZATION OR FROM OCT. 1 TO MAY 31 SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
  - A. VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
  - B. DWARF GRASS MIX (MIN. 100 LB./AC.)
    - 1. DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
    - 2. CREEPING RED FESCUE (20% BY WEIGHT)
  - C. STANDARD HEIGHT GRASS MIX (MIN. 100LB./AC.)
    - 1. ANNUAL RYEGRASS (40% BY WEIGHT)
    - 2. TURF-TYPE FESCUE (60% BY WEIGHT)
2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
3. LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
5. STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
10. SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
13. AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
14. USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
15. COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

**EROSION & SEDIMENT CONTROL BMP IMPLEMENTATION**

1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
  2. ALL SEDIMENT BARRIERS TO BE INSTALLED AFTER GRADING SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
  3. THE STORM WATER FACILITY SHALL BE CONSTRUCTED PRIOR TO THE STORM WATER SYSTEM FUNCTIONING AND SITE PAVING.
  4. INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.
- NOTE: THESE EROSION AND SEDIMENT CONTROL PLANS ASSUME "DRY WEATHER" CONSTRUCTION. "WET WEATHER" CONSTRUCTION MEASURES NEED TO BE APPLIED BETWEEN OCTOBER 1ST AND MAY 31ST.
- NOTE: PRE-DEVELOPED RUN-OFF SHEET FLOWS TO THE NORTHWEST AND SOUTHEAST TO EXISTING SITE BOUNDARIES, AS WELL AS TO THE NORTH AND EAST INTO ON-SITE DRAINAGE STRUCTURES.
- NOTE: BIO-BAGS NOT ALLOWED AT SW WESTERN AVENUE.

SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel: (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**Preliminary**  
 10/17/2022 8:05:04 AM  
 EXP: 12/31/2023

PROJECT  
**5051 SW WESTERN AVE.**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

**REVISIONS**

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

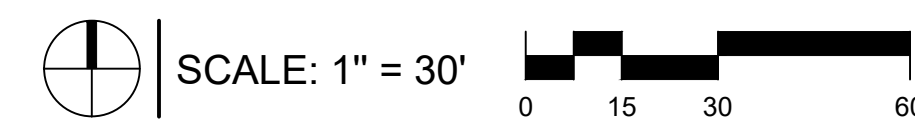
DATE  
**07.15.2022**  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
**AS INDICATED ON PLAN**

SHEET TITLE  
**GRADING & UTILITY CONSTRUCTION EROSION & SEDIMENT CONTROL PLAN**

**C7.2**



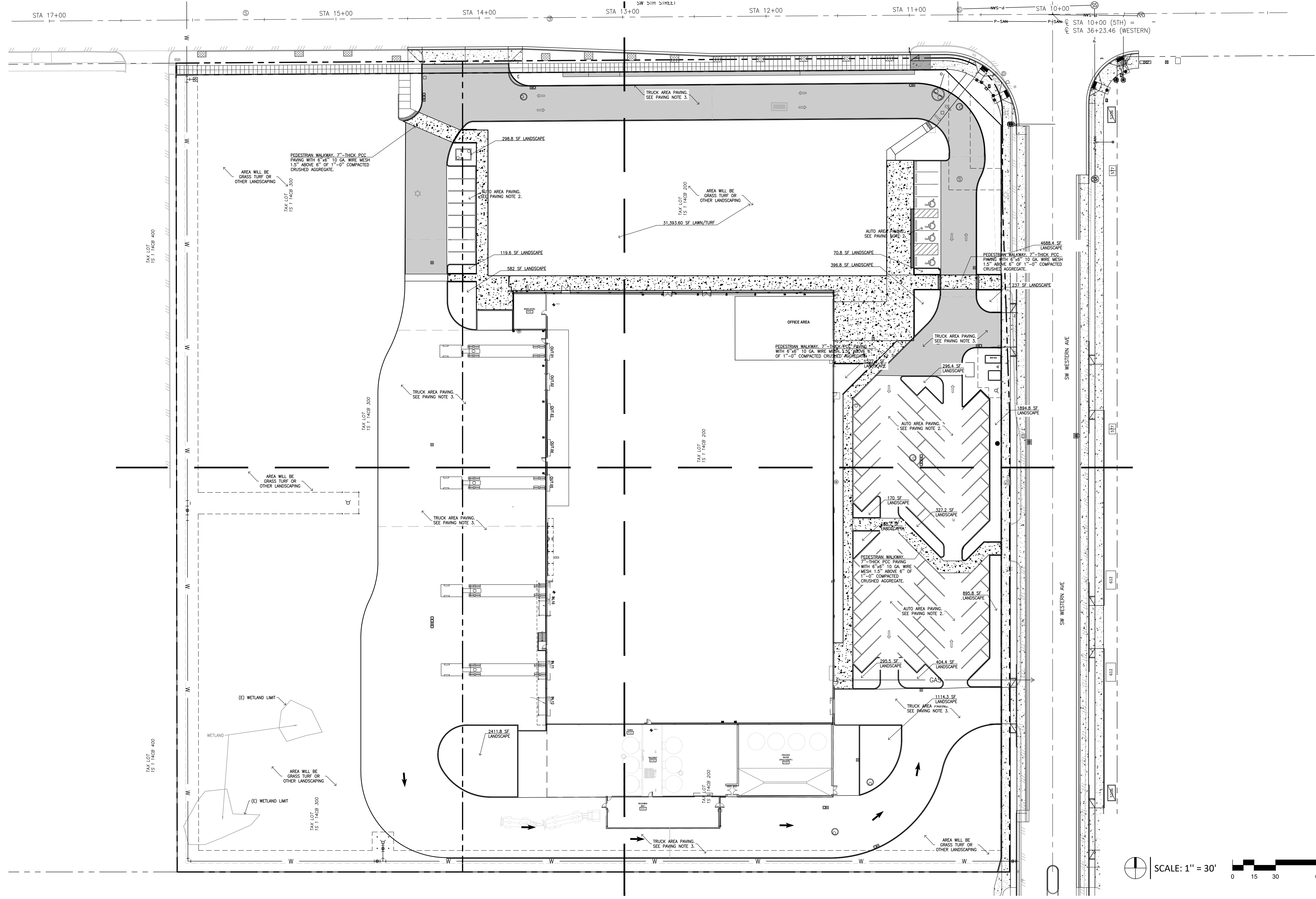
SITE DEVELOPMENT PERMIT







Exhibit APP 2.1



SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**REGISTERED PROFESSIONAL ENGINEER**  
 800589  
*Chris Rippey*  
 OREGON  
 JUNE 7, 2013  
 CHRIS J. DESLAURIERS  
 EXP: 12/31/23

PROJECT  
**5051 SW WESTERN AVE.**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.29.2022 LU Revision 1

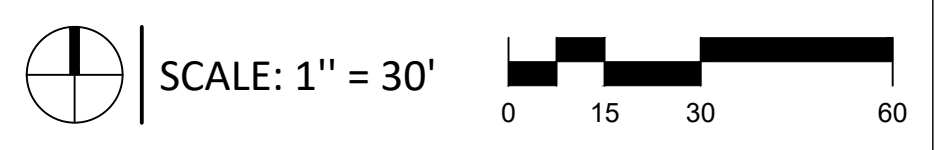
DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

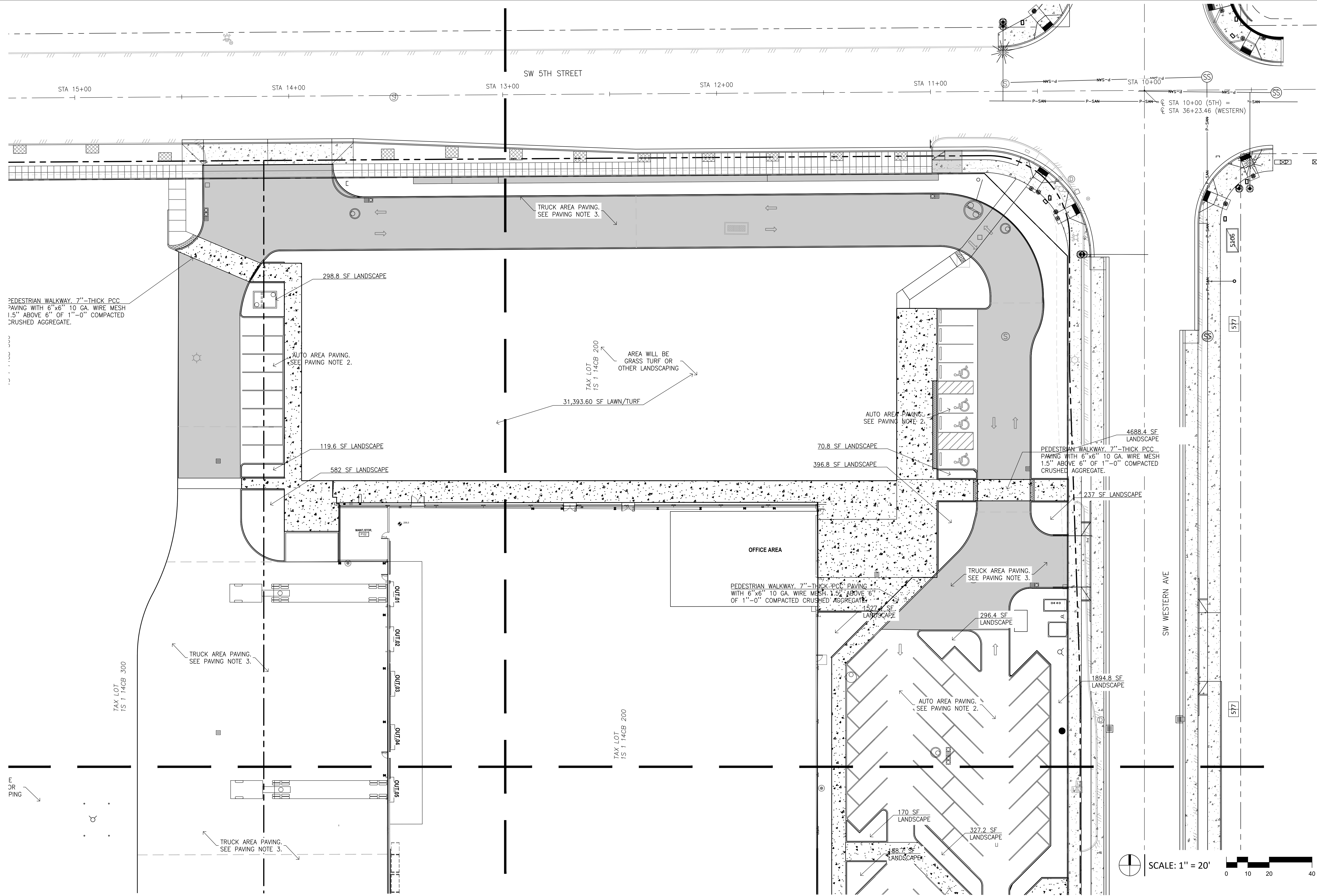
SHEET TITLE  
 ON-SITE PAVING  
 PLAN  
 KEY MAP

**C8**



SITE DEVELOPMENT PERMIT





SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

EXP: 12/31/23

PROJECT  
**5051 SW WESTERN AVENUE**  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
**KEYSTONE-PACIFIC, LLC**  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	10.29.2022 LU Revision 1

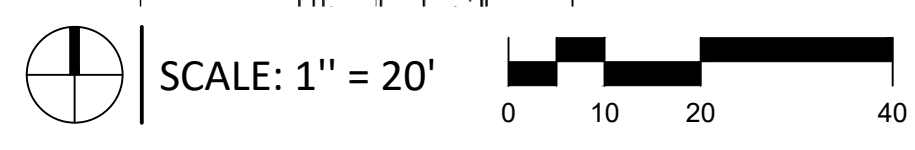
DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

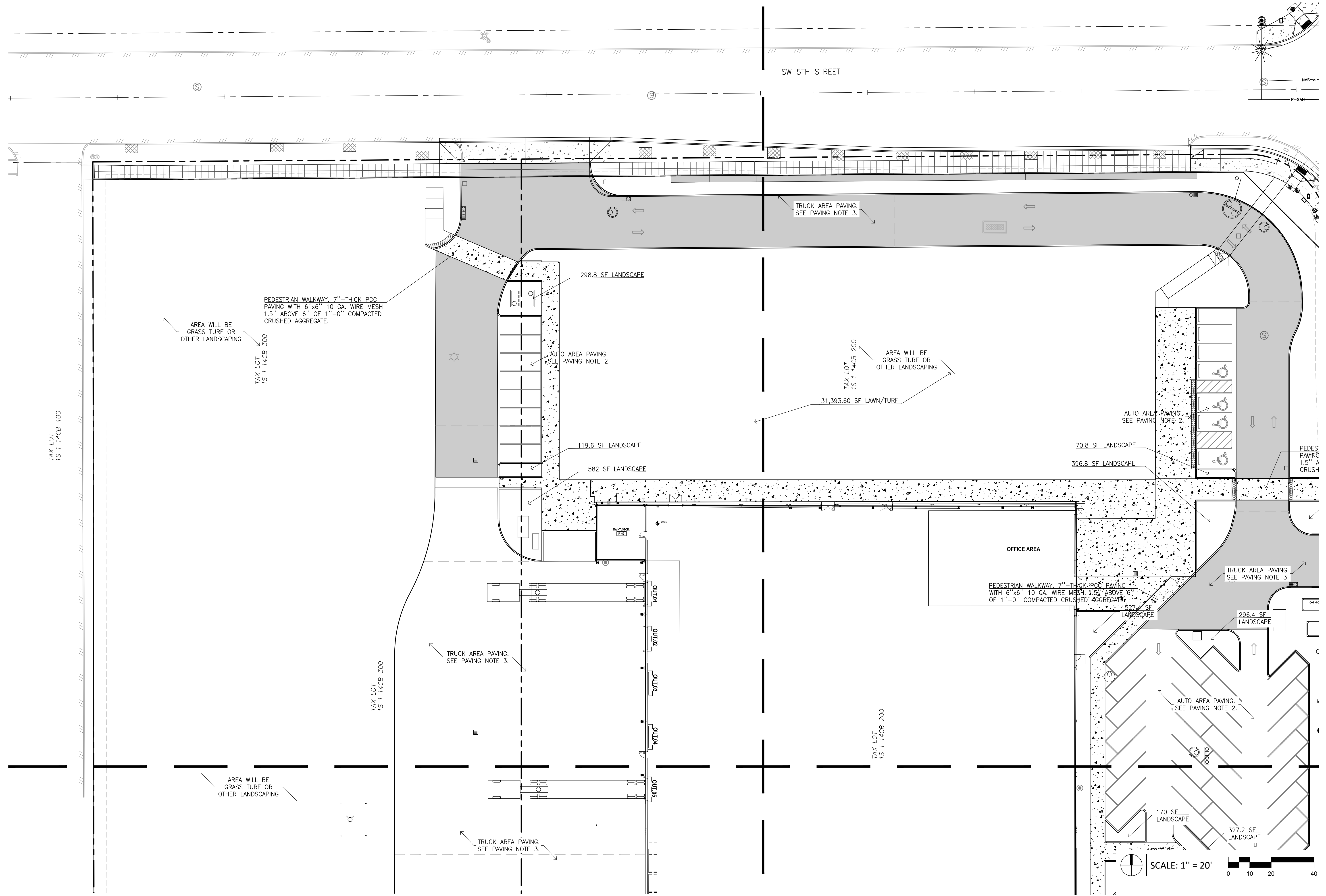
SHEET TITLE  
 ON-SITE PAVING  
 PLAN  
 NORTHEAST

**C8.0**



SITE DEVELOPMENT PERMIT





SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700



PROJECT  
 5051 SW WESTERN  
 AVE.  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
 KEYSTONE-PACIFIC,  
 LLC  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.29.2022 LU Revision 1

DATE  
 07.15.2022  
 LU REV SUBMITTAL

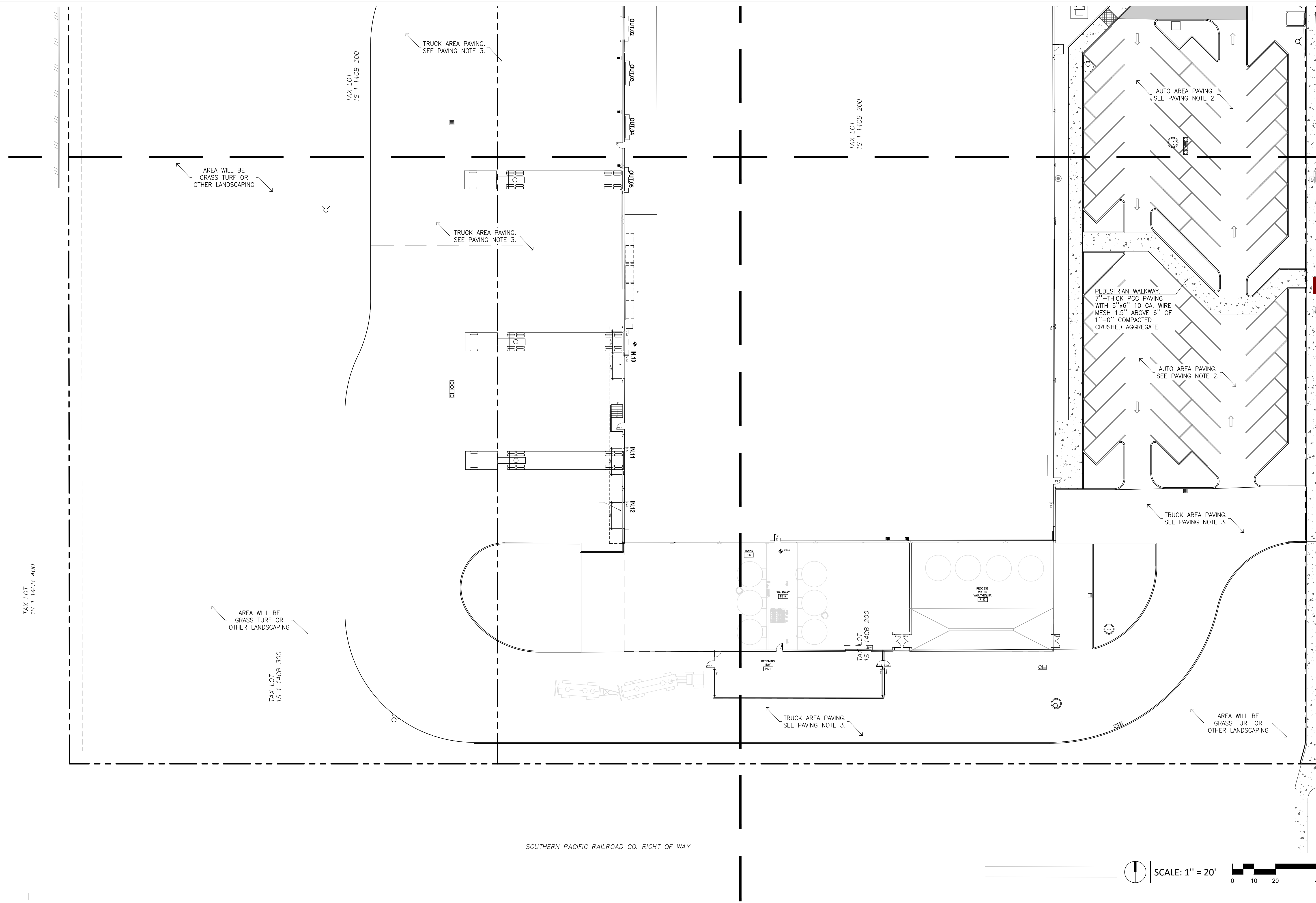
TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

SHEET TITLE  
 ON-SITE PAVING  
 PLAN  
 NORTHWEST

**C8.1**

SITE DEVELOPMENT PERMIT



SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**PROFESSIONAL ENGINEER**  
 T.M. RIPPEY  
 No. 117222  
 Oregon  
 12/7/2022 10:55:05 AM  
 EXP: 12/31/2023

Preliminary

PROJECT  
 5051 SW WESTERN AVE.  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
 KEYSTONE-PACIFIC, LLC  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

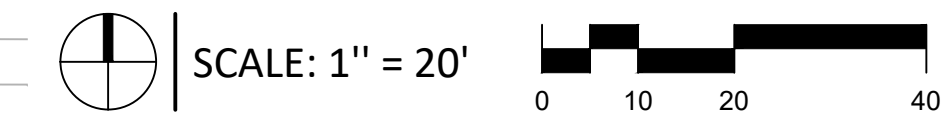
DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

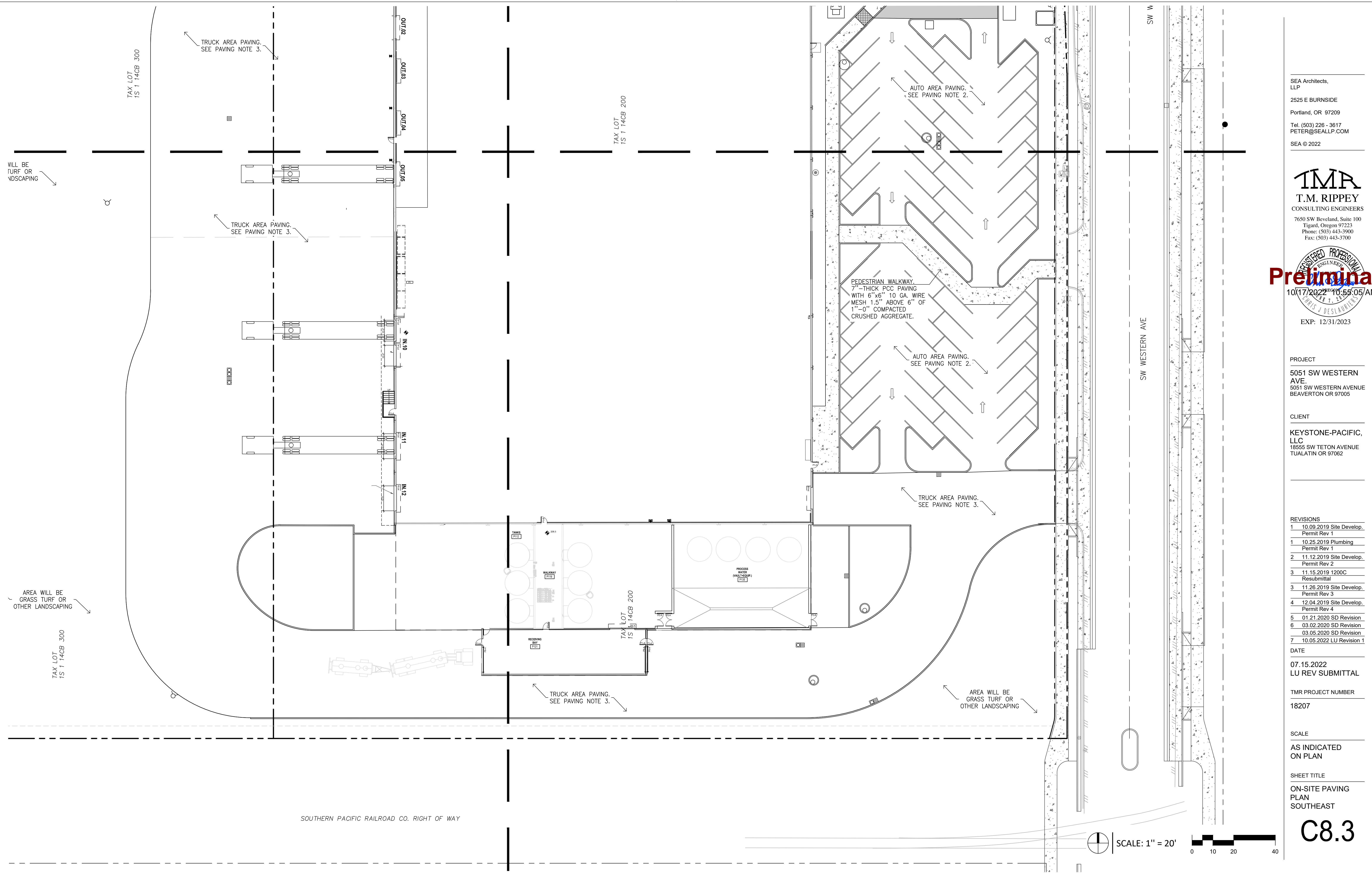
SHEET TITLE  
 ON-SITE PAVING PLAN  
 SOUTHWEST

**C8.2**



SITE DEVELOPMENT PERMIT





SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**Preliminary**  
 10/17/2022 10:55:05 AM  
 EXP: 12/31/2023

PROJECT  
 5051 SW WESTERN AVE.  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
 KEYSTONE-PACIFIC, LLC  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

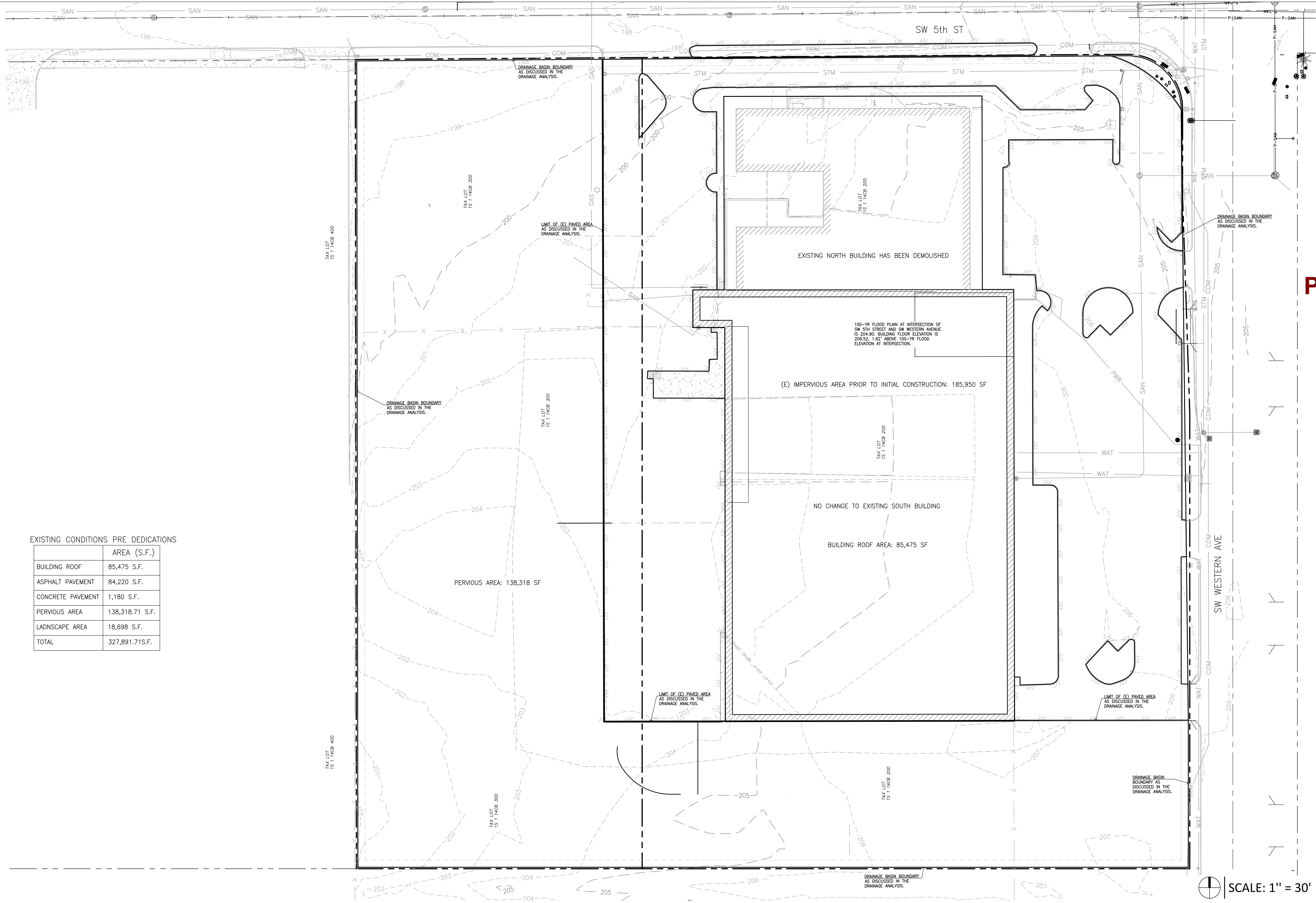
SCALE  
 AS INDICATED  
 ON PLAN

SHEET TITLE  
 ON-SITE PAVING PLAN  
 SOUTHEAST

**C8.3**

SITE DEVELOPMENT PERMIT





EXISTING CONDITIONS PRE DEDICATIONS

	AREA (S.F.)
BUILDING ROOF	85,475 S.F.
ASPHALT PAVEMENT	84,220 S.F.
CONCRETE PAVEMENT	1,180 S.F.
PERVIOUS AREA	138,318.71 S.F.
LADNSCAPE AREA	18,698 S.F.
TOTAL	327,891.71S.F.

SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**Preliminary**  
 10/17/2022 10:55:05 AM  
 EXP: 12/31/2023

PROJECT  
 5051 SW WESTERN AVE  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
 KEYSTONE-PACIFIC, LLC  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

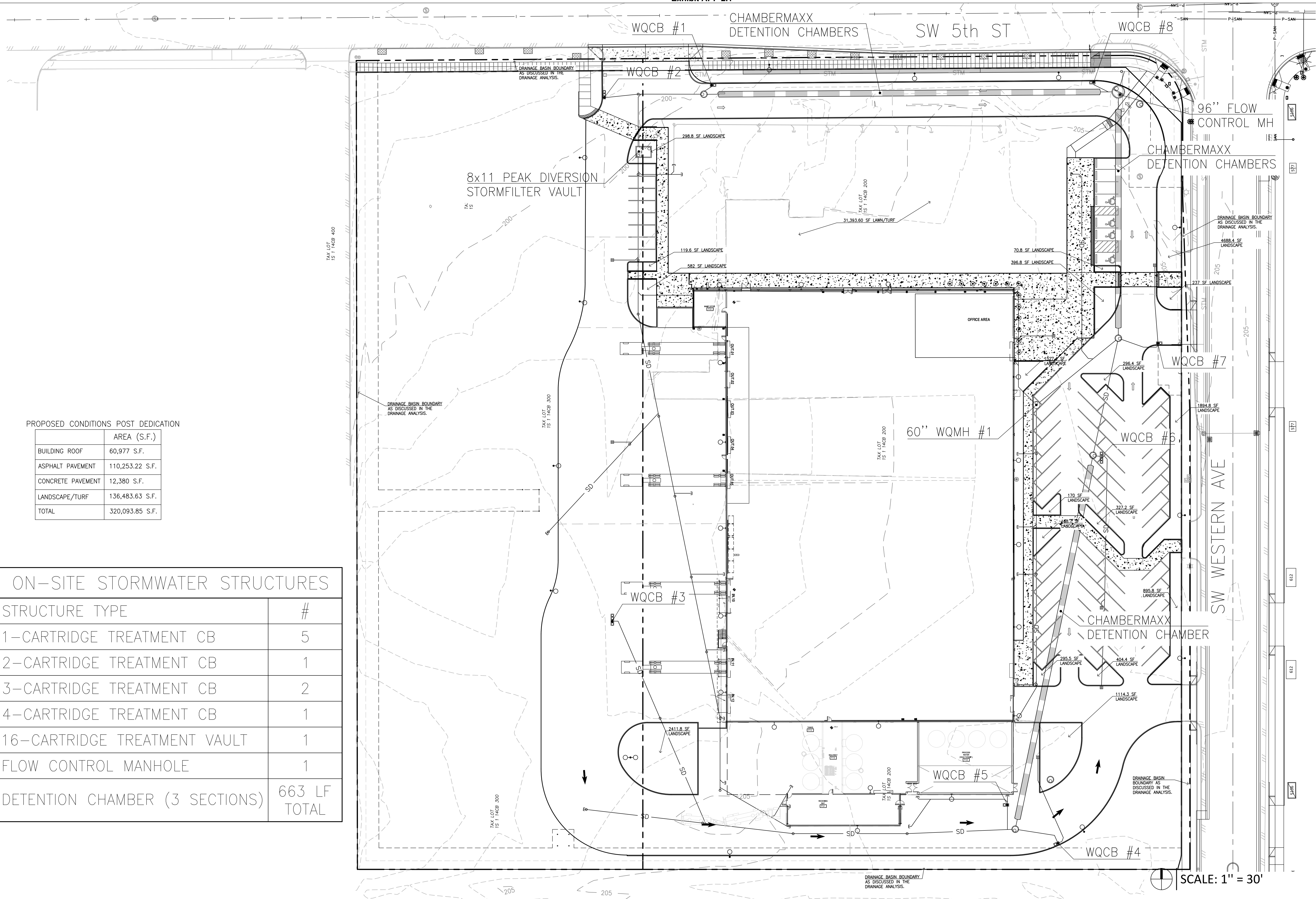
SHEET TITLE  
 PRE-DEVELOPMENT  
 STORM BASIN MAP

C9

SCALE: 1" = 30'

SITE DEVELOPMENT PERMIT





PROPOSED CONDITIONS POST DEDICATION

	AREA (S.F.)
BUILDING ROOF	60,977 S.F.
ASPHALT PAVEMENT	110,253.22 S.F.
CONCRETE PAVEMENT	12,380 S.F.
LANDSCAPE/TURF	136,483.63 S.F.
TOTAL	320,093.85 S.F.

ON-SITE STORMWATER STRUCTURES	
STRUCTURE TYPE	#
1-CARTRIDGE TREATMENT CB	5
2-CARTRIDGE TREATMENT CB	1
3-CARTRIDGE TREATMENT CB	2
4-CARTRIDGE TREATMENT CB	1
16-CARTRIDGE TREATMENT VAULT	1
FLOW CONTROL MANHOLE	1
DETENTION CHAMBER (3 SECTIONS)	663 LF TOTAL

SEA Architects, LLP  
 2525 E BURNSIDE  
 Portland, OR 97209  
 Tel. (503) 226-3617  
 PETER@SEALLP.COM  
 SEA © 2022

**TMR**  
**T.M. RIPPEY**  
 CONSULTING ENGINEERS  
 7650 SW Beveland, Suite 100  
 Tigard, Oregon 97223  
 Phone: (503) 443-3900  
 Fax: (503) 443-3700

**REGISTERED PROFESSIONAL ENGINEER**  
 800589P  
*Chris Rippey*  
 OREGON  
 EXPIRES 12/31/2023  
 CHRIS J DESLAURIERS  
 EXP: 12/31/23

PROJECT  
 5051 SW WESTERN AVE.  
 5051 SW WESTERN AVENUE  
 BEAVERTON OR 97005

CLIENT  
 KEYSTONE-PACIFIC, LLC  
 18555 SW TETON AVENUE  
 TUALATIN OR 97062

- REVISIONS
- 1 10.09.2019 Site Develop. Permit Rev 1
  - 1 10.25.2019 Plumbing Permit Rev 1
  - 2 11.12.2019 Site Develop. Permit Rev 2
  - 3 11.15.2019 1200C Resubmittal
  - 3 11.26.2019 Site Develop. Permit Rev 3
  - 4 12.04.2019 Site Develop. Permit Rev 4
  - 5 01.21.2020 SD Revision
  - 6 03.02.2020 SD Revision
  - 7 03.05.2020 SD Revision
  - 7 10.29.2022 LU Revision 1

DATE  
 07.15.2022  
 LU REV SUBMITTAL

TMR PROJECT NUMBER  
 18207

SCALE  
 AS INDICATED  
 ON PLAN

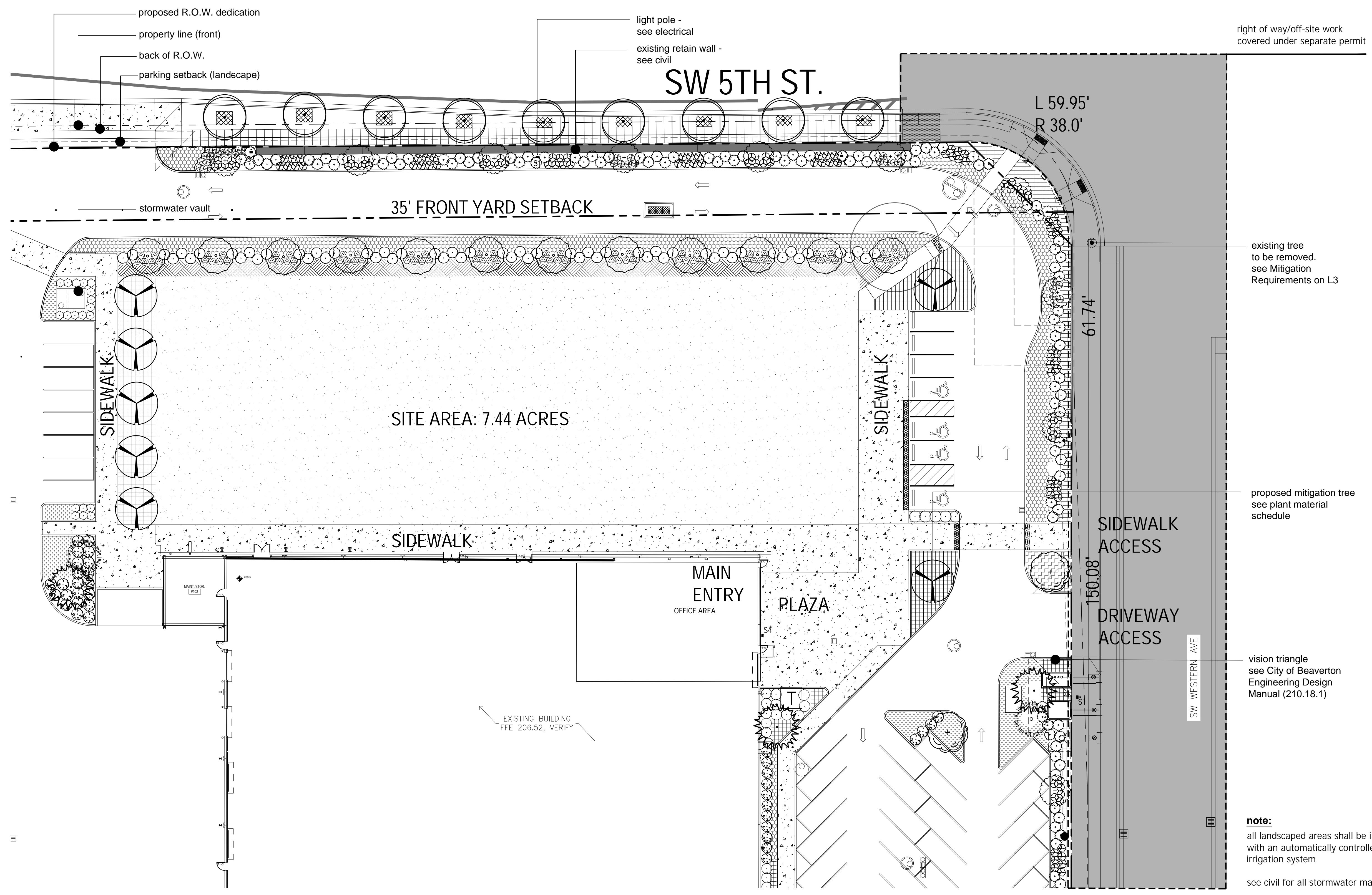
SHEET TITLE  
 POST-DEVELOPMENT  
 STORM BASIN MAP

**C9.1**

SITE DEVELOPMENT PERMIT

SCALE: 1" = 30'

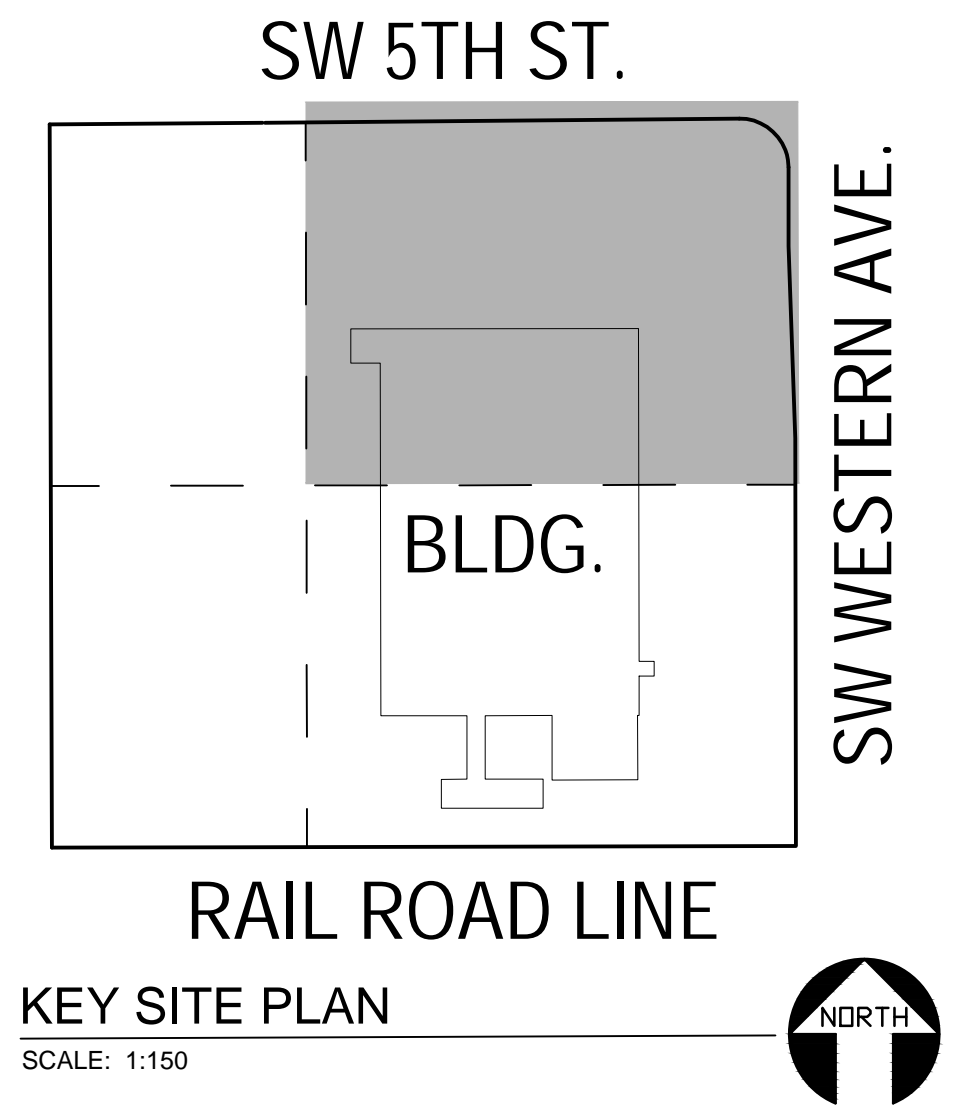




plant material schedule

symbol	common name	botanical name	size	spacing	quantity
<b>trees</b>					
<b>street trees</b>					
	pacific sunset maple	acer truncatum 'pacific sunset'	2 1/2" cal.	as shown	6
<b>primary/parking trees</b>					
	chanticlear pear	pyrus calleryana 'chanticlear'	1 1/2" cal.	as shown	31
	mountain hemlock	tsuga mertensiana	6'-8'	as shown	5
	shore pine	pinus cortata	6'-8'	as shown	6
	green vase zelkova	zelkova serrata 'green vase'	1 1/2" cal.	as shown	7
	princeton sentry ginkgo	gingko biloba 'princeton sentry'	1 1/2" cal.	as shown	14
<b>mitigation trees</b>					
	red oak	quercus rubra	2" cal.	as shown	16
<b>shrubs</b>					
	p.j.m. rhododendron	rhododendron x p.j.m.	5 gal.	as shown	58
	japanese pieris	peris japonica 'valley valentine'	5 gal.	as shown	55
	evergreen huckleberry	vaccinium ovatum	5 gal.	as shown	123
	red twig isanti	cornus sericea 'isanti'	5 gal.	as shown	60
	firepower nandina	nandina domestica 'firepower'	3 gal.	as shown	54
	hino-crimson azalea	azalea x 'hino-crimson'	3 gal.	as shown	62
	variegated winter daphne	daphne odora 'aureomarginata'	3 gal.	as shown	52
	new zealand flax	phormium tenax	3 gal.	as shown	34
	crimson pygmy barberry	berberis thunbergii 'crimson pygmy'	3 gal.	as shown	48
	boxleaf euonymus	euonymus japonicus microphyllus	3 gal.	as shown	17
<b>groundcover</b>					
	kinnikinnick	arctostaphylos uva-ursa	1 gal.	24" o.c. tri.	
	dwarf fountain grass	pennisetum alopecuroides 'hamelin'	1 gal.	18" o.c. tri.	
	ice dance carex	carex morrowii 'ice dance'	1 gal.	18" o.c. tri.	
	big blue lily turf	lirope muscari 'big blue'	1 gal.	18" o.c. tri.	
	st johns wort	carex morrowii 'ice dance'	1 gal.	18" o.c. tri.	
<b>seeding mix</b>					
	mfg: Pro Time Lawn Seed	1712 SE Ankeny St. Portland, OR 97214 (503) 239-7518	area: 115,000 sf approx. (contractor to perform their own area take offs and verify required square foot area per plans) type: PT301 water smart mix (or equal) application rate: 10 lbs. per 1000sf or 300 lbs per acre		

LANDSCAPE PLAN - NORTH  
SCALE: 1:20

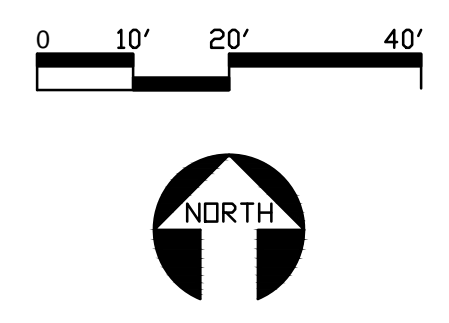


5051 SW WESTERN AVE  
-  
5051 SW WESTERN AVE.  
BEAVERTON, OR 97005

PLANTING PLAN: NORTH  
Job No: 22022  
Date: 02/15/23

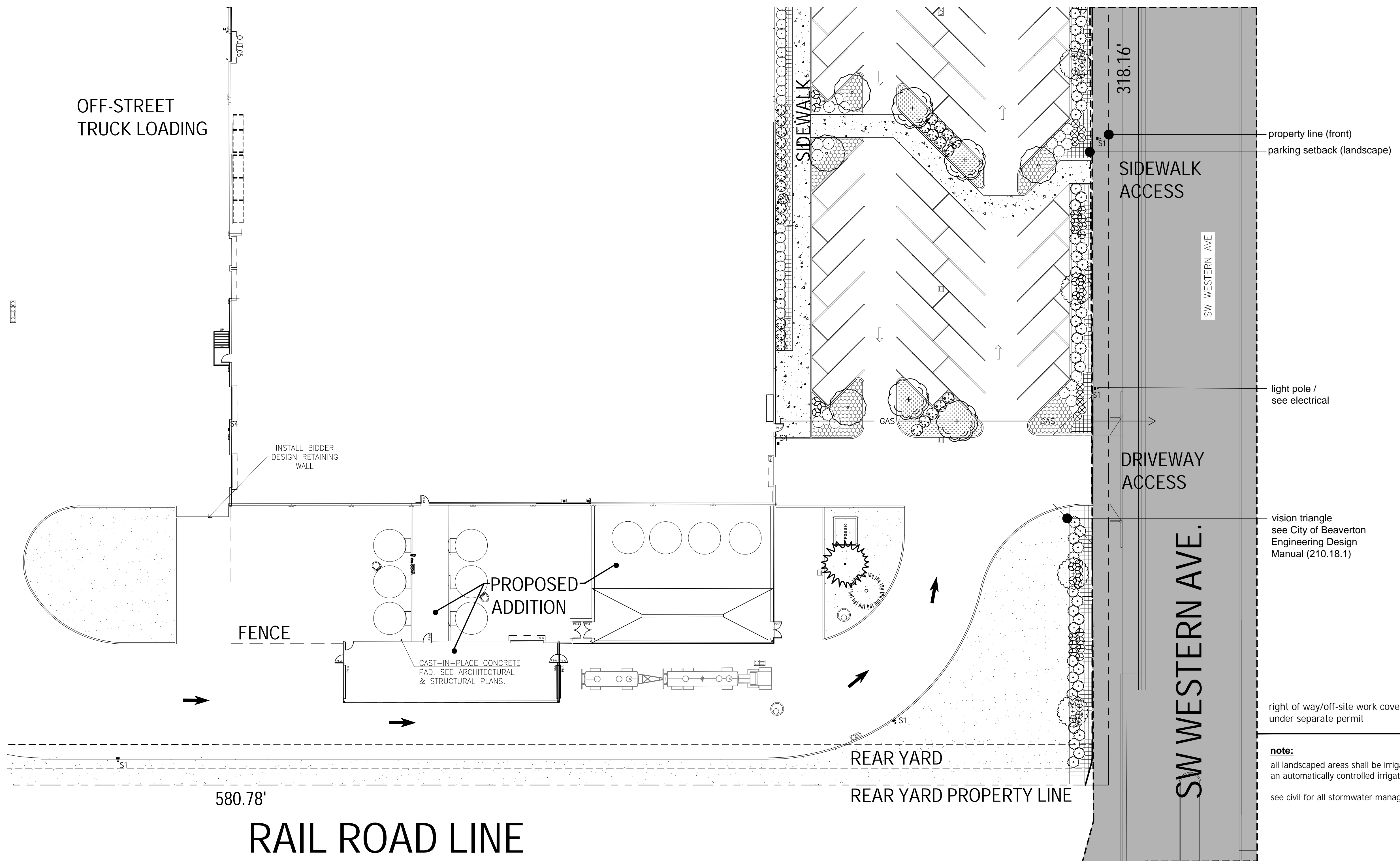
L1

simp.L  
a land design workshop  
1017 sw morrison st., #508  
portland, or 97205  
www.golmpl.com  
t: 503-841-6315  
e: 503-504-4687



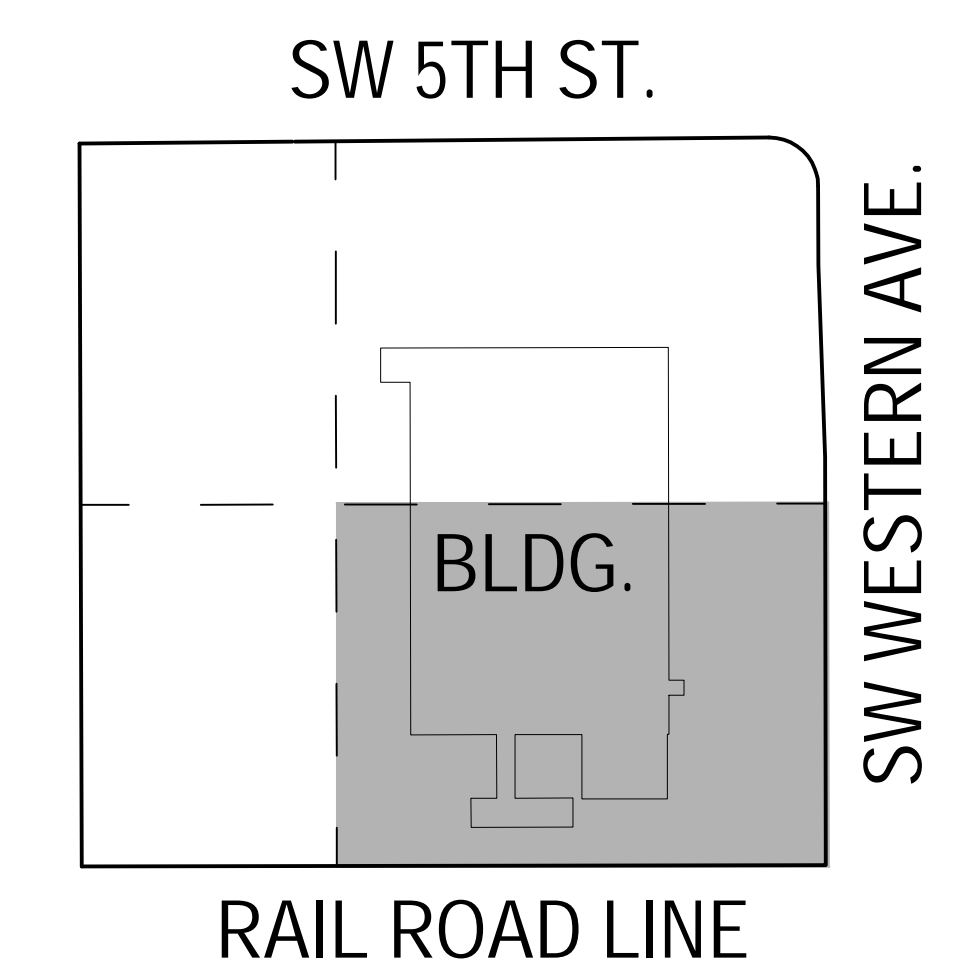
S|E A  
SCOTT EDWARDS ARCHITECTURE LLP





plant material schedule

symbol	common name	botanical name	size	spacing	quantity
<b>trees</b>					
street trees					
	pacific sunset maple	acer truncatum 'pacific sunset'	2 1/2" cal.	as shown	6
primary/parking trees					
	chanticleer pear	pyrus calleryana 'chanticleer'	1 1/2" cal.	as shown	31
	mountain hemlock	tsuga mertensiana	6'-8'	as shown	5
	shore pine	pinus cortata	6'-8'	as shown	6
	green vase zelkova	zelkova serrata 'green vase'	1 1/2" cal.	as shown	7
	princeton sentry ginkgo	ginkgo biloba 'princeton sentry'	1 1/2" cal.	as shown	14
mitigation trees					
	red oak	quercus rubra	2" cal.	as shown	16
shrubs					
	p.j.m. rhododendron	rhododendron x p.j.m.	5 gal.	as shown	58
	japanese pieris	pietis japonica 'valley valentine'	5 gal.	as shown	55
	evergreen huckleberry	vaccinium ovatum	5 gal.	as shown	123
	red twig isanti	cornus sericea 'isanti'	5 gal.	as shown	60
	firepower nandina	nandina domestica 'firepower'	3 gal.	as shown	54
	hino-crimson azalea	azalea x 'hino-crimson'	3 gal.	as shown	62
	variegated winter daphne	daphne odora 'aureomarginata'	3 gal.	as shown	52
	new zealand flax	phormium tenax	3 gal.	as shown	34
	crimson pygmy barberry	berberis thunbergii 'crimson pygmy'	3 gal.	as shown	48
	boxleaf euonymus	euonymus japonicus microphyllus	3 gal.	as shown	17
groundcover					
	kinnikinnick	arctostaphylos uva-ursa	1 gal.	24" o.c. tri.	
	dwarf fountain grass	pennisetum alopecuroides 'hamelin'	1 gal.	18" o.c. tri.	
	ice dance carex	carex morrowii 'ice dance'	1 gal.	18" o.c. tri.	
	big blue lily turf	lirope muscari 'big blue'	1 gal.	18" o.c. tri.	
	st johns wort	carex morrowii 'ice dance'	1 gal.	18" o.c. tri.	
seeding mix					
	mfg: Pro Time Lawn Seed	1712 SE Ankeny St. Portland, OR 97214 (503) 239-7518	area: 115,000 sf approx. (contractor to perform their own area take offs and verify required square foot area per plans) type: PT301 water smart mix (or equal) application rate: 10 lbs. per 1000sf or 300 lbs per acre		



LANDSCAPE PLAN - SOUTH  
SCALE: 1:20

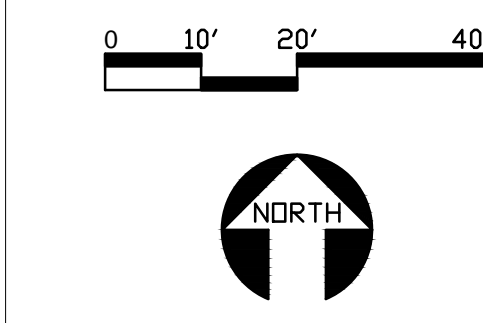
KEY SITE PLAN  
SCALE: 1:150

5051 SW WESTERN AVE  
-  
5051 SW WESTERN AVE.  
BEAVERTON, OR 97005

PLANTING PLAN: SOUTH  
Job No: 22022  
Date: 02/15/23

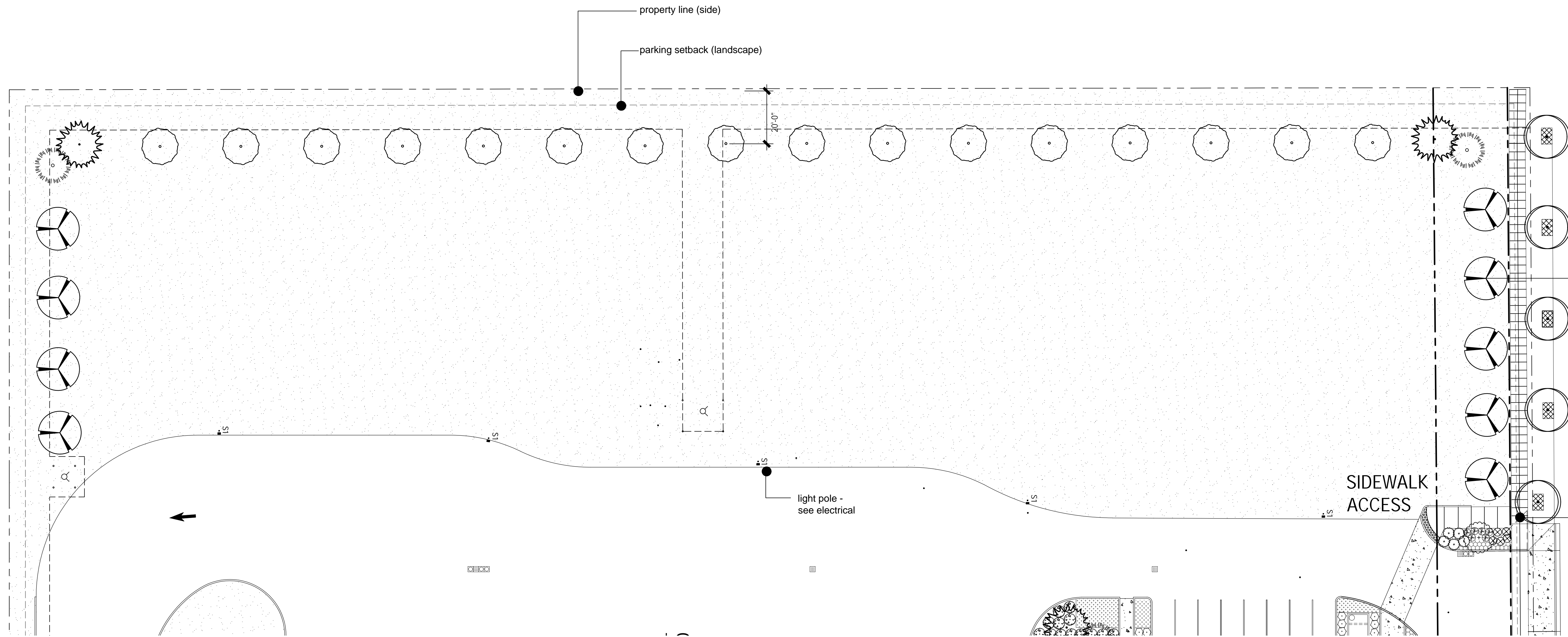
L2

simp.L  
a land design workshop  
1017 sw morrison st. #508  
portland, or 97205  
www.gompl.com  
t: 503-841-6315  
c: 503-504-4687



S|E A  
SCOTT EDWARDS ARCHITECTURE LLP





proposed mitigation tree  
see plant material  
schedule

vision triangle  
see City of Beaverton  
Engineering Design  
Manual (210.18.1)

**note:**  
all landscaped areas shall be irrigated  
with an automatically controlled  
irrigation system

see civil for all stormwater management

LANDSCAPE PLAN - WEST

SCALE: 1:20

Minimum Landscaping for Conditional Uses in Residential zones and for developments in Commercial, Industrial, and Multiple use zones. (60.05.25.3 Standards, 60.05.45.3 Guidelines)

A. A minimum portion of the total gross lot area shall be landscaped:

1. Conditional Uses in Residential districts, and all uses in Commercial and Industrial districts, fifteen (15) percent:

B. The following minimum planting requirements for required landscaped areas shall be complied with. These requirements shall be used to calculate the total number of trees and shrubs to be included within the required landscape area:

1. One (1) tree shall be provided for every eight hundred (800) square feet of required landscaped area. Evergreen trees shall have a minimum planting height of six (6) feet. Deciduous trees shall have a minimum caliper of 1.5 inches at time of planting.

2. One (1) evergreen shrub having a minimum mature height of forty-eight (48) inches shall be provided for every four hundred (400) square feet of required landscaped area.

code requirement \*

commercial and industrial districts, fifteen (15) percent

total area 7.44 acres (327,918 sf)

total landscaped area proposed 139,262 sf (42.2% of total)/  
49,188 sf required for 15%

Required landscape area 49,188 sf

Minimum Code requirement

Trees 62 trees (1 per 800sf)  
Shrubs (greater than 4ft) 123 shrubs (1 per 400sfmin.)

Proposed

Trees 63 trees  
Shrubs 298 shrubs (approx.)

Parking Area Landscaping (60.05.20.5 Standards, 60.05.40.4 Guidelines)

Landscape islands and a tree canopy should be provided to minimize the visual impact of large parking areas.

A. Landscaped planter islands shall be required according to the following:

1. All uses in Commercial and Multiple Use zones, one for every ten (10) contiguous parking spaces. [ORD 4584; June 2012]

B. The island shall have a minimum area of 70 square feet, and a minimum width of 6 feet, and shall be curbed to protect landscaping. The landscaped island shall be planted with a tree having a minimum mature height of 20 feet. If a pole-mounted light is proposed to be installed within a landscaped planter island, and an applicant demonstrates that there is a physical conflict for siting the tree and the pole-mounted light together, the decision-making authority may waive the planting of the tree, provided that at least seventy-five (75) percent of the required islands contain trees. Landscaped planter islands shall be evenly spaced throughout the parking area

code requirement

parking stall requirements

one island for every ten (10) contiguous parking spaces  
9 proposed islands 71 parking spaces provided  
one (1) island per 7.89 spaces

tree requirements

standard of one (1) tree per landscape island.

9 proposed islands 11 trees proposed

Mitigation Requirements (60.60.25 Standards, 60.05.40.4 Guidelines)

The following standards apply to the replacement of a Landscape Tree:

A. A replacement tree shall be a substantially similar species or a tree approved by the City considering site characteristics.  
B. If a replacement tree of the species of the tree removed or damaged is not reasonably available, the City may allow replacement with a different species.

C. Replacement of a Landscape Tree shall be based on total linear DBH calculations at a one-to-one ratio depending upon the capacity of the site to accommodate replacement tree or unless otherwise specified through development review. Replacement of tree on a one-to-one basis shall be as follows:  
1. Calculate the sum of the total linear DBH measurement of the tree to be removed.  
2. The total linear DBH measurement of the tree to be removed shall be replaced with tree at least 1.5 caliper inches in diameter. The total caliper inches of the replacement tree shall be at least equal to the sum total of the linear DBH measurement of the removed tree.

code requirement

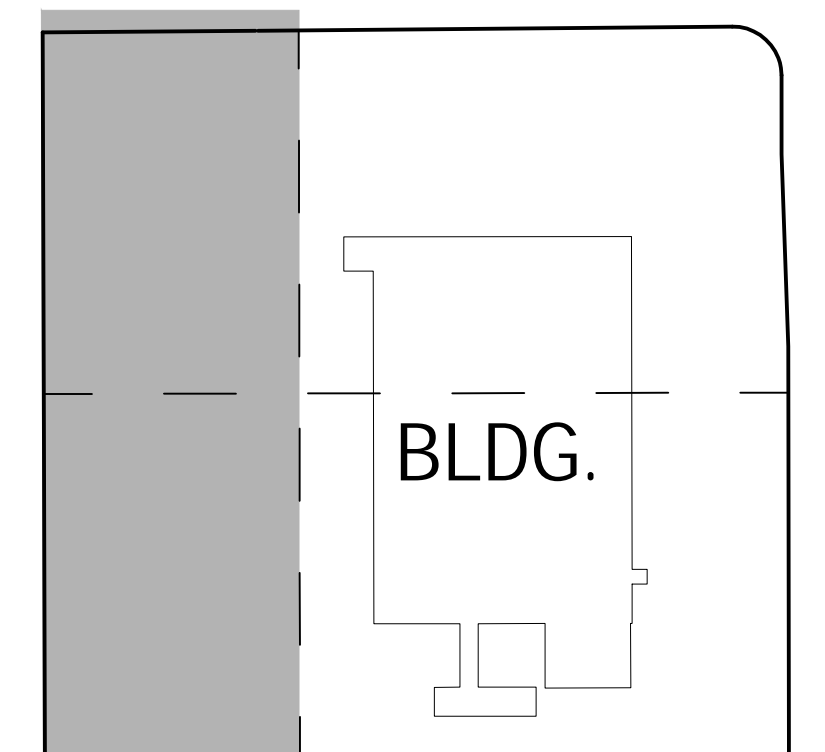
mitigation requirements

total caliper inches of the replacement tree shall be at least equal to the sum total of the linear DBH measurement of the removed tree. minimum 1.5 caliper inch trees required.

tree requirements

32" DBH of tree to be removed (see arborist report)  
16 trees at 2 caliper inches meets minimum replacement requirement. 16 (2" DBH) = 32 DBH

SW 5TH ST.



KEY SITE PLAN

SCALE: 1:150

SW WESTERN AVE.



5051 SW WESTERN AVE

PLANTING PLAN: WEST

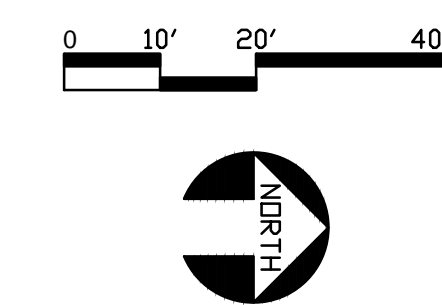
5051 SW WESTERN AVE.  
BEAVERTON, OR 97005

Job No: 22022  
Date: 02/15/23

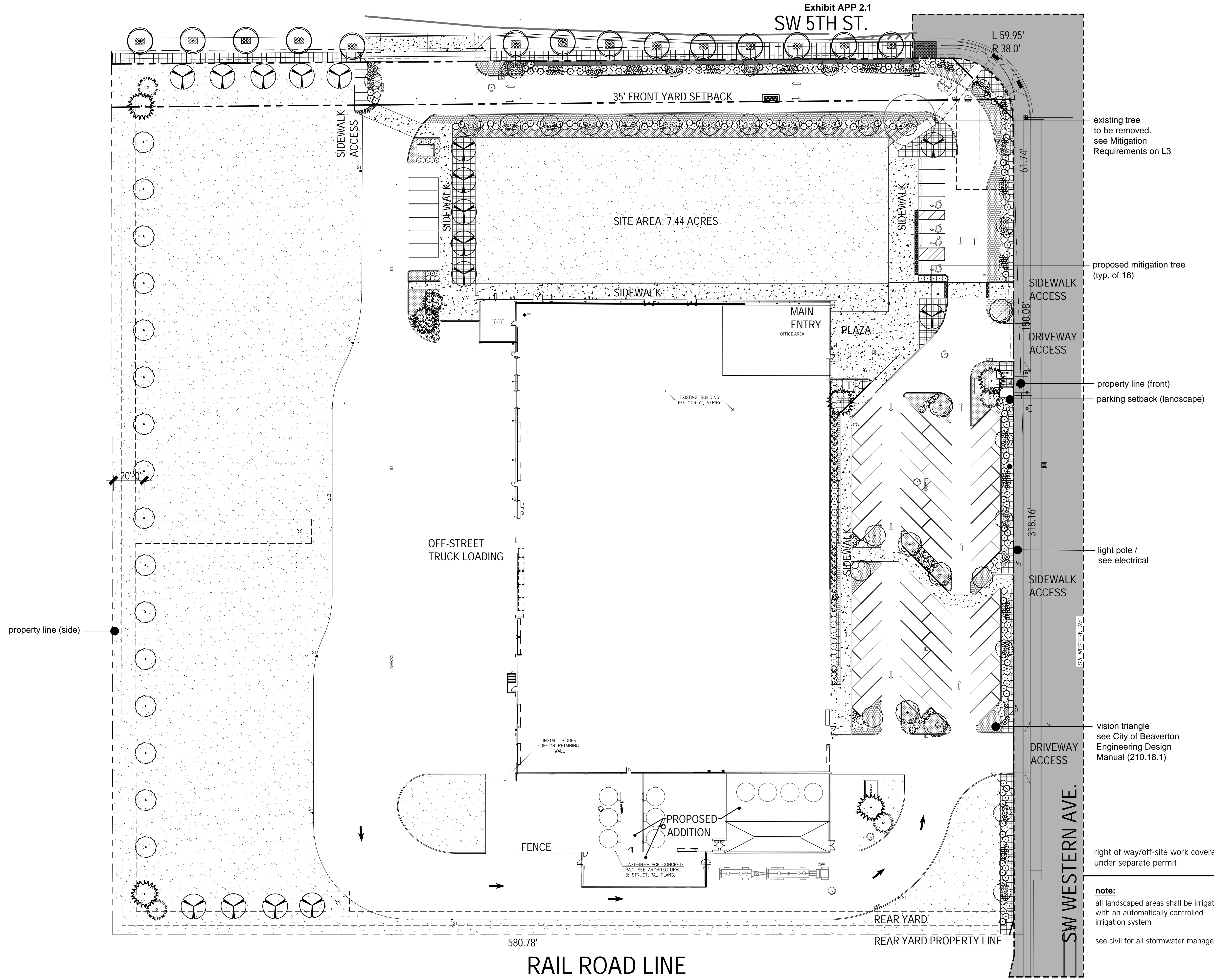
L3

simp.L  
a land design workshop

1017 sw morrison st., #508  
portland, or 97205  
www.gosimp.com  
t: 503-841-6315  
e: 503-504-4687



S|E A  
SCOTT|EDWARDS ARCHITECTURE LLP



plant material schedule

symbol	common name	botanical name	size	spacing	quantity
<b>trees</b>					
<b>street trees</b>					
	pacific sunset maple	acer truncatum 'pacific sunset'	2 1/2" cal.	as shown	6
<b>primary/parking trees</b>					
	chanticlear pear	pyrus calleryana 'chanticlear'	1 1/2" cal.	as shown	31
	mountain hemlock	tsuga mertensiana	6'-8'	as shown	5
	shore pine	pinus contorta	6'-8'	as shown	6
	green vase zelkova	zelkova serrata 'green vase'	1 1/2" cal.	as shown	7
	princeton sentry ginkgo	gingko biloba 'princeton sentry'	1 1/2" cal.	as shown	14
<b>mitigation trees</b>					
	red oak	quercus rubra	2" cal.	as shown	16
<b>shrubs</b>					
	p.j.m. rhododendron	rhododendron x p.j.m.	5 gal.	as shown	58
	japanese pieris	pietris japonica 'valley valentine'	5 gal.	as shown	55
	evergreen huckleberry	vaccinium ovatum	5 gal.	as shown	123
	red twig isanti	cornus sericea 'isanti'	5 gal.	as shown	60
	firepower nandina	nandina domestica 'firepower'	3 gal.	as shown	54
	hino-crimson azalea	azalea x 'hino-crimson'	3 gal.	as shown	62
	variegated winter daphne	daphne odora 'aureomarginata'	3 gal.	as shown	52
	new zealand flax	phormium tenax	3 gal.	as shown	34
	crimson pygmy barberry	berberis thunbergii 'crimson pygmy'	3 gal.	as shown	48
	boxleaf euonymus	euonymus japonicus microphyllus	3 gal.	as shown	17
<b>groundcover</b>					
	kinnikinnick	arctostaphylos uva-ursa	1 gal.	24" o.c. tri.	
	dwarf fountain grass	penisetum alopecuroides 'hamelin'	1 gal.	18" o.c. tri.	
	ice dance carex	carex morrowii 'ice dance'	1 gal.	18" o.c. tri.	
	big blue lily turf	lirope muscari 'big blue'	1 gal.	18" o.c. tri.	
	st johns wort	carex morrowii 'ice dance'	1 gal.	18" o.c. tri.	
<b>seeding mix</b>					
	mfg: Pro Time Lawn Seed	area: 115,000 sf approx. (contractor to perform their own area take offs and verify required square foot area per plans)	1712 SE Ankeny St. Portland, OR 97214 (503) 239-7518	type: PT301 water smart mix (or equal) application rate: 10 lbs. per 1000sf or 300 lbs per acre	

Minimum Landscaping for Conditional Uses in Residential zones and for developments in Commercial, Industrial, and Multiple use zones. (60.05.25.3 Standards, 60.05.45.3 Guidelines)

**code requirement \***  
commercial and industrial districts, fifteen (15) percent

total area	7.44 acres (327,918 sf)
total landscaped area proposed	139,262 sf (42.2% of total)/ 49,188 sf required for 15%
Required landscape area	49,188 sf
<b>Minimum Code requirement</b>	
Trees	62 trees (1 per 800sf)
Shrubs (greater than 4ft)	123 shrubs (1 per 400sfmin.)
<b>Proposed</b>	
Trees	63 trees
Shrubs	298 shrubs (approx.)

1. A minimum portion of the total gross lot area shall be landscaped:

1. Conditional Uses in Residential districts, and all uses in Commercial and Industrial districts, fifteen (15) percent:

2. The following minimum planting requirements for required landscaped areas shall be complied with. These requirements shall be used to calculate the total number of trees and shrubs to be included within the required landscape area:

1. One (1) tree shall be provided for every eight hundred (800) square feet of required landscaped area. Evergreen trees shall have a minimum planting height of six (6) feet. Deciduous trees shall have a minimum caliper of 1.5 inches at time of planting.

2. One (1) evergreen shrub having a minimum mature height of forty-eight (48) inches shall be provided for every four hundred (400) square feet of required landscaped area.

**note:**  
all landscaped areas shall be irrigated with an automatically controlled irrigation system

see civil for all stormwater management

5051 SW WESTERN AVE

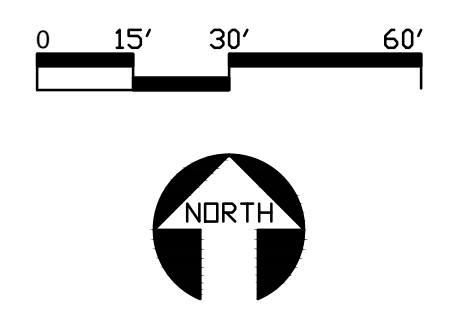
PLANTING PLAN: OVERALL

5051 SW WESTERN AVE.  
BEAVERTON, OR 97005

Job No: 22022  
Date: 02/15/23

L4

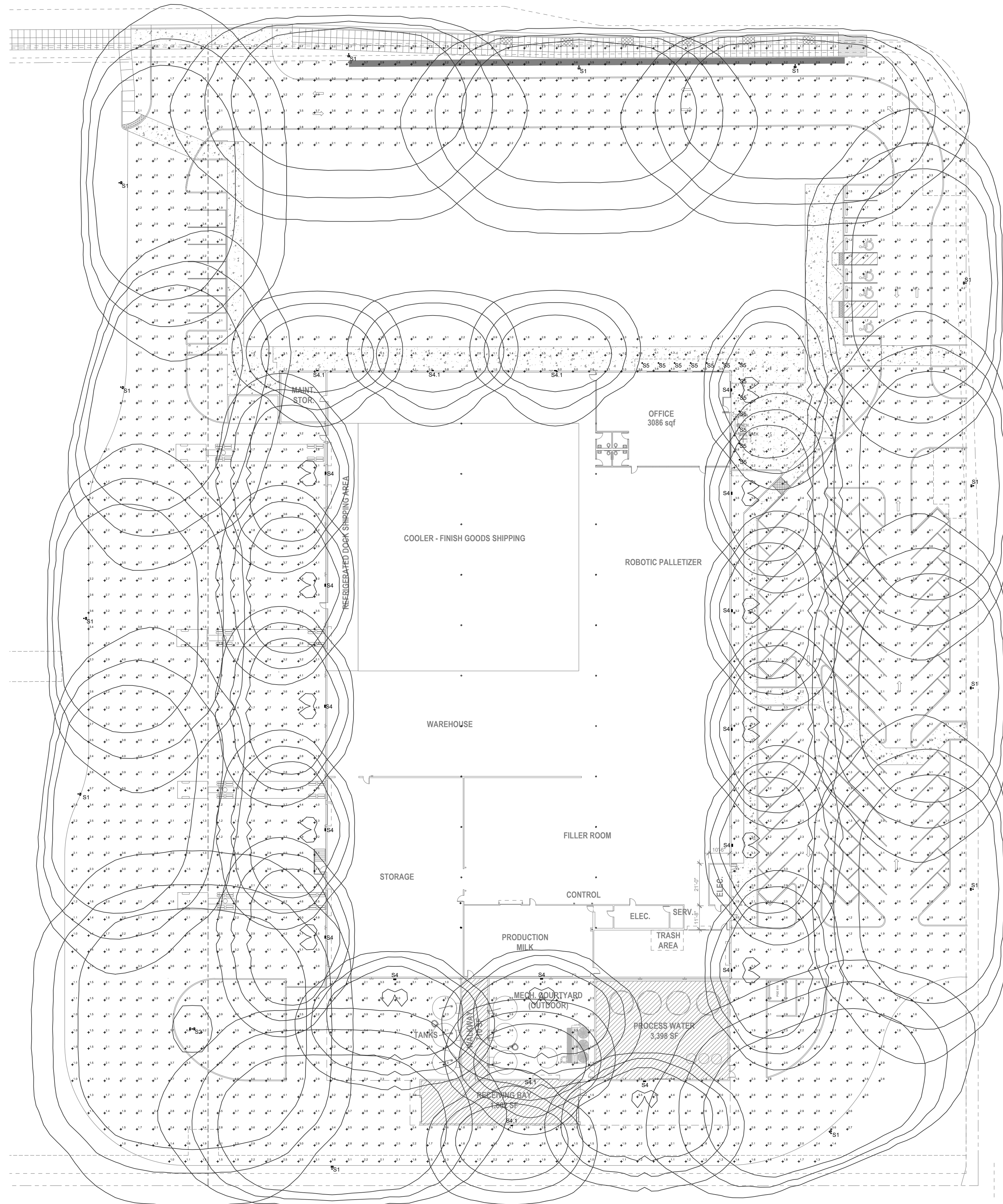
simp.L  
a land design workshop  
1017 sw morrison st., #508  
portland, or 97205  
www.gosimp.com  
t: 503-841-6315  
f: 503-504-4687



S|E|A  
SCOTT EDWARDS ARCHITECTURE LLP



Received  
Planning Division  
02/17/2023



1 SITE LIGHTING PHOTOMETRICS  
SCALE: 1"=30'-0"

Site Fixture Schedule					
Label	Quantity	Manufacturer	Catalog Number	Description	Mounting Height
S1	13	Lithonia Lighting	ESX1-LED-P4-40K-R3-HS	SINGLE-HEAD POLE LIGHT	30ft
S2	1	Lithonia Lighting	ESX1-LED-P4-40K-R3-HS	DOUBLE-HEAD POLE LIGHT	30ft
S4	14	Lithonia Lighting	TWH-LED-ALO-40K-T3M	WALL PACK	20ft
S4.1	5	Lithonia Lighting	WPX1-LED-P4-40K-MVOLT	WALL PACK	20ft (15ft @ North Side of Building)
S5	13	Lithonia Lighting	4JBK-RD-30K-90CRI	SURFACE MOUNT DOWNLIGHT	10ft

2 FIXTURE SCHEDULE  
SCALE: NONE

Statistics			
Description	Avg	Max	Min
Calc Zone #1	2.6fc	8.6fc	1.0fc

3 STATISTICS  
SCALE: NONE



**STONER**  
ELECTRIC GROUP  
ELECTRICAL  
STRUCTURED CABLING  
FIRE LIFE SAFETY & SECURITY  
LIGHTING

1904 SE Ochoco  
Milwaukie, Oregon 97222  
(503)462-6500  
www.stonergroup.com

COPYRIGHT PROTECTED  
THE CONTENTS OF THIS DOCUMENT ARE  
PROPRIETARY AND CONFIDENTIAL.  
UNAUTHORIZED USE AND/OR REPRODUCTION  
WITHOUT THE EXPRESS WRITTEN  
PERMISSION OF STONER ELECTRIC GROUP,  
MILWAUKIE, OR

Scale  
AS NOTED  
Date  
07/26/2022  
Project No.  
X  
Drawn By  
SKD  
Checked By  
J. BARNES



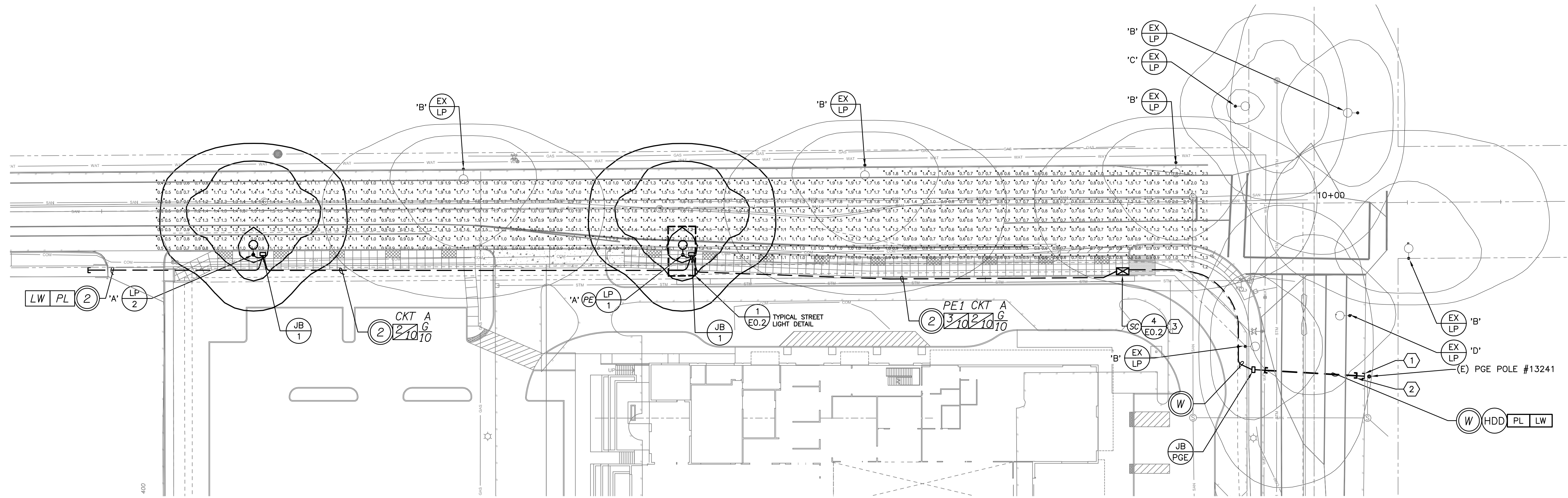
REVISIONS  
08/31/22 - REV 1  
09/27/22 - REV 2  
11/30/22 - REV 3  
01/04/23 - REV 4

5TH AND WESTERN  
BEAVERTON, OREGON

SHEET TITLE  
PHOTOMETRIC  
PLAN

SHEET NO.  
E  
0.04





1 PARTIAL SITE PLAN - ELECTRICAL  
 E1.0 SCALE: 1"=30'-0"

POLE SCHEDULE (CITY OF BEAVERTON)

POLE	ROAD	CLASSIFICATION	STATION	OFFSET*	LUMINAIRE MOUNTING HEIGHT	ARM	TYPE	WATTAGE	PGE	
									SCHEDULE	OPTION
LP-1	SW 5TH STREET	COLLECTOR	13+15.25	25'0" L	30'	B'	A	149	95	C
LP-2	SW 5TH STREET	COLLECTOR	15+41.25'	23'9.5" L	30'	B'	A	149	95	C

\* OFFSET MEASURED FROM ROADWAY CONSTRUCTION CENTERLINE TO CENTER OF POLE.

STATISTICS

DESCRIPTION	CLASSIFICATION	DESIGN VALUES				TARGET VALUES	
		SYMBOL	AVG	MAX	MIN	AVG/MIN	AVG/MIN (s)
SW 5TH STREET	COLLECTOR	+	1.2 fc	2.3 fc	0.4 fc	3.0:1	1.2 3.0:1

GENERAL NOTES

- A. SEE DRAWING E0.1 FOR LEGEND, DETAILS AND SCHEDULES.
- B. FOOT CANDLE ISO CURVES ARE SHOWN AS A SINGLE FIXTURE CONTRIBUTION WITH SET VALUES. THE ISO CURVE VALUES MAY NOT MATCH THE CALCULATION PLANE POINT VALUES, SINCE THE CALCULATION PLANE CAN BE A CONTRIBUTION FROM MORE THAN ONE LUMINAIRE.
- C. INNER LUMINAIRE ISO CURVE INDICATES 1 FOOT CANDLE. OUTER LUMINAIRE ISO CURVE INDICATES 0.5 FOOT CANDLE.

NOTES THIS SHEET

- 1 CONTRACTOR TO STUB UP 3" CONDUIT FOR SERVICE LATERAL AT BOTTOM OF POWER POLE WITH EXISTING TRANSFORMER. CABLING TO BE PROVIDED, INSTALLED AND TERMINATION BY PGE. COORDINATE INSTALLATION OF CONDUIT PER PGE RECOMMENDATIONS.
- 2 CONTRACTOR SHALL PROVIDE DIRECTIONAL BORE UNDERNEATH EXISTING ROADWAY PER CITY OF BEAVERTON AND PGE REQUIREMENTS.
- 3 CONTRACTOR TO VERIFY SERVICE CABINET LOCATION AND CONFIGURATION WITH PGE'S FINAL DESIGN DOCUMENTS PRIOR TO START OF WORK.



STONER ELECTRIC GROUP  
 ELECTRICAL  
 STRUCTURED CABLING  
 FIRE LIFE SAFETY & SECURITY  
 LIGHTING

1904 SE Ochoco  
 Milwaukie, Oregon 97222  
 (503)462-6500  
 www.stonergroup.com

COPYRIGHT PROTECTED  
 THE CONTENTS OF THIS DOCUMENT ARE  
 PROPRIETARY AND CONFIDENTIAL.  
 UNAUTHORIZED USE AND/OR REPRODUCTION  
 WITHOUT THE EXPRESS WRITTEN  
 PERMISSION OF STONER ELECTRIC GROUP,  
 MILWAUKIE, OR

Scale AS NOTED  
 Date 07/26/2022  
 PROJECT NO. X  
 Drawn By SKD Checked By J. BARNES



REVISIONS

5TH AND WESTERN  
 BEAVERTON, OREGON

SHEET TITLE  
 PARTIAL SITE  
 PLAN -  
 ELECTRICAL

SHEET NO.  
 E  
 1.00





Received  
Planning Division  
02/17/2023

Memorandum

To: Peter Grimm, Scott Edwards Architecture  
From: Jessica Hajar  
Todd E. Mobley, PE  
Date: September 7, 2022  
Subject: Organic Milk Exchange, 5051 SW Western Avenue  
Addendum to Address Incompleteness Items



EXPIRES 12/31/2022

This memorandum is written to respond to incompleteness comments from the City of Beaverton regarding the proposed Organic Milk Exchange facility to be located at 5051 SW Western Avenue. This memo also serves as an addendum to the analysis prepared for the Parking Determination, contained in the July 14, 2022 memorandum prepared by Lancaster Mobley. Comments related to transportation are shown in italics with responses immediately following.

*Please provide a trip generation statement, signed by a registered engineer, that meets the standards in BDC Section 60.55.20.*

Trip Generation

To estimate the number of trips that will be generated by the proposed uses, trip rates from the *Trip Generation Manual*<sup>1</sup> were used. Consistent with the methodology used in the Parking Determination, trip rates for land use codes #140 – *Manufacturing* and #150 – *Warehousing*, were used to calculate trip generation based on the square footage of each use. A summary of the total trip generation of the proposed development is shown in Table .

Table 1: Trip Generation

ITE Code	Size	Morning Peak Hour			Evening Peak Hour			Daily Trips
		In	Out	Total	In	Out	Total	
140 – Manufacturing	35,488 sq ft	18	6	24	8	18	26	169
150 – Warehousing	31,479 sq ft	4	1	5	2	4	6	54
Total		22	7	29	10	22	32	223

Beaverton Development Code Section 60.55.20.2.A states that a Traffic Impact Analysis is required when a proposed land use change or development will generate 300 vehicles or more per day in average weekday trips. Based on the trip generation summary in Table , a Traffic Impact Analysis is not required for this project.

<sup>1</sup> Institute of Transportation Engineers (ITE), *Trip Generation Manual*, 11<sup>th</sup> Edition, 2021.

## Exhibit APP 2.1

*Please provide parking counts for the existing Rock Ridge facility that is cited in the parking determination memo. If you have additional examples beyond the Rock Ridge facility, please cite those in your narrative information as well. The parking counts for these similar facilities are critical to staff's analysis.*

### Rock Ridge Parking Data

Hourly parking demand data for the Rock Ridge facility was collected between Tuesday, August 23, 2022, and Tuesday, September 6, 2022. The raw data is attached in the technical appendix. The Rock Ridge facility currently operates with a single shift of eight employees, working from 6:00 AM to 6:00 PM. Data was collected beginning at 5:00 AM and ending at 7:00 PM to capture the entire work day as well as the decreased demand before and after operation. Given the rural location of the site, parking demand is fairly consistent throughout the day. Most employees do not leave the site during lunch or breaks. There are small fluctuations in demand based on vendors and deliveries visiting the site, as well as managers who are not on site daily, but do visit on a regular basis. Some deliveries occur via loading docks, but smaller deliveries and visitors do utilize standard on-site parking.

#### **Manufacturing/Food Processing & Storage/Warehousing**

The Rock Ridge facility currently has approximately 24,500 square feet of building area dedicated to receiving, food processing, and shipping. At the proposed facility, this will increase to 35,488 square feet, as explained in the July 14 Parking Determination memo. The newer, more modern facility in Beaverton will have more floor area dedicated to the same functions that currently occur at Rock Ridge, so the employee density will not extrapolate in a linear fashion.

The remaining 31,479 square feet of floor area at the Beaverton location will be dedicated to cold and frozen food storage and warehousing. This is a distinctly different operation than the food processing and manufacturing operations described above. In fact, the Rock Ridge site does not currently have cooler space on-site for the cold food storage and warehousing function. However, this portion of the operation requires very little employee activity and is expected to add only about three employees per shift.

#### **Existing & Projected Parking Demand**

As shown in the data attached to this addendum, the peak parking demand at the Rock Ridge site was 11 vehicles. This was measured over a total of 15 days, which is a sample size that is much larger than a typical parking demand study that may observe parking demand for only one or two peak days. A data collection protocol was provided by Lancaster Mobley and the applicant collected and provided the data, along with a description of operations and activities that contribute to parking demand as described above.

To adjust the Rock Ridge data to the proposed Beaverton site, the following worst-case demand assumptions are made:

- Based on the existing manufacturing space of 24,500 square feet and the proposed size of 35,488 square feet, the observed demand of 11 parking spaces was increased by a factor of 1.45, consistent with the increase in floor area between the two facilities. We know that employee needs will not extrapolate in this linear manner, but the adjustment is applied as a worst-case assumption.

#### **Parking demand: 16 spaces**

- Additional parking demand for the 31,479 square feet of cold storage and warehousing was accounted for by increasing parking demand by five spaces. This accounts for the anticipated three additional



## Exhibit APP 2.1

employees as well as any additional increase in vendors or service vehicles associated with the additional use that is not reflected in the measured data.

**Parking demand: 5 spaces**

- Since the current observed demand is based on a single 12-hour shift, the data was increased again based on the possibility of 24-hour operation with two shifts. Under this condition, the peak parking demand would occur during an approximately 30-minute window when one shift is arriving prior to the dismissal of the current shift. This could effectively double the parking demand.

**Total parking demand:  $(16 + 5) \times 2 = 42$  spaces**

### Comparison of Three Parking Demand Sources

To reiterate the analysis in the July 14 Parking Determination memo, a total of three sources were used to estimate parking demand. These are:

- A blended calculation based on the two functions of the facility and City of Beaverton development code parking ratios for Manufacturing and for Warehousing;
- Data from the ITE *Parking Generation Manual* for land use code 140, *Manufacturing*; and
- Parking demand based on the existing Rock Ridge facility.

The data and analysis in this addendum refines and updates the data for Rock Ridge. Results from the three calculations are summarized below.

Table 2: Parking Calculation Comparison

Land Use	Parking Rate	Size	Required Parking Spaces
City of Beaverton Code			
Manufacturing	1.6	35,488 sq ft	57
Warehousing	0.3	31,479 sq ft	9
Total			66
ITE Parking Generation Rates			
Manufacturing	0.92	66,967 sq ft	62
Rock Ridge Site			
Existing (Observed)	-	-	11
Future	-	-	42
<b>TOTAL PROPOSED</b>			<b>70</b>





## Exhibit APP 2.1

### Summary & Conclusion

Even with the aggressive worst-case adjustments to the observed parking at the Rock Ridge facility increasing the demand from 11 vehicles to 42, The proposed parking supply of 70 spaces will easily accommodate the predicted demand.

A blended calculation using City of Beaverton code requirements, which are significantly higher than both observed data locally as well as ITE data, yields a demand of 66 spaces.

The ITE *Parking Generation Manual* data is significant and consists of 31 separate parking demand studies that show the average peak parking demand for a facility the size of that proposed to be 62 spaces.

All methods of estimating parking demand show that the proposed 70 on-site spaces will accommodate the parking needs of the proposed facility. It is recommended that the proposed Parking Determination be approved based on providing a total of 70 parking spaces.



## Exhibit APP 2.1

### Observed Parking Demand - Number of Vehicles

#### Lulubells Creamery Aurora - Rock Ridge

	5:00 AM	6:00 AM	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM
Tuesday, August 23, 2022	4	8	8	8	8	8	8	8	8	8	8	8	8	8	0
Wednesday, August 24, 2022	5	8	8	8	9	10	9	7	8	9	11	8	8	8	0
Thursday, August 25, 2022	2	8	8	10	11	9	8	8	8	8	8	9	8	8	0
Friday, August 26, 2022	1	8	8	8	10	10	10	7	8	8	8	8	8	8	0
Saturday, August 27, 2022	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sunday, August 28, 2022	0	2	2	2	2	2	2	2	2	2	2	2	2	2	0
Monday, August 29, 2022	3	8	8	8	8	8	8	7	8	8	8	8	8	8	0
Tuesday, August 30, 2022	2	8	8	9	9	9	9	8	9	9	9	9	8	8	0
Wednesday, August 31, 2022	2	8	8	10	9	9	9	7	9	9	9	9	8	8	0
Thursday, September 1, 2022	2	8	8	9	11	10	9	7	8	10	10	9	8	8	0
Friday, September 2, 2022	1	8	8	9	9	9	9	7	10	9	9	9	8	8	0
Saturday, September 3, 2022	3	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sunday, September 4, 2022	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Monday, September 5, 2022	1	2	3	2	2	2	2	2	2	0	0	0	0	0	0
Tuesday, September 6, 2022	0	8	8	9	10	9	9	8	9	9	9	9	8	6	0
Maximum Hourly Demand	5	8	8	10	11	10	10	8	10	10	11	9	8	8	0
<b>Overall Maximum Observed</b>	<b>11</b>														



Received  
Planning Division  
02/17/2023

Memorandum

To: Peter Grimm  
From: Jessica Hijar  
Todd E. Mobley, PE  
Date: July 14, 2022  
Subject: Organic Milk Exchange, 5051 SW Western Avenue  
Parking Study in Support of a Parking Determination



EXPIRES 12/31/2022

This memorandum is written to provide an analysis of anticipated parking demand for the proposed Organic Milk Exchange facility to be located at 5051 SW Western Avenue in Beaverton, Oregon. Since the use of the site is unique, the development does not fit succinctly within a single land use category and a Parking Determination application is being submitted. This parking analysis will be used to compare parking rates from three different sources:

1. A blended rate calculation using the City of Beaverton Development Code,
2. Data from the ITE *Parking Generation Manual*<sup>1</sup>, and
3. data provided by the owner.

Project Location & Description

The subject site is located in the southwestern corner of the intersection of SW Western Avenue at SW 5<sup>th</sup> Street. The site has three site accesses, one on SW 5<sup>th</sup> Street and two on SW Western Avenue. The facility has a total area of 66,967 square feet with 35,488 square feet of manufacturing space and 31,479 square feet of storage or warehousing. A vicinity map showing the subject site outlined in cyan is shown in Figure 1 to the right.

Tri-Met Bus Line #53, *Arctic/Allen*, has stops directly in front of the site. Bus Line #53 runs on a loop to Beaverton Transit Center, along Lombard, Allen, Arctic, Western, 5<sup>th</sup>, Griffith, and Beaverton

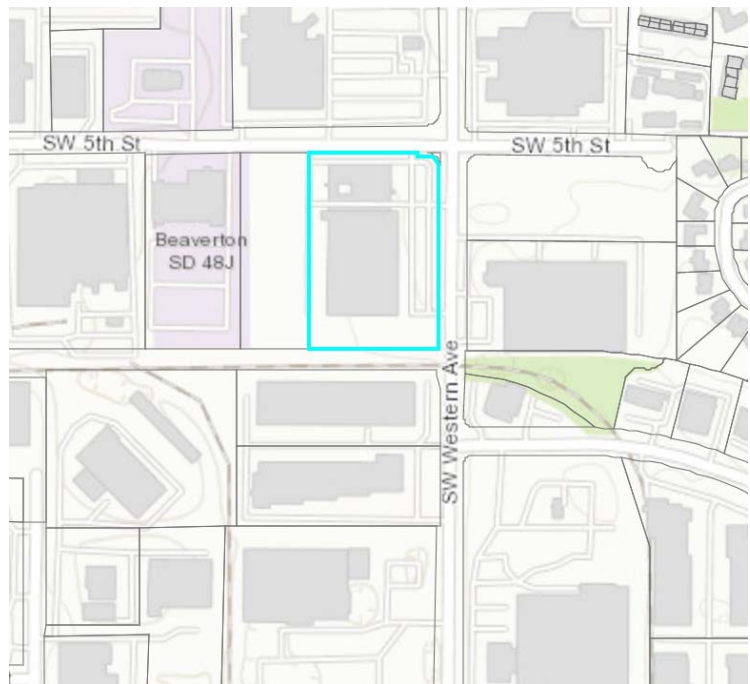


Figure 1: Vicinity Map

<sup>1</sup> Institute of Transportation Engineers (ITE), *Parking Generation Manual*, 5<sup>th</sup> Edition, 2019



## Exhibit APP 2.1

Hillsdale Highway during the weekday morning and evening rush hour only.

The proposed Organic Milk Exchange's primary function is the manufacturing of ice cream, although as mentioned, the facility will be a mix of manufacturing space, storage and warehousing, and office space that is ancillary to the manufacturing use. Raw materials will be delivered to the site and finished products will be shipped from the site. No retail or storefront space is proposed.

The proposed site plan contains a total of 70 passenger vehicle parking spaces. This is in addition to truck loading and parking areas.

### Parking Calculation #1 – City of Beaverton Development Code

Based on Table 60.30.10.5.A within the City of Beaverton Development Code, a manufacturing use is required to provide 1.6 spaces per 1,000 square feet of gross floor area and a storage warehouse use is required to provide 0.3 spaces per 1,000 square feet of gross floor area. Utilizing the rates from the City's Development Code and the breakdown of uses provided by the applicant, a blended parking calculation was conducted, yielding a required parking supply of 66 spaces.

35,488 sf of manufacturing x 1.6 spaces per 1,000 sf = 57 spaces

31,479 sf of storage/warehouse x 0.3 spaces per 1,000 sf = 9 spaces

57 + 9 = 66 spaces

### Parking Calculation #2 – ITE *Parking Generation Manual*

The *Parking Generation Manual* collected data from 20 manufacturing sites and calculated an average rate for peak parking demand of 0.92 per 1,000 square feet of gross floor area. Using the data from the ITE manual for land use #140 – *Manufacturing*, the 66,967 square foot facility will have an average peak parking demand of 62 spaces.

This calculation represents anticipated parking demand, whereby Calculation #1 above from the development code represents required supply. These two results correlate well, as the anticipated demand based on ITE data is similar, but less than, the calculated supply to be provided.

### Parking Calculation #3 – Existing Rock Ridge Facility

The applicant owns another site with a similar use, which is in operation at 23512 Schultz Road NE in Aurora, Oregon. The main building at the Rock Ridge site has an approximate area of 52,110 square feet. The site provides 46 off-street parking spaces. The primary activity on-site is conversion of raw materials into finished products, with some space dedicated to office and storage. The trucks which transport the finished products are contained within the designated loading area and do not contribute to on-site parking.

For the manufacturing use, there is one shift time per weekday, between 7:00 AM and 3:30 PM, with up to 8 employees per shift. For the office use, there is one shift time per weekday, between 8:00 AM and 5:00 PM, with up to 10 employees per shift. Outside of the anticipated loading activity which takes place in a separate area, it is possible some service-oriented vendors, such as landscaping contractors, may visit the site. In addition, deliveries are expected for the main office, such as packages or uniform delivery, which will utilize on-site parking. These occur approximately once or twice a week, and it is unlikely that they will occur at the same time. The same number of employees and site activity are anticipated at the Beaverton location.



## Exhibit APP 2.1

A comparison of parking data from all three sources discussed above is provided in Table 1 below.

Table 1: Parking Calculation Comparison

Land Use	Parking Rate	Size	Required Parking Spaces
City of Beaverton			
Manufacturing	1.6	35,488 sq ft	57
Warehousing	0.3	31,479 sq ft	9
Total			66
ITE Rates			
Manufacturing	0.92	66,967 sq ft	62
Rock Ridge Site			
Manufacturing	N/A	8 employees	8
Office	N/A	10 employees	10
Vendors/Deliveries	N/A	4 per week	2
Total			20

### Summary & Conclusions

As shown above, data provided by the applicant indicates that actual parking demand will be significantly lower than the demand calculated by the ITE *Parking Generation Manual* as well as a blended calculation of parking requirements contained within the City of Beaverton Development Code.

The proposed site plan provides a total of 70 spaces, which based on the data and calculations presented here, is more than adequate to serve the proposed use.



**Exhibit APP 2.1**

Appendix

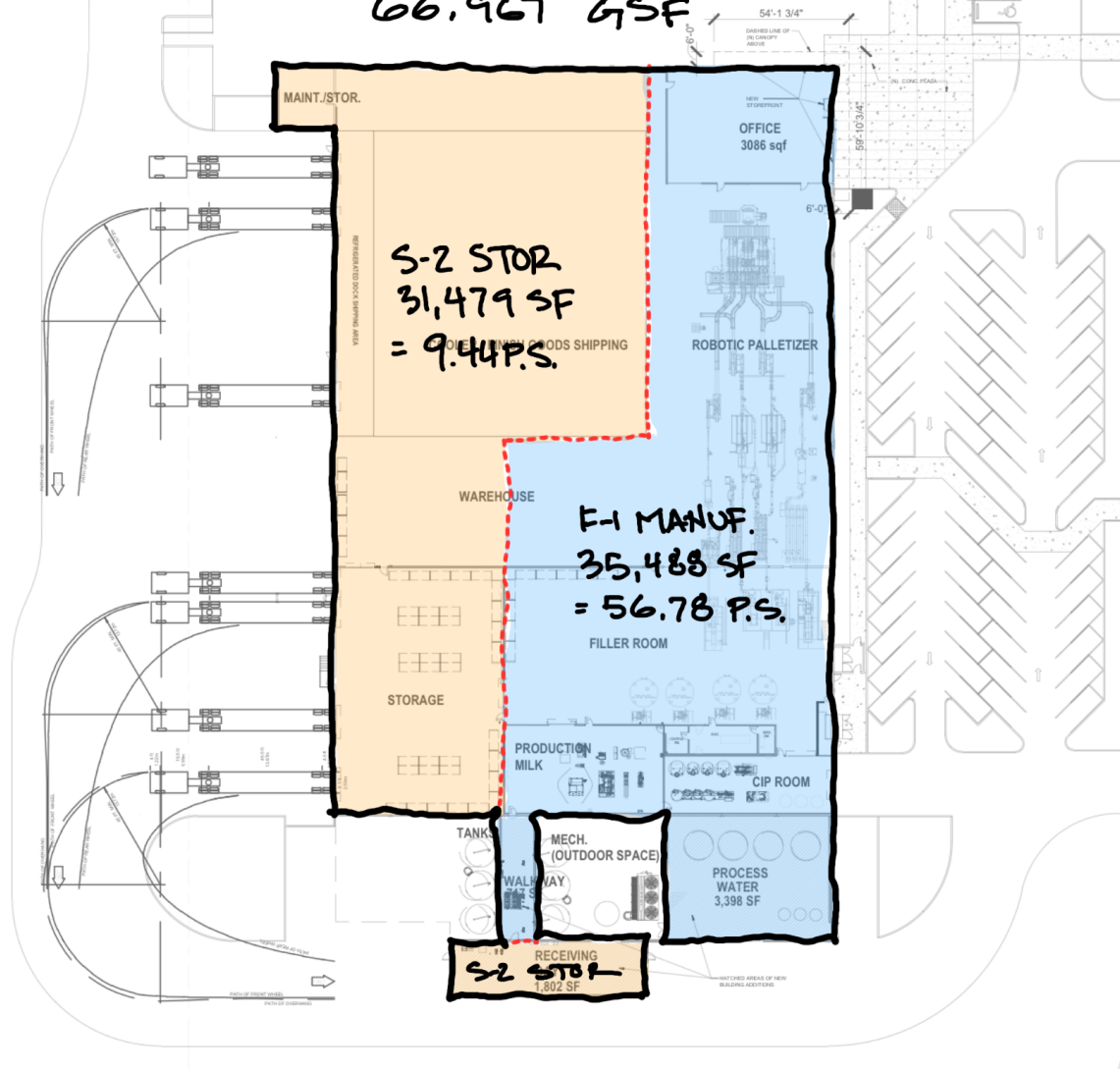




SW 5TH STREET  
Exhibit APP 2.1

PARKING SPACES  
 $9.44 \times 56.78 = 66.22 \text{ P.S.}$

BUILDING AREA:  
66,967 GSF



SW WESTERN AVE.

# Exhibit APP 2.1

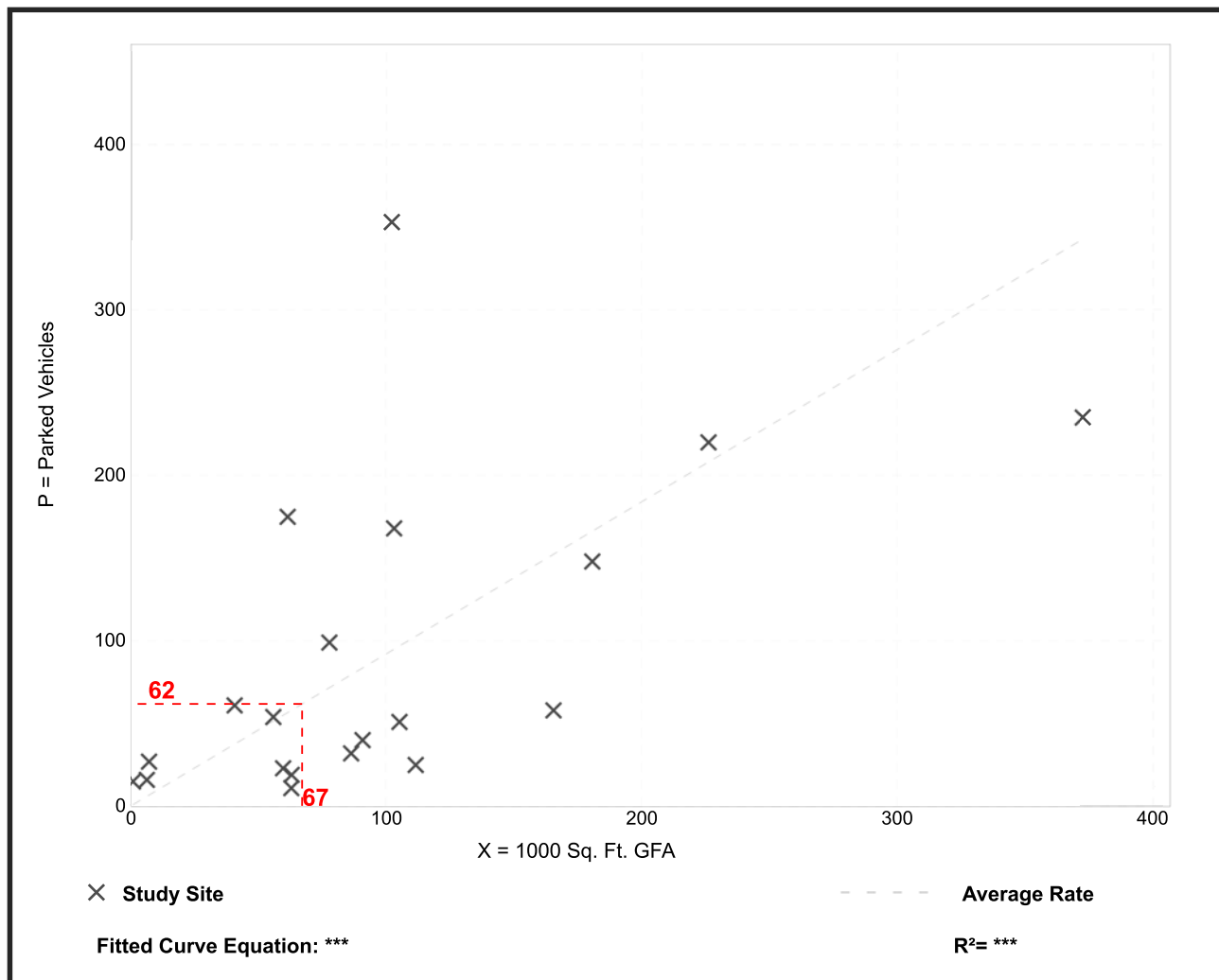
## Manufacturing (140)

Peak Period Parking Demand vs: 1000 Sq. Ft. GFA  
 On a: Weekday (Monday - Friday)  
 Setting/Location: General Urban/Suburban  
 Peak Period of Parking Demand: 10:00 a.m. - 3:00 p.m.  
 Number of Studies: 20  
 Avg. 1000 Sq. Ft. GFA: 99

### Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.92	0.17 - 13.75	0.44 / 3.36	0.53 - 1.31	0.89 (97%)

### Data Plot and Equation



Parking Generation Manual, 5th Edition • Institute of Transportation Engineers



ArborPro  
TREE EXPERTS

503 473 TREE

October 12<sup>th</sup>, 2022

Received  
Planning Division  
02/17/2023

Simp.L  
Jeff Simpson  
1017 SW Morrison St. #508  
Portland, OR 97205  
[jeff.simpson@gosimpl.com](mailto:jeff.simpson@gosimpl.com)

On October 5<sup>th</sup> I visited 5051 Western Ave, Beaverton, OR to evaluate the condition of an Oak tree. The subject tree is a Red Oak (*Quercus rubra*) 32" Diameter at breast height.

This tree is in a state of severe decline. Die back and deadwood throughout the canopy is greater than 35%. All foliage is very chlorotic. In addition, another sign of stress and decline are the sucker shoots growing from the main trunk and bases of scaffold limbs.

There is an area of the root zone closest to the trunk measuring approximately 14' X 20' that was not impacted but the remaining root zone has significant root impacts. The tree is not preservable and will continue to decline and die. It can not be preserved, and removal is recommended.

If you have any questions or concerns regarding this letter, please contact me at (503) 710-0815. Thank you for choosing Arbor Pro!

Sincerely,

Mark W. Bourgeois, President  
ISA Certified Arborist PN1562A  
Certified Tree Risk Assessor  
Member ISA – International Society of Arboriculture





**Assumptions and Limiting Conditions**

1. Any legal description provided to the consultant is assumed to be correct. Titles and ownerships to property are assumed to be good and marketable. No responsibility is assumed for legal matters.
2. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as feasible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
3. The consultant shall not be required to give testimony or attend court by reason of this report unless subsequent contractual arrangements are made, including additional fees.
4. This report, and any values expressed herein, represents the opinion of the consultant, and the consultant fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
5. Sketches, drawings, and photographs in this report are intended as visual aids and are probably not to scale. The reproduction of information generated by other consultants is for coordination and ease of reference. Inclusion of such information does not constitute a representation by the consulting arborist, as to the sufficiency or accuracy of the information.
6. Unless expressed otherwise, information in this report covers only items that were examined and reflects the condition of those items at the time of inspection. The inspection is limited to visual examination of accessible items without laboratory analysis, dissection, excavation, probing, or coring, unless otherwise stated.
7. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.
8. This report is the completed work product. Any additional work, including production of a site plan, addenda and revisions, construction of tree protection measure, tree work, or inspection of tree protection measures, for example, must be contracted separately.
9. Loss or alteration of any part of this report invalidates the entire report.





## Exhibit APP 2.1



**TM RIPPEY**  
CONSULTING ENGINEERS

EXHIBIT DR05d  
Page 1 of 17

7650 SW Beveland Street, Suite 100  
Tigard, Oregon 97223

Phone: (503) 443-3900  
Fax: (503) 443-3700

**Received**  
**Planning Division**  
02/17/2023

SEA Architects  
2525 E. Burnside Street  
Portland, OR 97214

11/22/2022  
Revised: 12/14/2022

**RE: 5051 Western Avenue; Organic Milk Exchange: DR2022-0098/PD2022-0003/SDM2022-004**

**Incompleteness Review #2; City Comment Item A.1: Please provide a cut fill balance memo demonstrating there is a net cut. Provide a table with the net volume calculation at 1-foot interval for flood plain analysis. Memo must be stamped by a professional engineer. State the datum used in the calculation and base flood elevation. A response to this comment is not sufficient, a separate Stamped Memo is required. Please provide this assessment with the next submission.**

### Existing Conditions

The existing site is located at 5051 SW Western Avenue in the City of Beaverton, Oregon. The project is more specifically described as being in the NW ¼ of SW ¼ of SECTION 14, TOWNSHIP 1 SOUTH, RANGE 1 WEST, WILLAMETTER MERIDIAN and encompasses Tax Lot 200 and Tax Lot 300.

The project site is located on the FEMA Flood Map Firmette: 41067C0531E, Firm Panel 531 of 650. This Firmette became effective on November 4, 2016. The City of Beaverton commissioned and approved a Letter or Map Revision (LOMR) that revised the Floodway and Flood Plain elevations by providing further refined cross sections along the SW 5<sup>th</sup> Street corridor which adjusted and slightly lowered the Base Flood Elevations along this section of Beaverton Creek flood way. The LOMR Case #: 16-10-1547P took effect April 7, 2017. The project is located between cross sections DQ and DP. Both Firmette Maps are included as an attachment to this memo.

DQ Elevations: November 4, 2016 = 209; April 7<sup>th</sup>, 2017 = 208.3  
DP Elevations: November 4, 2016 = 204; April 7<sup>th</sup>, 2017 = 202.50

The FEMA Maps Base Flood Elevations (BFE) are based on the Vertical Datum Known and Referenced as the "North American Vertical Datum 1988".

The Project Survey was tied to Benchmark WB06 Per Survey No. GC40P, 1929 National Geodetic Vertical Datum with an elevation of 206.82. The Bench Mark is located on the east side of SW Western Avenue approximately 600 feet south of the SW 5<sup>th</sup> Street south right of way line.

The conversion from the 1988 to the 1929 elevation is 3.51 feet per the VERTCON adjustment tool provided to the community by the federal government. The datum Shift document is attached in this memo. The project is using

The projects chosen Base Flood Elevation (BFE) to apply for the purposes of this project is located at the intersection of SW 5<sup>th</sup> Street and SW Western Avenue. The elevation used is noted as 208.41.

The conversion from the 1988 NAVD to the 1920 NGVD calculates the projects BFE to be 208.41-3.51 = 204.90 feet. This is an approximate, but reasonable assumption and we will call this the high point in the middle of the SW 5<sup>th</sup> Street and SW Western Avenue intersection.

The existing topography along the south side of the SW 5<sup>th</sup> Street right of way has a cut slope that is approximately 2.0 feet in height, 8 feet in width and rises above the SW 5<sup>th</sup> Street Flow Line from the face of curb and slopes up to the south creating the south boundary element for the Flood Plain and Floodway study. There is no existing sidewalk along most of the projects SW 5<sup>th</sup> street frontage. The existing east driveway apron and the sidewalk at the corner curb return are the only locations of the site's SW 5<sup>th</sup> Street frontage that existing and proposed grades won't change much from existing. The FP line shown on the existing condition survey is the Flood Plain Boundary projected into the project survey.

# Exhibit APP 2.1

Organic Milk Exchange  
 "FEMA USACE No Fill in Flood Plain or Flood Way"  
 Page 2

**Proposed Development:**

The project proposes to construct right of way improvements along it's SW 5<sup>th</sup> Street frontage as required for major redevelopment projects. The right of way improvements requires the installation of a new sidewalk corridor. To install a typical curb, sidewalk and other sidewalk associated improvements the project is required to dedicate 8.36 feet which provides a 38'-4.5" wide south half right of way. The entire dedicated portion of this right of will be cut down from existing grades. No Fill as it pertains to the FEMA Flood Plain study or existing topography will be placed, the work in the right of way and flood plain are therefore observed as a net cut. The Flood Plain boundary as depicted on the FEMA maps is shown on the approved permit plans and is a line type shown as -FP- on the plans. This -FP- line is the Flood Plain boundary. This Flood Plain line is depicted entirely within the existing right of way prior to any dedication and will therefore be entirely withing the right of way with the dedication.

The estimated Cut volume east of the new driveway apron is estimated as a 2 foot tall by 8 foot wide x 266 foot long triangular shaped cut. The total Cut is therefore approximately 79 cubic feet. There is an additional cut west of the new driveway apron with approximately 147 linear feet of 0.5 foot deep cut that is about 1 foot wide that is at the back of the new sidewalk that will be required to be lowered for a new sidewalk to match with the existing top of curbs. This additional volume is approximately 3 cubic feet.

The conclusion is that the project will provide a net Cut relative to existing topography and FEMA mapping. The information described and observed in this memorandum is based on information obtained from the FEMA Website, field survey data of existing topography provided our office and the final design topography prepared by TM Rippey Consulting Engineers.

Approximate Cut Relative to Existing Contours	84.43 cubic yards
Fill Relative Existing Contours	0 cubic yards
Net Cut	84.43 cubic yards

**Extremely Detailed Approximation At Each 1-Foot Interval**

ELEVATION (NGVD 1929)	ELEVATION (NAVD88)	EXISTING ELEVATION	PROPOSED ELEVATION	DIFFERENCE (FEET)	LENGTH BETWEEN CONTOURS	VOLUME CHANGE (C.Y.)
203.00	206.51	207.00	206.51	-0.49'	26'	-3.77
202.00	205.51	206.00	205.51	-0.49'	29'	-4.21
201.00	204.51	205.00	204.51	-0.49'	49'	-7.11
200.00	203.51	204.00	203.51	-0.49	97'	-14.08
199.00	202.51	203.00	202.00	-1.00	81'	-24.00
198.00	201.51	202.00	201.50	-0.5	211'	-31.26
					Total ~=	-84.43

This is a Preliminary Analysis Based on Information Currently in the Approved Permit. City of Beaverton Is considering requiring the 5<sup>th</sup> Street Curb to be Moved South another 1.5 feet and if this occurs there will only be additional Cut relative the flood plain and therefore this document is substantial evidence that the project in it's current permitted form is in compliance with Flood Plain Laws and there's a No Rise Effect with the scope of this project.

Sincerely,  
 Chris DesLauriers, P.E.  
 Enclosures:

FEMA Firmette: 41067C0531E, Firm Panel 531 of 650, Effective November 4<sup>th</sup>, 2019  
 FEMA Firmette: 41067C0531E, Firm Panel 531 of 650 with LOMR, Effective April 7<sup>th</sup>, 2017  
 Proposed Final Grading Plan Prepare by TM Rippey Consulting Engineers,  
 Existing Topography with -FP- Flood Plain Boundary line shown.  
 Western Avenue Project Benchmark Excerpt's, Two pdfs included.  
 Verticon Vertical Datum Shift.



EXP: 12/31/2023

# Exhibit APP 2.1

## NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the **Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations** tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on this FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

**Coastal Base Flood Elevations** shown on this map apply only to areas of 0.0 North American Vertical Datum (NAVD83). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations tables in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures in this jurisdiction.

The **projection** used in the preparation of this map was Universal Transverse Mercator zone 10. The **horizontal datum** was NAD 83. GRS 80 spheroid. Differences in datum, spheroid, projection or UTM zones do not in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geospatial Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA NINGS12  
National Geodetic Survey  
SSMC-3, #2020  
1315 East-West Highway  
Silver Spring, MD 20910-3282

To obtain current elevation description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov/>.

**Base Map** information shown on this FIRM was derived from multiple sources. Base map files were provided in digital format by the Metro Data Resources Center. This information was compiled from many local sources and includes transportation features, water features, political boundaries, and Public Land Survey System features.

This map reflects more detailed and up-to-date stream channel configurations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables may reflect stream channel distances that differ from what is shown on this map.

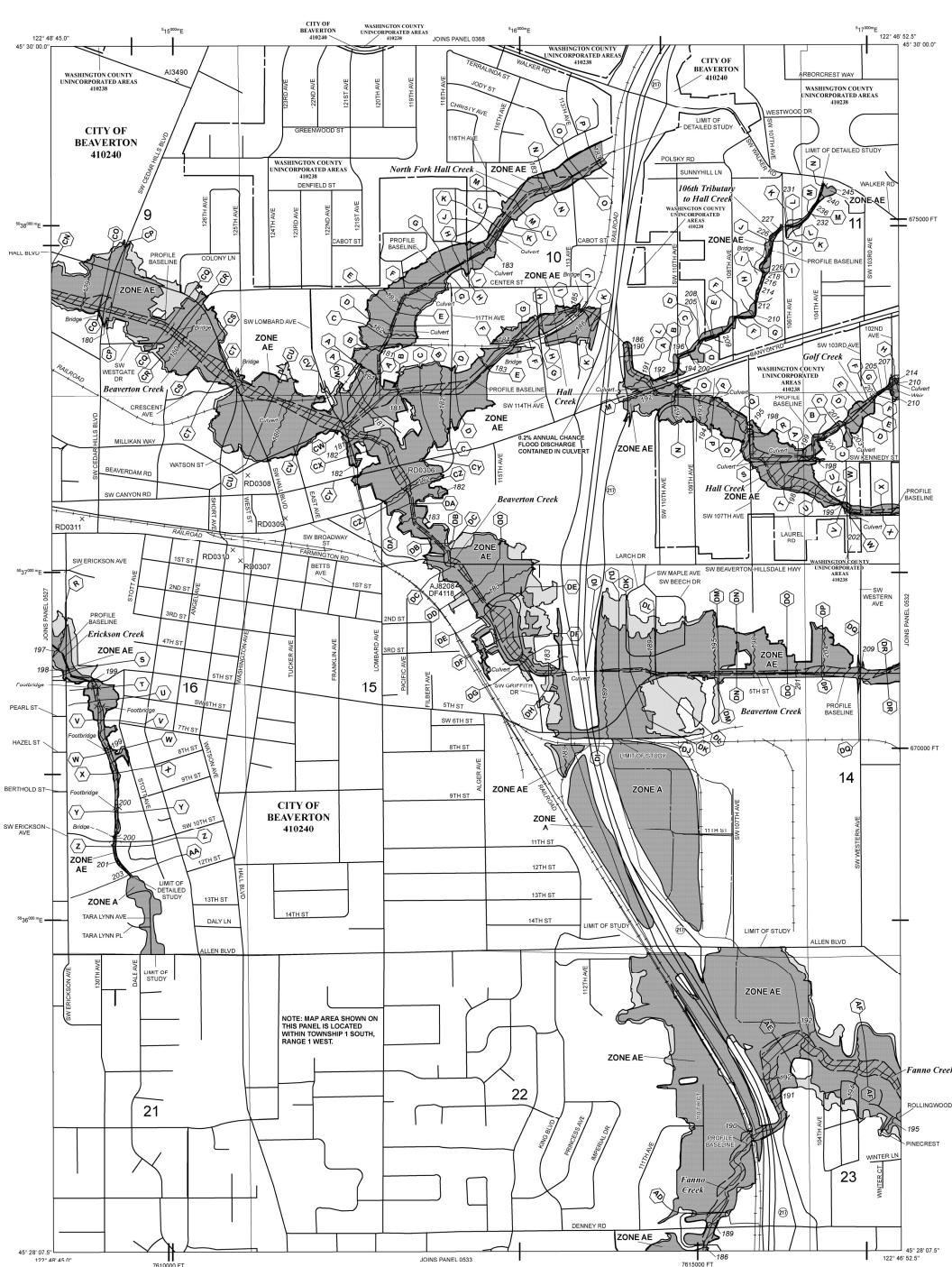
**Corporate limits** shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels, community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

The **profile base lines** depicted on this map represent the hydraulic modeling base lines that match the flood profiles in the FIS report. As a result of improved topographic data, the **profile base line**, in some cases may deviate significantly from the channel centerline or appear outside the SFHA.

For information on available products associated with this FIRM visit the **FIRM Flood Map Service Center (MSC)** website at <http://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the MSC website.

If you have **questions about this map**, how to order products or the National Flood Insurance Program in general, please call the FEMA Map Information eXchange (FMIX) at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov/business/fm>.



## LEGEND

- SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**
- The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water surface elevation of the 1% annual chance flood.
- ZONE A** No Base Flood Elevations determined.
  - ZONE AE** Base Flood Elevations determined.
  - ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
  - ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of shallow flooding, velocities also determined.
  - ZONE AR** Area of special hazard formerly protected from the 1% annual chance flood event by a flood control system that was subsequently abandoned. Zone AR indicates that the former flood control system is being retained to provide protection from the 1% annual chance of greater flood event.
  - ZONE A99** Area to be protected from 1% annual chance flood event by a Federal flood protection system under construction; no Base Flood Elevations determined.
  - ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
  - ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- FLOODWAY AREAS IN ZONE AE**
- The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachments so that the 1% annual chance flood can be carried without substantial increases in flood heights.
- OTHER FLOOD AREAS**
  - ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
  - OTHER AREAS**
  - ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.
  - ZONE D** Areas in which flood hazards are undetermined, but possible.
  - COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**
  - OTHERWISE PROTECTED AREAS (OPAs)**
- CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
- 1% annual chance floodplain boundary
  - 0.2% annual chance floodplain boundary
  - Floodway boundary
  - Zone D boundary
  - CBRS and OPA boundary
  - Boundary dividing Special Flood Hazard Area zones, and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
- STG** Base Flood Elevation line and value; elevation in feet.\*
- (EL) 978** Base Flood Elevation value where uniform within zone; elevation in feet.\*
- \* Referenced to the North American Vertical Datum of 1988
- Transverse line
  - 97°10'25.5"±21°10'30"±
  - 42°76'00"E
  - 1000-meter Universal Transverse Mercator grid values, zone 10
  - 5000-foot grid ticks; Oregon State Plane coordinate system, North zone (FIPS/NOES 5001); Lambert Conformal Conic projection
  - MCSS10, MCSS10, MCSS10
  - Bench mark (see explanation in Notes to Users section of this FIRM panel)
  - ±M1.5
  - River Mile
  - Aqueduct, Culvert, Flume, Penstock, or Storm Sewer
  - Road or Railroad Bridge
- MAP REPOSITORY**  
Refer to listing of Map Repositories on Map Index
- EFFECTIVE DATE OF COUNTY-WIDE FLOOD INSURANCE RATE MAP**  
November 4, 2016
- EFFECTIVE DATES OF REVISIONS TO THIS PANEL**

**NATIONAL FLOOD INSURANCE PROGRAM**

**PANEL 0531E**

**FIRM**  
FLOOD INSURANCE RATE MAP  
WASHINGTON COUNTY,  
OREGON  
AND INCORPORATED AREAS

**PANEL 531 OF 650**  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS	COMMUNITY	NUMBER	PANEL	SUFFIX
	BEAVERTON, CITY OF	410240	0531	E
	WASHINGTON COUNTY	410238	0501	E

**MAP NUMBER**  
41067C0531E

**EFFECTIVE DATE**  
NOVEMBER 4, 2016

Federal Emergency Management Agency



**Federal Emergency Management Agency**  
Washington, D.C. 20472

**LETTER OF MAP REVISION  
DETERMINATION DOCUMENT**

COMMUNITY AND REVISION INFORMATION		PROJECT DESCRIPTION	BASIS OF REQUEST
COMMUNITY	City of Beaverton Washington County Oregon	NO PROJECT	FLOODWAY HYDRAULIC ANALYSIS HYDROLOGIC ANALYSIS NEW TOPOGRAPHIC DATA
	COMMUNITY NO.: 410240		
IDENTIFIER	Upper Beaverton Creek LOMR	APPROXIMATE LATITUDE & LONGITUDE: 45.483, -122.783 SOURCE: Other      DATUM: NAD 83	
ANNOTATED MAPPING ENCLOSURES		ANNOTATED STUDY ENCLOSURES	
TYPE: FIRM*	NO.: 41067C0531E      DATE: November 4, 2016	DATE OF EFFECTIVE FLOOD INSURANCE STUDY: November 4, 2016	
TYPE: FIRM	NO.: 41067C0532E      DATE: November 4, 2016	PROFILES: 12P AND 13P FLOODWAY DATA TABLE: 5	

Enclosures reflect changes to flooding sources affected by this revision.  
\* FIRM - Flood Insurance Rate Map

**FLOODING SOURCE & REVISED REACH**

Beaverton Creek - From approximately 500 feet upstream of State Highway 217 to approximately 4,100 feet upstream of State Highway 217

**SUMMARY OF REVISIONS**

Flooding Source	Effective Flooding	Revised Flooding	Increases	Decreases
Beaverton Creek	Zone AE	Zone AE	YES	YES
	Zone X (shaded)	Zone X (shaded)	YES	YES
	BFEs*	BFEs	YES	YES
	Floodway	Floodway	YES	YES

\* BFEs - Base Flood Elevations

**DETERMINATION**

This document provides the determination from the Department of Homeland Security's Federal Emergency Management Agency (FEMA) regarding a request for a Letter of Map Revision (LOMR) for the area described above. Using the information submitted, we have determined that a revision to the flood hazards depicted in the Flood Insurance Study (FIS) report and/or National Flood Insurance Program (NFIP) map is warranted. This document revises the effective NFIP map, as indicated in the attached documentation. Please use the enclosed annotated map panels revised by this LOMR for floodplain management purposes and for all flood insurance policies and renewals in your community.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Information eXchange toll free at 1-877-336-2627 (1-877-FEMA MAP) or by letter addressed to the LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605. Additional Information about the NFIP is available on our website at <http://www.fema.gov/nfip>.

Patrick "Rick" F. Sacbibit, P.E., Branch Chief  
Engineering Services Branch  
Federal Insurance and Mitigation Administration





Federal Emergency Management Agency  
Washington, D.C. 20472

**LETTER OF MAP REVISION  
DETERMINATION DOCUMENT (CONTINUED)**

**COMMUNITY INFORMATION**

**APPLICABLE NFIP REGULATIONS/COMMUNITY OBLIGATION**

We have made this determination pursuant to Section 206 of the Flood Disaster Protection Act of 1973 (P.L. 93-234) and in accordance with the National Flood Insurance Act of 1968, as amended (Title XIII of the Housing and Urban Development Act of 1968, P.L. 90-448), 42 U.S.C. 4001-4128, and 44 CFR Part 65. Pursuant to Section 1361 of the National Flood Insurance Act of 1968, as amended, communities participating in the NFIP are required to adopt and enforce floodplain management regulations that meet or exceed NFIP criteria. These criteria, including adoption of the FIS report and FIRM, and the modifications made by this LOMR, are the minimum requirements for continued NFIP participation and do not supersede more stringent State/Commonwealth or local requirements to which the regulations apply.

We provide the floodway designation to your community as a tool to regulate floodplain development. Therefore, the floodway revision we have described in this letter, while acceptable to us, must also be acceptable to your community and adopted by appropriate community action, as specified in Paragraph 60.3(d) of the NFIP regulations.

**COMMUNITY REMINDERS**

We based this determination on the 1-percent-annual-chance discharges computed in the submitted hydrologic model. Future development of projects upstream could cause increased discharges, which could cause increased flood hazards. A comprehensive restudy of your community's flood hazards would consider the cumulative effects of development on discharges and could, therefore, indicate that greater flood hazards exist in this area.

Your community must regulate all proposed floodplain development and ensure that permits required by Federal and/or State/Commonwealth law have been obtained. State/Commonwealth or community officials, based on knowledge of local conditions and in the interest of safety, may set higher standards for construction or may limit development in floodplain areas. If your State/Commonwealth or community has adopted more restrictive or comprehensive floodplain management criteria, those criteria take precedence over the minimum NFIP requirements.

We will not print and distribute this LOMR to primary users, such as local insurance agents or mortgage lenders; instead, the community will serve as a repository for the new data. We encourage you to disseminate the information in this LOMR by preparing a news release for publication in your community's newspaper that describes the revision and explains how your community will provide the data and help interpret the NFIP maps. In that way, interested persons, such as property owners, insurance agents, and mortgage lenders, can benefit from the information.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Information eXchange toll free at 1-877-336-2627 (1-877-FEMA MAP) or by letter addressed to the LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605. Additional Information about the NFIP is available on our website at <http://www.fema.gov/nfip>.

Patrick "Rick" F. Sacibit, P.E., Branch Chief  
Engineering Services Branch  
Federal Insurance and Mitigation Administration



Federal Emergency Management Agency  
Washington, D.C. 20472

**LETTER OF MAP REVISION  
DETERMINATION DOCUMENT (CONTINUED)**

We have designated a Consultation Coordination Officer (CCO) to assist your community. The CCO will be the primary liaison between your community and FEMA. For information regarding your CCO, please contact:

Mr. Mark Carey  
Director, Mitigation Division  
Federal Emergency Management Agency, Region X  
Federal Regional Center  
130 228th Street, Southwest  
Bothell, WA 98021-8627  
(425) 487-4682

**STATUS OF THE COMMUNITY NFIP MAPS**

We will not physically revise and republish the FIRM and FIS report for your community to reflect the modifications made by this LOMR at this time. When changes to the previously cited FIRM panels and FIS report warrant physical revision and republication in the future, we will incorporate the modifications made by this LOMR at that time.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Information eXchange toll free at 1-877-336-2627 (1-877-FEMA MAP) or by letter addressed to the LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605. Additional Information about the NFIP is available on our website at <http://www.fema.gov/nfip>.

Patrick "Rick" F. Sacbbit, P.E., Branch Chief  
Engineering Services Branch  
Federal Insurance and Mitigation Administration



Federal Emergency Management Agency  
Washington, D.C. 20472

**LETTER OF MAP REVISION  
DETERMINATION DOCUMENT (CONTINUED)**

**PUBLIC NOTIFICATION OF REVISION**

A notice of changes will be published in the *Federal Register*. This information also will be published in your local newspaper on or about the dates listed below, and through FEMA's Flood Hazard Mapping website at [https://www.floodmaps.fema.gov/fhm/bfe\\_status/bfe\\_main.asp](https://www.floodmaps.fema.gov/fhm/bfe_status/bfe_main.asp)

LOCAL NEWSPAPER

Name: *Beaverton Valley Times*

Dates: December 1, 2016 and December 8, 2016

Within 90 days of the second publication in the local newspaper, any interested party may request that we reconsider this determination. Any request for reconsideration must be based on scientific or technical data. Therefore, this letter will be effective only after the 90-day appeal period has elapsed and we have resolved any appeals that we receive during this appeal period. Until this LOMR is effective, the revised flood hazard determination presented in this LOMR may be changed.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Information eXchange toll free at 1-877-336-2627 (1-877-FEMA MAP) or by letter addressed to the LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605. Additional Information about the NFIP is available on our website at <http://www.fema.gov/nfip>.

Patrick "Rick" F. Sacbibit, P.E., Branch Chief  
Engineering Services Branch  
Federal Insurance and Mitigation Administration

## Exhibit APP 2.1

FLOODING SOURCE		FLOODWAY			1-PERCENT-ANNUAL-CHANCE FLOOD WATER SURFACE ELEVATION			
CROSS SECTION	DISTANCE <sup>1</sup>	WIDTH (FEET)	SECTION AREA (SQ.FEET)	MEAN VELOCITY (FEET/SEC.)	REGULATORY (FEET NAVD)	WITHOUT FLOODWAY (FEET NAVD)	WITH FLOODWAY (FEET NAVD)	INCREASE (FEET)
BEAVERTON CREEK								
DA	49,807	30	15	1.3	182.7	182.7	182.9	0.2
DB	50,296	13	5	3.7	183.3	183.3	183.4	0.1
DC	50,513	82	315	0.1	183.3	183.3	183.7	0.4
DD	50,857	39	150	0.1	183.3	183.3	183.7	0.4
DE	51,109	34	144	0.1	183.3	183.3	183.7	0.4
DF	51,446	115	627	0.7	183.3	183.3	183.7	0.4
DG	51,730	45	255	1.3	183.4	183.4	183.7	0.3
DH	52,007	34	178	1.9	183.4	183.4	183.8	0.4
DI	52,457	8	110	2.1	189.0	189.0	189.4	0.4
DJ	52,670	25	324	0.7	189.1	189.1	189.5	0.4
DK	52,780	32	324	0.7	189.1	189.1	189.5	0.4
DL	53,025	30	58	1.6	189.1	189.1	189.5	0.4
DM	53,626	31	21	4.5	195.4	195.4	195.8	0.4
DN	53,795	30	20	4.6	197.2	197.2	197.7	0.5
DO	54,275	30	21	4.5	200.7	200.7	201.0	0.3
DP	54,598	30	20	4.6	202.5	202.5	202.8	0.3
DQ	54,946	66	47	2.0	208.3	208.3	208.3	0.0
DR	55,219	61	118	0.8	208.6	208.6	208.8	0.2
DS	55,483	57	90	1.0	208.6	208.6	208.8	0.2
DT	55,702	9	79	2.2	208.6	208.6	208.9	0.3
DU	56,057	70	177	1.0	208.6	208.6	209.2	0.6
DV	56,143	63	239	0.7	208.7	208.7	209.2	0.5
DW	56,362	17	42	4.1	208.9	208.9	209.2	0.3
DX	56,513	15	63	3.0	210.6	210.6	211.5	0.9
DY	56,796	13	44	4.4	211.4	211.4	212.2	0.8
DZ	56,883	23	18	5.1	215.6	215.6	215.8	0.2

<sup>1</sup>Feet above confluence with Rock Creek North

**REVISED DATA**



TABLE 5

FEDERAL EMERGENCY MANAGEMENT AGENCY  
**WASHINGTON COUNTY, OR**  
AND INCORPORATED AREAS

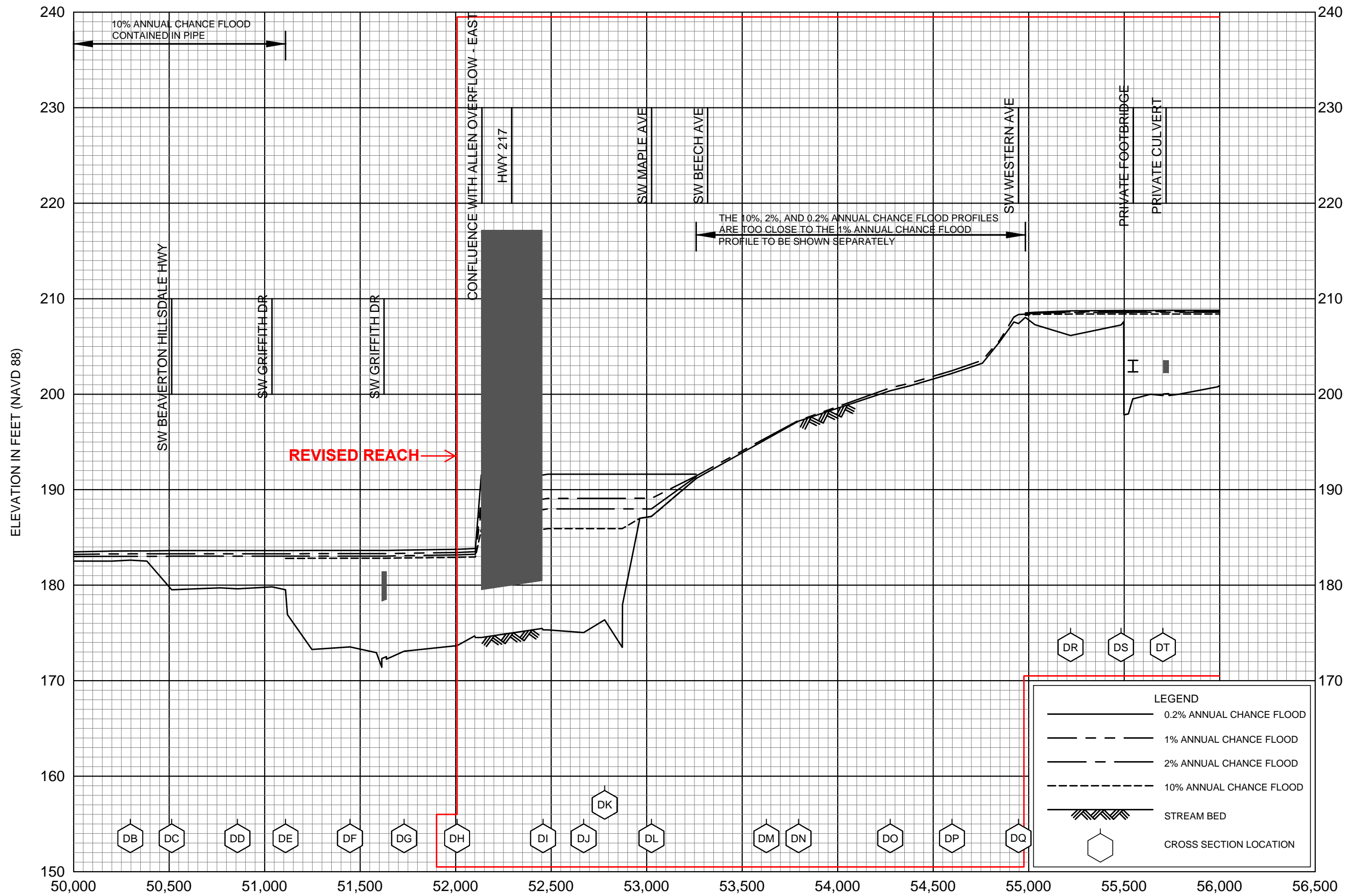
**FLOODWAY DATA**

**BEAVERTON CREEK**

**REVISED TO REFLECT LOMR EFFECTIVE: APRIL 7, 2017**



Exhibit APP 2.1



REVISED TO REFLECT LOMR EFFECTIVE: APRIL 7, 2017

STREAM DISTANCE IN FEET ABOVE CONFLUENCE WITH ROCK CREEK NORTH

FLOOD PROFILES  
BEAVERTON CREEK

FEDERAL EMERGENCY MANAGEMENT AGENCY  
WASHINGTON COUNTY, OR  
AND INCORPORATED AREAS





NOTE: MAP AREA SHOWN ON THIS PANEL IS LOCATED WITHIN TOWNSHIP 1 SOUTH, RANGE WEST.

REVISED AREA

JOINS PANEL 0531

5037000mN

5036000mN

ALLEN BLVD

Exhibit APP 2.1

Beaverton Creek

Profile Baseline

Footbridge

Culvert

Bridge

Culvert

Culvert

Culvert

PINEHURST DR

14

City of Beaverton 410240

ROYAL WOODLANDS DR

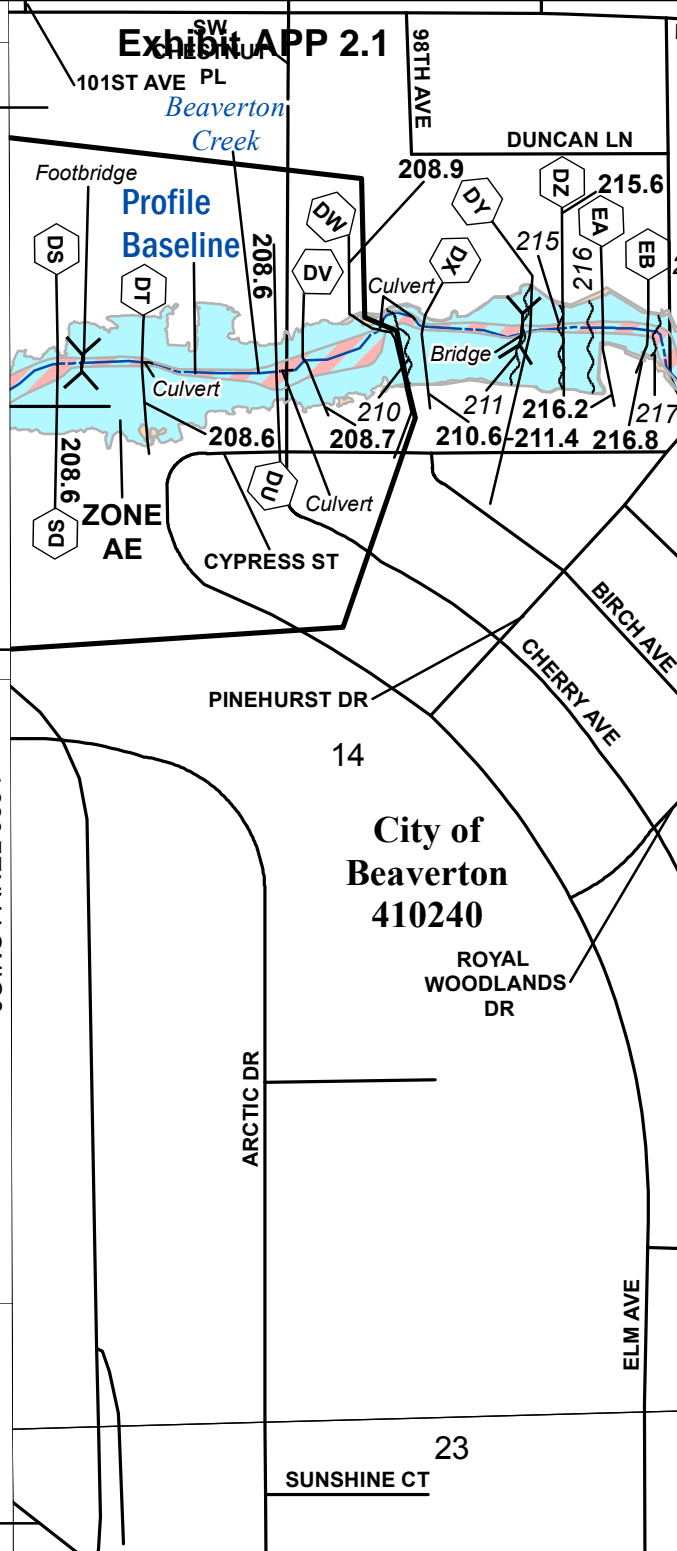
ARCTIC DR

23

SUNSHINE CT

BEAVERTON HILLSDALE HWY

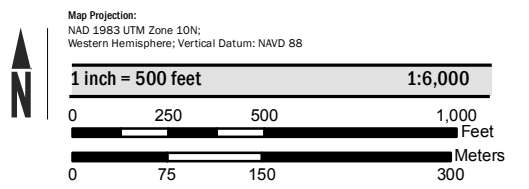
Washington County Unincorporated Areas 410238



**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE) Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway
- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee See Notes. Zone X

SCALE



**FEMA National Flood Insurance Program**

**NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP**

WASHINGTON COUNTY, OREGON AND INCORPORATED AREAS

PANEL **532** OF **650**

Panel Contains:

COMMUNITY	NUMBER	PANEL	SUFFIX
BEAVERTON, CITY OF	410240	0532	E
WASHINGTON COUNTY	410238	0532	E

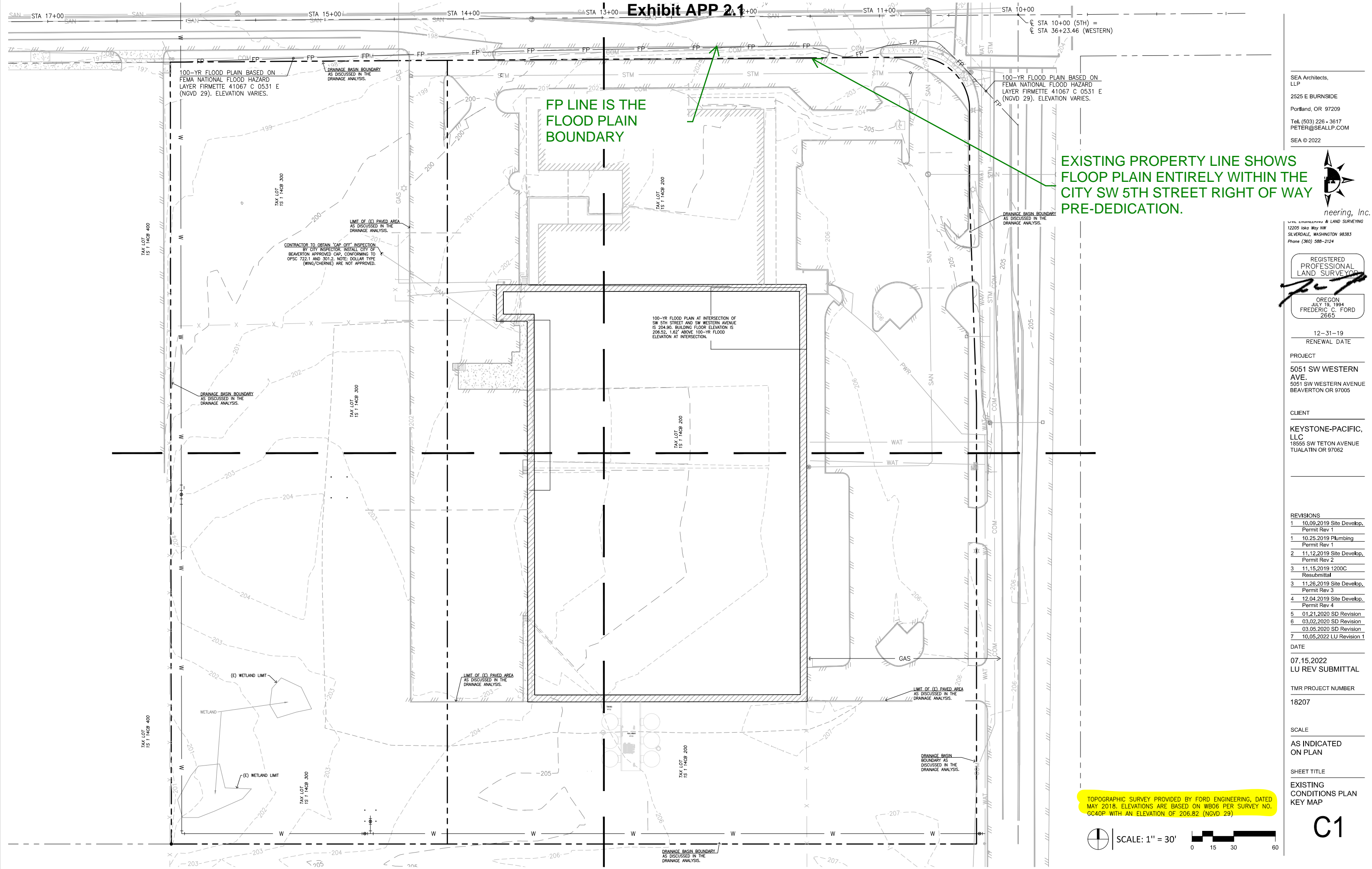
**REVISED TO REFLECT LOMR EFFECTIVE: APRIL 7, 2017**

VERSION NUMBER 1.1.1.0  
 MAP NUMBER 41067C0532E  
 EFFECTIVE DATE NOVEMBER 4, 2016





**Exhibit APP 2.1**



100-YR FLOOD PLAIN BASED ON FEMA NATIONAL FLOOD HAZARD LAYER FIRMETTE 41067 C 0531 E (NGVD 29). ELEVATION VARIES.

DRAINAGE BASIN BOUNDARY AS DISCUSSED IN THE DRAINAGE ANALYSIS.

**FP LINE IS THE FLOOD PLAIN BOUNDARY**

100-YR FLOOD PLAIN BASED ON FEMA NATIONAL FLOOD HAZARD LAYER FIRMETTE 41067 C 0531 E (NGVD 29). ELEVATION VARIES.

**EXISTING PROPERTY LINE SHOWS FLOOD PLAIN ENTIRELY WITHIN THE CITY SW 5TH STREET RIGHT OF WAY PRE-DEDICATION.**

TAX LOT 15 1 14CB 400

TAX LOT 15 1 14CB 300

TAX LOT 15 1 14CB 200

CONTRACTOR TO OBTAIN "CAP OFF" INSPECTION BY CITY INSPECTOR. INSTALL CITY OF BEAVERTON APPROVED CAP, CONFORMING TO OPSC 722-1 AND 3012. NOTE: DOLLAR TYPE (WING/CHEMIE) ARE NOT APPROVED.

TAX LOT 15 1 14CB 300

TAX LOT 15 1 14CB 200

TAX LOT 15 1 14CB 400

TAX LOT 15 1 14CB 300

TAX LOT 15 1 14CB 200

DRAINAGE BASIN BOUNDARY AS DISCUSSED IN THE DRAINAGE ANALYSIS.

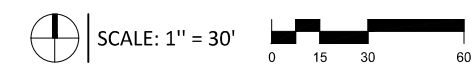
DRAINAGE BASIN BOUNDARY AS DISCUSSED IN THE DRAINAGE ANALYSIS.

100-YR FLOOD PLAIN AT INTERSECTION OF SW 5TH STREET AND SW WESTERN AVENUE IS 204.90. BUILDING FLOOR ELEVATION IS 208.52. 1.62' ABOVE 100-YR FLOOD ELEVATION AT INTERSECTION.

LIMIT OF (E) PAVED AREA AS DISCUSSED IN THE DRAINAGE ANALYSIS.

DRAINAGE BASIN BOUNDARY AS DISCUSSED IN THE DRAINAGE ANALYSIS.

TOPOGRAPHIC SURVEY PROVIDED BY FORD ENGINEERING, DATED MAY 2018. ELEVATIONS ARE BASED ON W806 PER SURVEY NO. 0640P WITH AN ELEVATION OF 206.82 (NGVD 29)



SEA Architects, LLP  
2525 E BURNSIDE  
Portland, OR 97209  
Tel: (503) 226-3617  
PETER@SEALLP.COM  
SEA © 2022

neering, Inc.  
Civil Engineering & Land Surveying  
12205 Ioka Way NW  
SILVERDALE, WASHINGTON 98383  
Phone (360) 588-2124

REGISTERED PROFESSIONAL LAND SURVEYOR  
OREGON  
JULY 19, 1994  
FREDERIC C. FORD  
2665

12-31-19  
RENEWAL DATE

PROJECT  
5051 SW WESTERN AVENUE  
5051 SW WESTERN AVENUE  
BEAVERTON OR 97005

CLIENT  
KEYSTONE-PACIFIC, LLC  
18555 SW TETON AVENUE  
TUALATIN OR 97062

REVISIONS

1	10.09.2019 Site Develop. Permit Rev 1
1	10.25.2019 Plumbing Permit Rev 1
2	11.12.2019 Site Develop. Permit Rev 2
3	11.15.2019 1200C Resubmittal
3	11.26.2019 Site Develop. Permit Rev 3
4	12.04.2019 Site Develop. Permit Rev 4
5	01.21.2020 SD Revision
6	03.02.2020 SD Revision
7	03.05.2020 SD Revision
7	10.05.2022 LU Revision 1

DATE  
07.15.2022  
LU REV SUBMITTAL

TMR PROJECT NUMBER  
18207

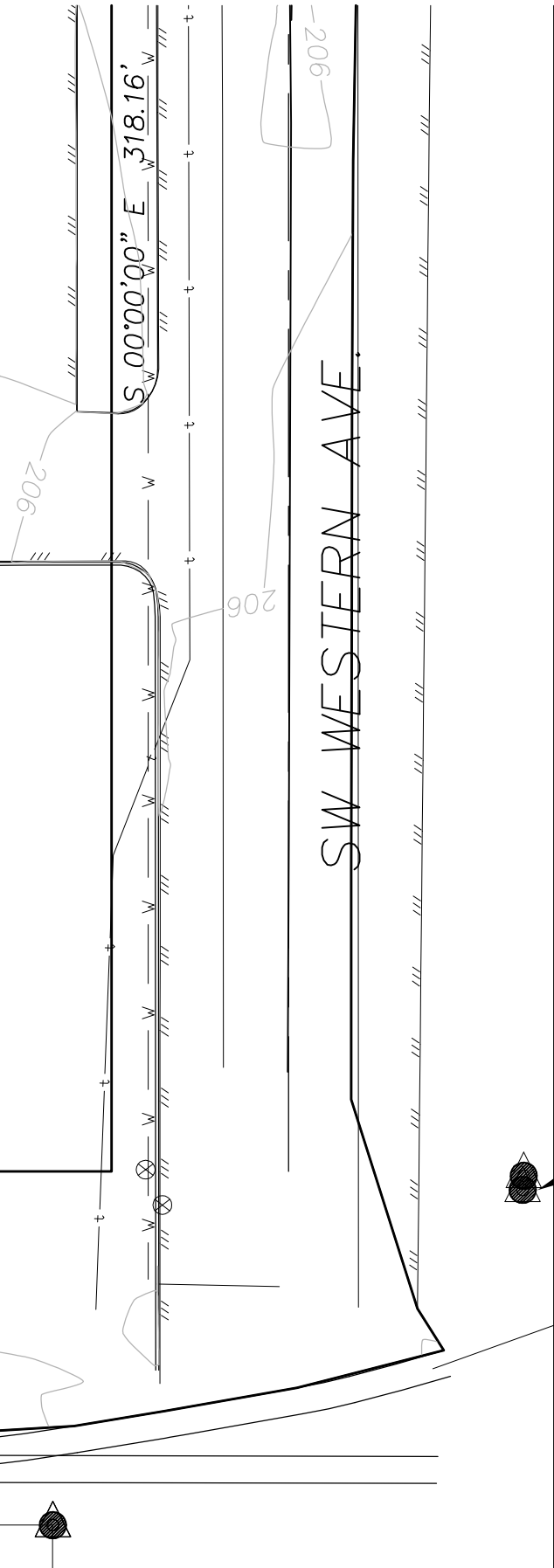
SCALE  
AS INDICATED  
ON PLAN

SHEET TITLE  
EXISTING  
CONDITIONS PLAN  
KEY MAP

**C1**

SITE DEVELOPMENT PERMIT

Exhibit APP 2.1



ELEVATIONS BASED ON WB06  
PER SURVEY NO. GC40P  
WITH AN ELEVATION OF 206.82 (NGVD 29)



# Exhibit APP 2.1



ELEVATIONS BASED ON WB06  
PER SURVEY NO. GC40P  
WITH AN ELEVATION OF 206.82 (NGVD 29)



**Exhibit APP 2.1**

Questions concerning the VERTCON process may be mailed to [\\_NGS](#)

---

**Latitude: 45.482125**

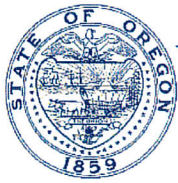
**Longitude: 122.782678**

**NGVD 29 height: 206.824 ft**

**Datum shift(NAVD 88 minus NGVD 29): 3.510 feet**

**Converted to NAVD 88 height: 210.334 feet**

---



# Oregon

Kate Brown, Governor

EXHIBIT DR05b  
EXHIBIT APP 2.1

Received  
Planning Division  
02/17/2023

Department of State Lands  
775 Summer Street NE, Suite 100  
Salem, OR 97301-1279  
(503) 986-5200  
FAX (503) 378-4844  
[www.oregon.gov/dsl](http://www.oregon.gov/dsl)  
State Land Board

July 18, 2019

Keystone-Pacific  
Attn: Gabriel Vizireanu  
18555 SW Teton Ave.  
Tualatin, OR 97062

Kate Brown  
Governor

Bev Clarno  
Secretary of State

Tobias Read  
State Treasurer

Re: **WD # 2019-0351 Approved**  
Wetland Delineation Report for 5051 SW Western Ave.  
Washington County; T1S R1W Sec. 14CB, Tax Lots 200, 300

Dear Mr. Vizireanu:

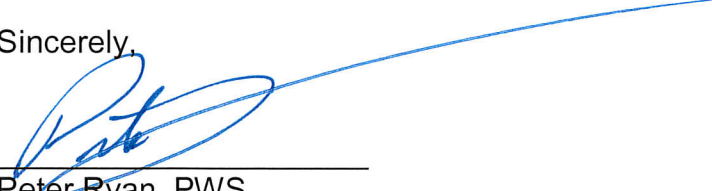
The Department of State Lands has reviewed the wetland determination report prepared by Pacific Habitat Services, LLC for the site referenced above. Two wetlands (A and B) were identified onsite. Based upon the information presented in the report, these wetlands are non-jurisdictional per OAR 141-085-0515(6). Therefore, we concur that there are no jurisdictional wetlands or other waters of the state within the study area, as indicated on the attached Figure 6. Please replace all copies of the preliminary wetland map with this final Department-approved map. This concurrence is based on information provided to the agency and is for purposes of the state Removal-Fill Law only. Federal or local permit requirements may apply as well.

The jurisdictional determination is valid for five years from the date of this letter unless new information necessitates a revision. Circumstances under which the Department may change a determination are found in OAR 141-090-0045 (available on our web site or upon request). In addition, laws enacted by the legislature and/or rules adopted by the Department may result in a change in jurisdiction; individuals and applicants are subject to the regulations that are in effect at the time of the removal-fill activity or complete permit application. The applicant, landowner, or agent may submit a request for reconsideration of this determination in writing within six months of the date of this letter.

## Exhibit APP 2.1

Thank you for having the site evaluated. If you have any questions, please contact the Jurisdictional Coordinator for Washington County, Chris Stevenson, at (503) 986-5246.

Sincerely,



---

Peter Ryan, PWS  
Aquatic Resource Specialist

Enclosures

ec: Carlee Michelson, Pacific Habitat Services, Inc.  
City of Beaverton Planning Department (Maps enclosed for updating LWI)  
Carrie Bond, Corps of Engineers  
Lindsey Obermiller, Clean Water Services  
Anita Huffman, DSL

# Exhibit APP 2.1

## WETLAND DELINEATION / DETERMINATION REPORT COVER FORM

Fully completed and signed report cover forms and applicable fees are required before report review timelines are initiated by the Department of State Lands. Make the checks payable to the Oregon Department of State Lands. To pay fees by credit card, go online at: <https://apps.oregon.gov/DSL/EPS/program?key=4>.

Attach this completed and signed form to the front of an unbound report or include a hard copy with a digital version (single PDF file of the report cover form and report, minimum 300 dpi resolution) and submit to, Oregon Department of State Lands, 775 Summer Street NE, Suite 100, Salem, OR 97301-1279. A single PDF of the completed cover form and report may be e-mailed to [Wetland\\_Delineation@dsl.state.or.us](mailto:Wetland_Delineation@dsl.state.or.us). For submittal of PDF files larger than 10 MB, e-mail DSL instructions on how to access the file from your ftp or other file sharing website.

<b>Contact and Authorization Information</b>	
<input type="checkbox"/> Applicant <input type="checkbox"/> Owner Name, Firm and Address: Gabriel Vizireanu, Keystone-Pacific 18555 SW Teton Ave Tualatin, OR 97062	Business phone # (503) 303-0360 Mobile phone # (optional) E-mail: Gabriel.Vizireanu@keystone-pacific.com
<input type="checkbox"/> Authorized Legal Agent, Name and Address: same	Business phone # Mobile phone # E-mail:
I either own the property described below or I have legal authority to allow access to the property. I authorize the Department to access the property for the purpose of confirming the information in the report, after prior notification to the primary contact. Typed/Printed Name: <u>GABRIEL VIZIREANU</u> Signature: <u>[Signature]</u> Date: <u>06/12/19</u> Special instructions regarding site access: <u>check in with Schommers - G.C.</u>	
<b>Project and Site Information</b>	
Project Name: <u>5051 SW Western Ave</u>	Latitude: <u>45.482872</u> Longitude: <u>-122.784178</u> <small>decimal degree - centroid of site or start &amp; end points of linear project</small> Tax Map # <u>1S 1 14CB</u> Tax Lot(s) <u>200 and 300</u>
Proposed Use: <u>Development</u>	Tax Map # Tax Lot(s)
Project Street Address (or other descriptive location): <u>5051 SW Western Ave</u>	Township <u>1S</u> Range <u>1W</u> Section <u>14CB</u> QQ <u>NW1/4 SW1/4</u> <small>Use separate sheet for additional tax and location information</small> Waterway: <u>N/A</u> River Mile: <u>N/A</u>
City: <u>Beaverton</u> County: <u>Washington</u>	NWI Quad(s): <u>Beaverton</u>
<b>Wetland Delineation Information</b>	
Wetland Consultant Name, Firm and Address: Pacific Habitat Services Attn: Carlee Michelson 9450 SW Commerce Circle, Suite 180 Wilsonville, OR 97070	Phone # <u>503-570-0800</u> Mobile phone # E-mail: <u>@pacifichabitat.com</u>
The information and conclusions on this form and in the attached report are true and correct to the best of my knowledge. Consultant Signature: <u>[Signature]</u> Date: <u>5/28/2019</u>	
Primary Contact for report review and site access is <input checked="" type="checkbox"/> Consultant <input type="checkbox"/> Applicant/Owner <input type="checkbox"/> Authorized Agent	
Wetland/Waters Present? <input type="checkbox"/> Yes <input type="checkbox"/> No Study Area size: <u>7.57 acres</u> Total Wetland Acreage: <u>0.04</u>	
<b>Check Applicable Boxes Below</b>	
<input type="checkbox"/> R-F permit application submitted <input type="checkbox"/> Mitigation bank site <input type="checkbox"/> Industrial Land Certification Program Site <input type="checkbox"/> Wetland restoration/enhancement project (not mitigation) <input type="checkbox"/> Previous delineation/application on parcel? If Known, previous DSL #	<input checked="" type="checkbox"/> Fee payment submitted \$454 <input type="checkbox"/> Fee (\$100) for resubmittal of rejected report <input type="checkbox"/> Request for Reissuance. See eligibility criteria (no fee) DSL # _____ Expiration Date _____ <input type="checkbox"/> LWI shows wetlands or waters on parcel? Wetland ID Code
<b>For Office Use Only</b>	
DSL Reviewer: <u>CS</u> Fee Paid Date: ___/___/___ Date Delineation Received: <u>6/12/19</u> Scanned: <input type="checkbox"/> Final Scan: <input type="checkbox"/>	DSL WD # <u>2019-0351</u> DSL App. # _____

#78372



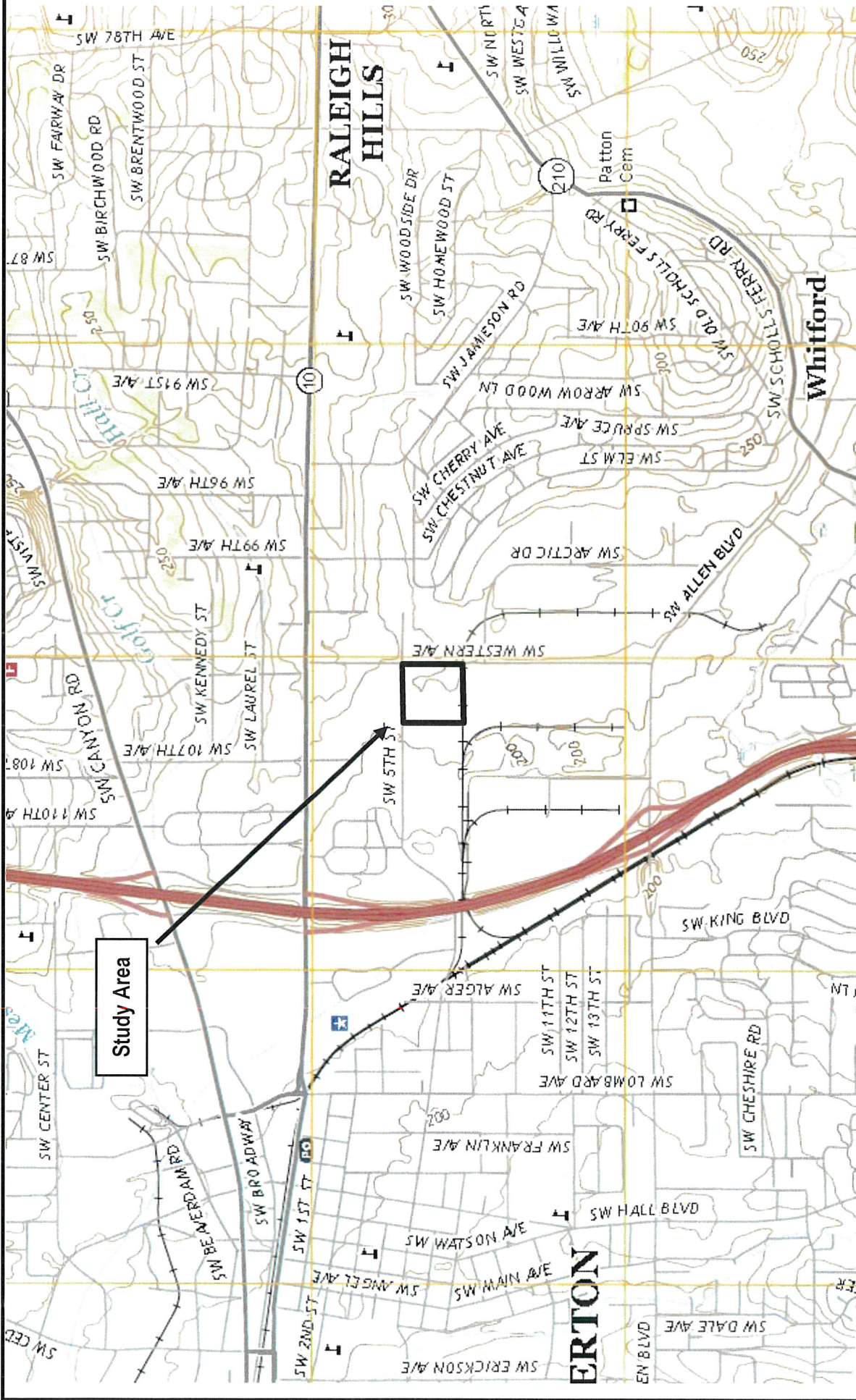


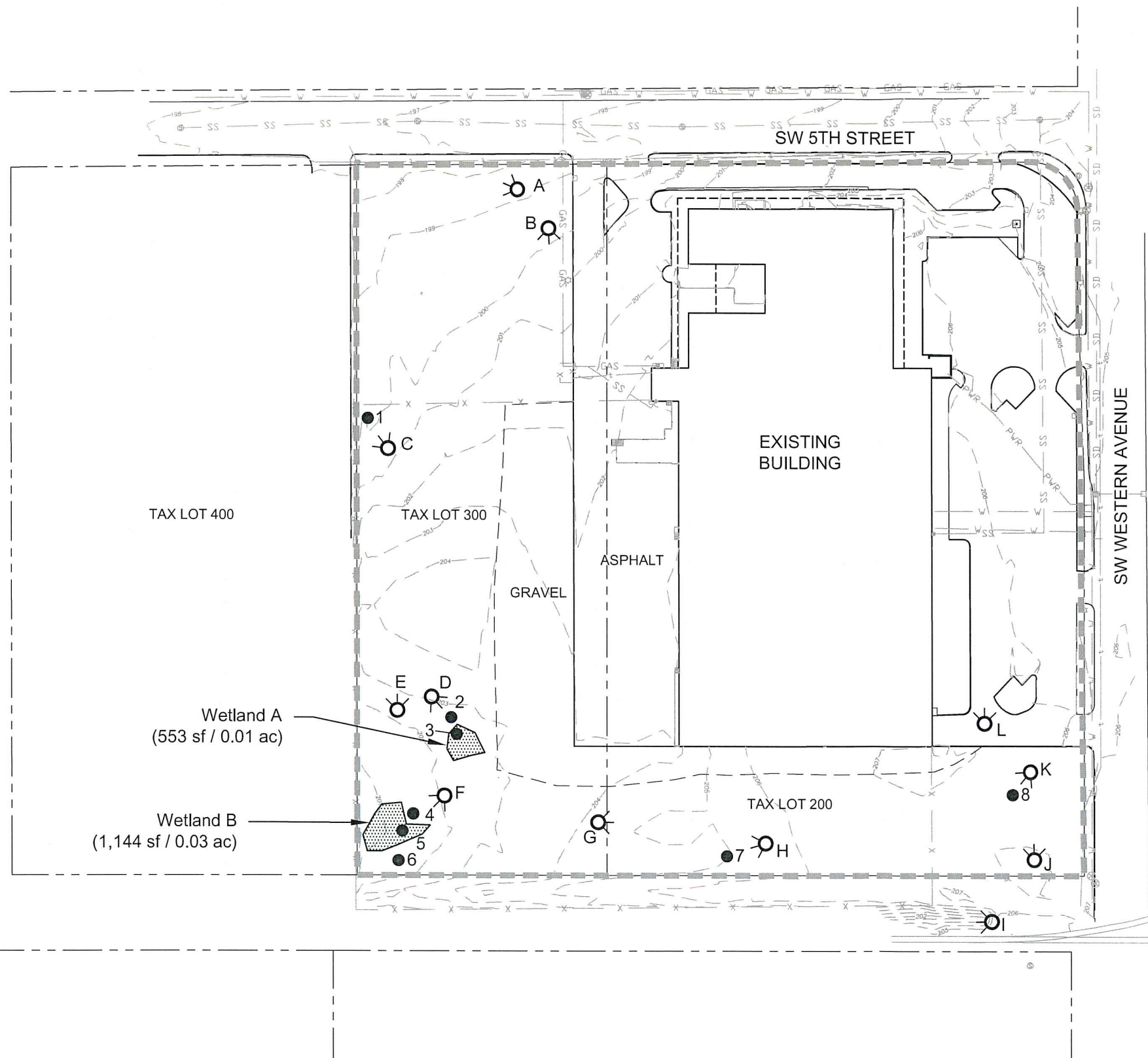
FIGURE 1

General Location and Topography  
 5051 SW Western Avenue - Beaverton, Oregon  
 United States Geological Survey (USGS), Beaverton, Oregon-Washington Co., 7.5 Quadrangle, 2017  
 (viewer/nationalmap.gov/basic)



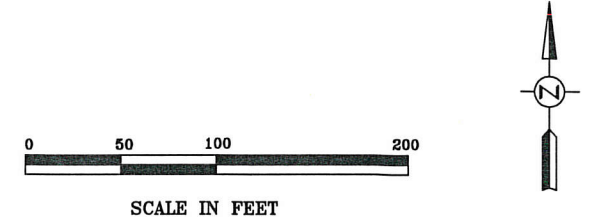


Exhibit APP 2.1



DSL WD # 2019-0351  
 Approval issued 7/18/2019  
 Approval Expires 7/18/2024

- LEGEND**
- Study Area Boundary (329,749 sf / 7.57 ac)
  - Wetland (1,697 sf / 0.04 ac)
  - Sample Point (1-8)
  - Photo Point (A-L)



Survey provided by Ford Engineering, Inc. Survey and Sample point accuracy is sub-centimeter.

Wetland Delineation  
 5051 SW Western Avenue - Beaverton, Oregon

FIGURE  
**6**

8-7-2018



EXHIBIT DR05c  
Exhibit APP 2.1

DEPARTMENT OF THE ARMY  
U.S. ARMY CORPS OF ENGINEERS, PORTLAND DISTRICT  
P.O. BOX 2946  
PORTLAND, OR 97208-2946

Received  
Planning Division  
02/17/2023

Exhibit 3.5

November 4, 2019

Regulatory Branch  
Corps No. NWP-2019-474

Gabriel Vizireanu  
Elsinore Investments, LLC  
18555 SW Teton Avenue  
Tualatin, OR 97062  
Gabriel.Vizireanu@keystone-pacific.com

Dear Ms. Vizireanu:

The U.S. Army Corps of Engineers (Corps) received your request for Department of Army (DA) authorization to discharge fill into wetlands for a commercial development which is located in Wetlands A and B at 5051 SW Western Avenue in Beaverton, Washington County, Oregon at Latitude/Longitude 45.482857, -122.783939. Your project has been assigned Corps No. NWP-2019-474. Please refer to this number in all future correspondence.

The proposed work may be authorized by Nationwide Permit No. 39 (Commercial and Institutional Developments). Before authorizing work under our statutory authorities, the Corps must ensure a project complies with other applicable Federal laws and regulations, such as the Endangered Species Act (ESA), Section 401 of the Clean Water Act (CWA), and the National Historic Preservation Act (NHPA). All actions will be coordinated with the appropriate Native American Tribes. Dependent upon the location and nature of the project and its potential to affect protected species, the Corps will coordinate with the National Marine Fisheries Service (NMFS) and the U.S. Fish and Wildlife Service (USFWS) under ESA. In most instances, the Corps will coordinate directly with those agencies, but we may require additional information from you to complete the coordination and consultation.

Because the proposed work may affect species protected under the ESA, we will need to consult with NMFS. The Corps cannot complete our evaluation and you may not begin work until this requirement has been fulfilled.

Oregon Department of Environmental Quality (DEQ) has not issued advanced 401 Water Quality Certification (WQC) for this Nationwide Permit. You must obtain a 401 WQC or certification waiver from the DEQ. Please contact the DEQ regarding this requirement at: 401 Water Quality Permit Coordinator, Oregon Department of Environmental Quality, 700 NE Multnomah Street, Suite 600, Portland, Oregon, 97232,



## Exhibit APP 2.1

- 2 -

by telephone at (503) 229-5623, or visit <https://www.oregon.gov/deq/wq/wqpermits/Pages/Section-401-Nationwide.aspx>. After obtaining a 401 WQC or a waiver for certification, you must submit a copy of the 401 WQC or waiver to our office.

The Corps has sent a copy of your application to DEQ. You should send a copy of any revised permit application documents, including stormwater management plan, directly to the above agencies.

The Corps has not prepared a jurisdictional determination (JD) for this project. The Corps will treat the aquatic resource(s) to be affected by this project as jurisdictional waters of the U.S. for purposes of computing impacts and compensatory mitigation requirements. If you believe the Corps does not have jurisdiction over some or all of the aquatic resources at the project site, you may request a JD. If one is requested, please be aware that we may require submittal of additional information to complete the JD. Please contact me for additional information regarding the applicability of a JD to this project site.

Working before obtaining a DA permit is a violation of Federal laws. Receipt of a permit from the Oregon Department of State Lands (DSL) does not obviate the requirement for obtaining a DA permit prior to commencing the proposed work.

If you have any questions regarding your application, please contact me at the letterhead address, by telephone at (503) 808-4387, or by email [Carrie.L.Bond@usace.army.mil](mailto:Carrie.L.Bond@usace.army.mil).

Sincerely,

Carrie L. Bond  
Project Manager, Regulatory Branch

cc:

Oregon Department of State Lands (Huffman)  
Oregon Department of Environmental Quality ([401applications@deq.state.or.us](mailto:401applications@deq.state.or.us))  
Pacific Habitat Services (Carlee Michelson, [cm@pacifichabitat.com](mailto:cm@pacifichabitat.com))

# SENSITIVE AREA PRE-SCREENING SITE ASSESSMENT

Clean Water Services File Number 22-001510

1. **Jurisdiction:** Washington County

2. **Property Information** (example: 1S234AB01400)

Tax lot ID(s): 1S114CB00200 and 1S114CB00300

**OR Site Address:** 5051 SW Western Avenue

City, State, Zip: Beaverton, Oregon, 97005

Nearest cross street: \_\_\_\_\_

3. **Owner Information**

Name: Todd Collins

Company: Bacchus Investors LLC and Bearcat Investment Property LLC

Address: 2 Centerpointe Drive

City, State, Zip: Lake Oswego, Oregon, 97035

Phone/fax: 5032263617

Email: todd@macadamforbes.com

4. **Development Activity** (check **all** that apply)

Addition to single family residence (rooms, deck, garage)

Lot line adjustment       Minor land partition

Residential condominium       Commercial condominium

Residential subdivision       Commercial subdivision

Single lot commercial       Multi lot commercial

Other Addition/remodel to Industrial building site work.

4. **Applicant Information**

Name: Tom Byrne

Company: Scott/Edwards Architecture

Address: 2525 E Burnside St

City, State, Zip: Portland, OR, 97214

Phone/fax: 5032263617

Email: tbyrne@seallp.com

6. **Will the project involve any off-site work?**  Yes     No     Unknown

Location and description of off-site work: ROW work between property line and street (sidewalks, landscape, etc.)

7. **Additional comments or information that may be needed to understand your project:** \_\_\_\_\_

This project was approved under a separate land use submittal and now we are revising that land use for a different tenant. The scope of work is being reduced. Pre-application #PA 2022-0007 3/16/22.

**This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.**

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/type name Tom Byrne

Print/type title Sr. Associate

Signature ONLINE SUBMITTAL

Date 5/19/2022

## FOR DISTRICT USE ONLY

Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.

Based on review of the submitted materials and best available information sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, State and federal law.

Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, state and federal law.

**THIS SERVICE PROVIDER LETTER IS NOT VALID UNLESS \_\_\_\_\_ CWS APPROVED SITE PLAN(S) ARE ATTACHED.**

The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). **NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.**

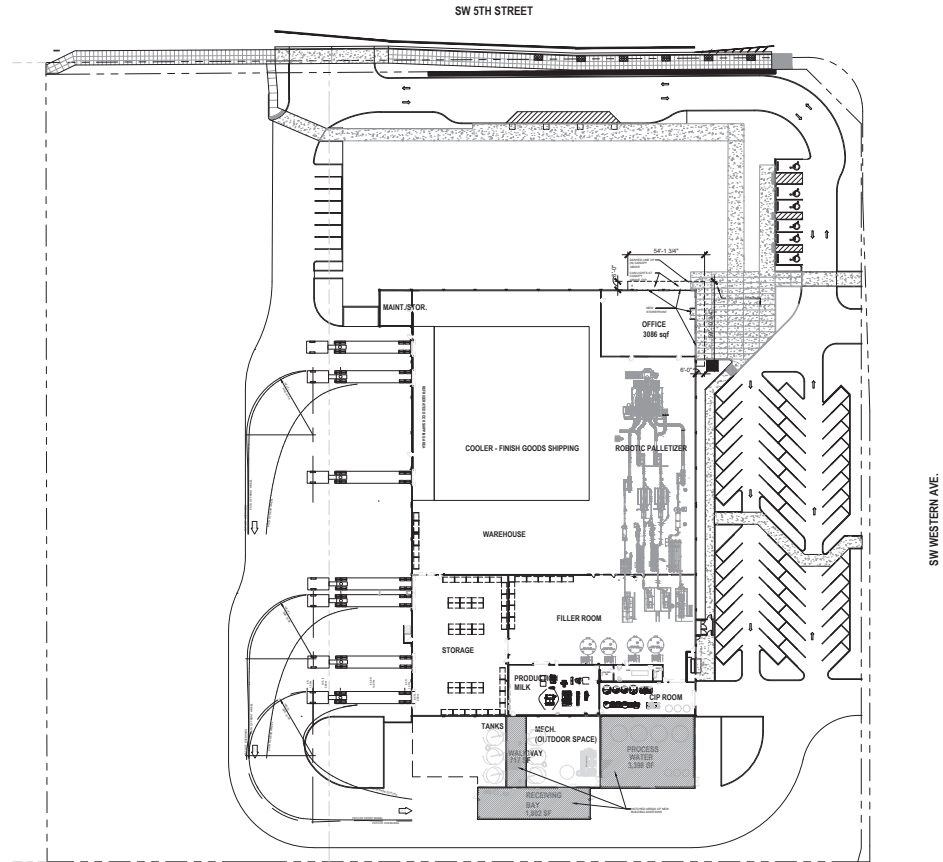
Reviewed by Jessica Chaplen

Date 9/8/2022

Once complete, email to: [SPLReview@cleanwaterservices.org](mailto:SPLReview@cleanwaterservices.org) • Fax: **(503) 681-4439**

OR mail to: SPL Review, Clean Water Services, 2550 SW Hillsboro Highway, Hillsboro, Oregon 97123

# Exhibit APP 2.1



ORGANIC MILK EXCHANGE

SITE PLAN: 1/32 = 1'-0"

5051 SW WESTERN AVE.  
BEAVERTON, OR 97005

Job No: 22022  
Date: 04/21/22



Exhibit APP 2.1 DR04b  
FIRE CODE / LAND USE / BUILDING REVIEW  
APPLICATION



North Operating Center  
11945 SW 70<sup>th</sup> Avenue  
Tigard, OR 97223  
Phone: 503-649-8577

South Operating Center  
8445 SW Elligsen Rd  
Wilsonville, OR 97070  
Phone: 503-649-8577

REV 6-30-20

Project Information

Applicant Name: Chris DesLauriers  
Address: 7650 SW Beveland Street, Tigard, OR 97223  
Phone: 503-443-3900 ext 214  
Email: CDesLauriers@TMRippey.com  
Site Address: 5051 SW Western  
City: Beaverton, Oregon 97005  
Map & Tax Lot #: 1S1-14CB-300 & 1S1-14CB-200  
Business Name: \_\_\_\_\_  
Land Use/Building Jurisdiction: City of Beaverton  
Land Use/ Building Permit # DR2022-0098/PD2022-0003  
Choose from: Beaverton,

Project Description

Renovate the existing building for a shell permit with future manufacturing tenant improvements that will include office space. The site is to be re-graded and all new drive aisles, curbs, sidewalk and ped access, driveway aprons will also be constructed.

Permit/Review Type (check one):


- Land Use / Building Review - Service Provider Permit
- Emergency Radio Responder Coverage Install/Test
- LPG Tank (Greater than 2,000 gallons)
- Flammable or Combustible Liquid Tank Installation (Greater than 1,000 gallons)
  - \* Exception: Underground Storage Tanks (UST) are deferred to DEQ for regulation.
- Explosives Blasting (Blasting plan is required)
- Exterior Toxic, Pyrophoric or Corrosive Gas Installation (in excess of 810 cu.ft.)
- Tents or Temporary Membrane Structures (in excess of 10,000 square feet)
- Temporary Haunted House or similar
- OLCC Cannabis Extraction License Review
- Ceremonial Fire or Bonfire (For gathering, ceremony or other assembly)

For Fire Marshal's Office Use Only

TVFR Permit # 2022-0125  
Permit Type: SPP - COB  
Submittal Date: 9/13/2022  
Assigned To: DFM FOSTER  
Due Date: 10/14/2022  
Fees Due: 0  
Fees Paid: 0

Approval/Inspection Conditions  
(For Fire Marshal's Office Use Only)

This section is for application approval only

DFM Jeremy Foster  10/14/22  
Fire Marshal or Designee Date

Conditions:

See Attached Conditions:  Yes  No  
Site Inspection Required:  Yes  No

This section used when site inspection is required

Inspection Comments:

Final TVFR Approval Signature & Emp ID Date





EXHIBIT DR01c  
Exhibit APP 2.1

Public Works Department  
12725 SW Millikan Way | PO Box 4755 | Beaverton, OR 97076

p: 503-526-2269

[www.BeavertonOregon.gov](http://www.BeavertonOregon.gov)

## Water Service Provider Letter (SPL)

**PLEASE RETURN THIS FORM TO:**

PRE-APPLICATION DATE: 03/16/2022

**SITE INFORMATION:**

Tax Map(s): Lot Number(s):  
1S114CB00200 and 1S114CB00300

Size: 4.87 acres and 2.63 acres

Address: 5051 SW Western Ave, Beaverton, OR 97005

Nearest cross-street (or directions to site):  
Corner of SW 5th St. and SW Western Ave.

**APPLICANT:**

Contact: \_\_\_\_\_

Company: Tom Byrne

Address: Scott Edwards Architecture LLP  
2525 E. Burnside St., Portland, OR 97214

Phone: 503-226-3617

Email: tbyrne@seallp.com

**OWNER(S):**

Contact: Todd Collins

Company: Bacchus Investors LLC and Bearcat Investment Property LLC

Address: 2 Centerpointe Dr.

Lake Oswego, OR 97035

Phone: (503) 320-9825

Email: todd@macadamforbes.com

PROPOSED PROJECT NAME: Organic Milk Exchange

PROPOSED DEVELOPMENT ACTION (ex. Design Review, Land Division, Conditional Use, etc.):  
Design Review

EXISTING USE: Warehouse PROPOSED USE: Manufacturing and Warehouse

RESIDENTIAL: \_\_\_\_\_ INDUSTRIAL/COMMERCIAL: \_\_\_\_\_ CONDITIONAL USE: \_\_\_\_\_  
Single Fam. N Multi-Fam. N Type of Use: Industrial No. of Students/Employees/Etc.: \_\_\_\_\_  
No. of Units: N/A Gross Floor Area 67,567 SQ. FT. Gross Floor Area \_\_\_\_\_ SQ FT.

Average Daily Demand (gallons/day): 200,000 Peak Daily Demand (gallons/day): 576,000 Peak Hour (gallons/day): 7 AM/PM

FIRE FLOW REQUIRED: (gpm): 4,400 IRRIGATION FLOW REQUIRED: (gpm): 50

**\*\*\*FOR INTERNAL USE ONLY – DO NOT WRITE BELOW THIS LINE\*\*\***

**\*\*\*Both agency signatures required**

**TVWD**  **ADEQUATE**  **INADEQUATE** SERVICE LEVEL TO SERVE THE PROPOSED PROJECT. Describe why service level is inadequate and needed improvements or modification required to provide adequate services. (Use additional sheets to explain if necessary)

----- N / A -----

**SIGNATURE:** \_\_\_\_\_ **TITLE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**COB**  **ADEQUATE**  **INADEQUATE** SERVICE LEVEL TO SERVE THE PROPOSED PROJECT. Describe why service level is inadequate and needed improvements or modification required to provide adequate services. (Use additional sheets to explain if necessary)

Additional Water SDCs will be due with the upsized from the existing 2" meter to a 3" meter based on estimated usage.

**SIGNATURE:** Brion Barnett **TITLE:** Senior Water Engineer **DATE:** 07/20/2022



# Oregon

Kate Brown, Governor

Department of Environmental Quality  
Northwest Region Portland Office/Water Quality  
700 NE Multnomah Street, Suite 600  
Portland, OR 97232-4100  
(503) 229-5263  
FAX (503) 229-6957  
TTY 711

**Received**  
**Planning Division**  
02/17/2023

December 17, 2019

Gabriel Vizireanu  
Elsinore Investments, LLC  
18555 SW Teton Avenue  
Tualatin, OR 97062

RE: Nationwide 401 Water Quality Certification Approval for 2019-00474, Redevelopment of 5051 SW Western Avenue

The US Army Corps of Engineers (USACE) has determined that your project will be authorized under Nationwide Permit (NWP) category # 39. As described in the application package received and reviewed by the Oregon Department of Environmental Quality (DEQ), the project qualifies for the Nationwide Section 401 Water Quality Certification (WQC), subject to the conditions outlined below. If you cannot meet all conditions of this 401 WQC, you may apply for a standard individual certification. A standard individual certification will require additional information and higher fees will apply.

**Certification Decision:** Based on information provided by USACE and the Applicant, DEQ is reasonably assured that implementation-eligible activities under the proposed NWP will be consistent with applicable provisions of Sections 301, 302, 303, 306, and 307 of the federal Clean Water Act, state water-quality standards set forth in Oregon Administrative Rules Chapter 340 Division 41, and other appropriate requirements of state law, provided the following conditions are incorporated into the federal permit and strictly adhered to by the Applicant.

**In addition to all USACE national and regional permit conditions, the following 401 WQC conditions apply to all NWP categories that qualify for the Nationwide 401 WQC.**

### 401 GENERAL CERTIFICATION CONDITIONS

- 1) **Responsible parties:** This 401 WQC applies to the Applicant. The Applicant is responsible for the work of its contractors and sub-contractors, as well as any other entity that performs work related to this WQC.
- 2) **Work Authorized:** Work authorized by this 401 WQC is limited to the work described in the Application or Pre-Construction Notification submitted to the USACE and additional application materials (hereafter "the permit application materials"), unless otherwise authorized by DEQ. If the project is operated in a manner not consistent with the project description contained in the permit application materials, the Applicant is not in compliance with this 401 WQC and may be subject to enforcement.
- 3) A copy of this 401 WQC must be kept on the job site and readily available for reference by Applicant and its contractors, as well as by DEQ, USACE, National Marine Fisheries Service (NMFS), Oregon Department of Fish and Wildlife (ODFW), and other appropriate state and local government officials.

- 4) In accordance with OAR 340-048-0050, DEQ may modify or revoke this 401 WQC if project activities are having an adverse impact on state water quality or beneficial uses, or if the Applicant is otherwise in violation of the conditions of this certification.
- 5) The Applicant and its contractors must allow DEQ access to the project site, staging areas, and mitigation sites to monitor compliance with these 401 WQC conditions, including:
  - a. Access to any records, logs, and reports that must be kept under the conditions of this 401 WQC;
  - b. To inspect best management practices (BMPs), monitoring or operational equipment or methods; and
  - c. To collect samples or monitor any discharge of pollutants.
- 6) Failure of any person or entity to comply with this Order may result in the issuance of civil penalties or other actions, whether administrative or judicial, to enforce its terms.
- 7) **Land Use Compatibility Statement:** In accordance with OAR 340-048-0020(2) (i), each Applicant must submit findings prepared by the local land use jurisdiction that demonstrates the activity's compliance with the local comprehensive plan. Such findings can be submitted using the appropriate section of the USACE & DSL Joint Permit Application, signed by the appropriate local official and indicating:
  - a. "This project is consistent with the comprehensive plan and land use regulations;" or,
  - b. "This project will be consistent with the comprehensive plan and land use regulations when the following local approvals are obtained," accompanied by the obtained local approvals.
  - c. Rarely, such as for federal projects on federal land, "this project is not regulated by the comprehensive plan" will be acceptable.

In lieu of submitting the appropriate section of the USACE & DSL Joint Permit Application, the Applicant may use DEQ's Land Use Compatibility Statement form found at:  
<http://www.oregon.gov/deq/FilterDocs/lucs.pdf>

**FOR PROJECTS THAT PROPOSE CONSTRUCTION, THE FOLLOWING GENERAL CONDITIONS APPLY**

- 8) **Erosion and Sediment Control:** During construction, erosion and sediment control measures must be implemented to prevent or control movement of sediment, soil or pollutants into waters of the state. The Applicant is required to develop and implement an effective erosion and sediment control plan. **Any project that disturbs more than one acre is required to obtain an NPDES 1200-C construction stormwater permit from DEQ.** In addition, the Applicant (or responsible party) must:
  - a. Where practicable, use removable pads or mats to prevent soil compaction at all construction access points through, and staging areas in, riparian or wetland areas to prevent soil compaction.
  - b. Demarcate wetlands not specifically authorized to be impacted to protect from disturbance and/or erosion.



- c. Place dredged or other excavated material on upland areas with stable slopes to prevent materials from eroding back into waterways or wetlands. Place BMPs as necessary to stabilize and prevent erosion.
- 9) **Spill Prevention:** The Applicant must fuel, operate, maintain and store vehicles, and must store construction materials, in areas that will not impact water quality either directly or due to potential discharges.
- 10) **Spill & Incident Reporting:**
- a. In the event that petroleum products, chemicals, or any other deleterious materials are discharged into state waters, the discharge must be promptly reported to the Oregon Emergency Response Service (OERS, 1-800-452-0311). Containment and cleanup must begin immediately and be completed as soon as practicable.
  - b. If the project operations result in distressed or dying fish, the operator must immediately: cease operations; take appropriate corrective measures to prevent further environmental damage; and immediately notify DEQ and ODFW.
- 11) **Vegetation Protection and Site Restoration:**
- a. The Applicant must protect riparian, wetland, and shoreline vegetation in the authorized project area from disturbance through one or more of the following:
    - i. Minimization of project and impact footprint;
    - ii. Designation of staging areas and access points in open, upland areas;
    - iii. Fencing and other barriers demarking construction areas; and
    - iv. Use of alternative equipment (e.g., spider hoe or crane).
  - b. If authorized work results in any vegetative disturbance and the disturbance has not been accounted for in planned mitigation actions, the Applicant must successfully reestablish vegetation to a degree of function equivalent or better than before the disturbance.
- 12) The Applicant shall avoid and protect from harm, all wetlands and riparian areas located within 50 feet of USACE jurisdictional waters, unless proposed, necessary, and approved as part of the project. If a local jurisdiction has a more stringent buffer requirement, that requirement will override this certification requirement.

#### **FOR PROJECTS THAT PROPOSE IN-STREAM WORK IN JURISDICTIONAL WATERS**

- 13) **Fish protection/Oregon Department of Fish and Wildlife timing:** The Applicant must perform in-water work only within the Oregon Department of Fish and Wildlife preferred time window as specified in the *Oregon Guidelines for Timing of In-Water Work to Protect Fish and Wildlife Resources*, or as authorized otherwise under a USACE permit and/or Department of State Lands removal/fill permit. Exceptions to the timing window must be recommended by Oregon Department of Fish and Wildlife, the National Marine Fisheries Services and/or the US Fish and Wildlife as appropriate.
- 14) **Aquatic life movements:** Any activity that may disrupt the movement of aquatic life living in the water body, including those species that normally migrate through the area, is prohibited. The Applicant must provide unobstructed fish passage at all times during any authorized activity, unless otherwise approved in the approved application.



## Exhibit APP 2.1

- 15) **Turbidity:** The Applicant must implement appropriate Best Management Practices (BMPs) to minimize turbidity during in-water work. Any activity that causes turbidity to exceed 10% above natural stream turbidity is prohibited except as specifically provided below:
- a. **Monitoring:** Turbidity monitoring must be conducted and recorded as described below. Monitoring must occur at two hour intervals each day during daylight hours when in-water work is being conducted. A properly calibrated turbidimeter is required **unless another monitoring method is proposed and authorized by DEQ.**
    - i. Representative Background Point: The Applicant must take and record a turbidity measurement every two hours during in-water work at an undisturbed area. A background location shall be established at a representative location approximately 100 feet upcurrent of the in water activity unless otherwise authorized by DEQ. The background turbidity, location, date, tidal stage (if applicable) and time must be recorded immediately prior to monitoring downcurrent at the compliance point described below.
    - ii. Compliance Point: The must monitor every two hours. A compliance location shall be established at a representative location approximately 100 feet downcurrent from the disturbance at approximately mid-depth of the waterbody and within any visible plume. The turbidity, location, date, tidal stage (if applicable) and time must be recorded for each measurement.
  - b. **Compliance:** The Applicant must compare turbidity monitoring results from the compliance points to the representative background levels taken during each two – hour monitoring interval. Pursuant to OAR 340-041-0036, short term exceedances of the turbidity water quality standard are allowed as follows:

<b>MONITORING WITH A TURBIDIMETER EVERY 2 HOURS</b>	
<b>TURBIDITY LEVEL</b>	<b>Restrictions to Duration of Activity</b>
0 to 4 NTU above background	No Restrictions
5 to 29 NTU above background	Work may continue maximum of 4 hours. If turbidity remains 5-29 NTU above background, stop work and modify BMPs. Work may resume when NTU is 0-5 above background.
30 to 49 NTU above background	Work may continue maximum of 2 hours. If turbidity remains 30-49 NTU above background, stop work and modify BMPs. Work may resume when NTU is 0-5 above background.
50 NTU or more above background	Stop work immediately and inform DEQ

- c. **Reporting:** The Applicant must record all turbidity monitoring required by subsections (a) and (b) above in daily logs. The daily logs must include calibration documentation; background NTUs; compliance point NTUs; comparison of the points in NTUs; location; date; time; and tidal stage (if applicable) for each reading. Additionally, a narrative must be prepared discussing all exceedances with subsequent monitoring, actions taken, and the effectiveness of the actions. Applicant must make available copies of daily logs for turbidity monitoring to DEQ, USACE, NMFS, USFWS, and ODFW upon request.
- d. **BMPs to Minimize In-stream Turbidity:** The Applicant must implement the following BMPs, unless otherwise accepted by DEQ:
  - i. Sequence/Phasing of Work – The Applicant must schedule work activities so as to minimize in-water disturbance and duration of in-water disturbances;
  - ii. Bucket control - All in-stream digging passes by excavation machinery and placement of fill in-stream using a bucket must be completed so as to minimize turbidity. All practicable techniques such as employing an experienced equipment operator, not dumping partial or full buckets of material back into the wetted stream, adjusting the volume, speed, or both of the load, or using a closed-lipped environmental bucket must be implemented;
  - iii. The Applicant must limit the number and location of stream-crossing events. Establish temporary crossing sites as necessary in the least sensitive areas and amend these crossing sites with clean gravel or other temporary methods as appropriate;
  - iv. Machinery may not be driven into the flowing channel, unless authorized by DEQ; and
  - v. Excavated material must be placed so that it is isolated from the water edge or wetlands, and not placed where it could re-enter waters of the state uncontrolled.

**FOR PROJECTS THAT INCLUDE NEW IMPERVIOUS SURFACES OR REDEVELOPMENT OF EXISTING SURFACES, THE FOLLOWING CONDITIONS APPLY**

- 16) **Post-Construction Stormwater Management:** For projects which propose new impervious surfaces or the redevelopment of existing surfaces, the Applicant must submit a post-construction stormwater management plan to DEQ for review and approval prior to construction, in order to ensure compliance with water quality standards. The Applicant must implement BMPs as proposed in the stormwater management plan, including operation and maintenance. If proposed stormwater facilities change due to site conditions, the Applicant must notify DEQ.

In lieu of a complete stormwater management plan, the Applicant may submit documentation of acceptance of the stormwater into a DEQ permitted National Pollutant Discharge Elimination System (NPDES) Phase I Municipal Separate Storm Sewer System (MS4).

- 17) **Stormwater Management & System Maintenance:** The Applicant is required to implement effective operation and maintenance practices for the lifetime of the proposed facility.



## CATEGORY-SPECIFIC CONDITIONS

**In addition to all national and regional conditions of the USACE permit and the 401 Water Quality Certification general conditions above, the following conditions apply to the noted specific categories of authorized activities.**

### **NWP 7 – Outfall Structures and Associated Intake Structures:**

- 7.1) The following actions are denied certification:
- a. Discharge outfalls that are not subject to an NPDES permit; and
  - b. Outfalls that discharge stormwater without pollutant removal demonstrated to meet water-quality standards prior to discharge to waters of the state.
- 7.2) If an Applicant cannot obtain an NPDES permit or submit an approvable stormwater management plan per DEQ's Guidelines found at: <http://www.oregon.gov/deq/FilterDocs/401wqcertPostCon.pdf> the Applicant must submit complete project information and water quality impacts analysis directly to DEQ in order to undergo individual 401 WQC evaluation and fulfill public participation requirements.

### **NWP 12 – Utility Lines:**

- 12.1) For proposals that include directionally-bored stream or wetland crossings:
- a. All drilling equipment, drill recovery and recycling pits, and any waste or spoil produced, must be completely isolated, recovered, then recycled or disposed of to prevent entry into waters of the state.
  - b. In the event that drilling fluids enter a water of the state, the equipment operator must stop work, immediately initiate containment measures and report the spill to the Oregon Emergency Response System (OERS) at 800-452-0311.
  - c. An adequate supply of materials needed to control erosion and to contain drilling fluids must be maintained at the project construction site and deployed as necessary.
  - d. The Applicant must have a contingency plan in place prior to construction for the inadvertent return of drilling lubricant.
- 12.2) For proposals that include utility lines through wetlands, include anti-seep collars or equivalent technology to prevent draining the wetlands.

### **NWP 13 – Bank Stabilization:**

- 13.1) Projects that do not include bioengineering are denied certification, unless a registered professional engineer provides a written statement that non-bioengineered solutions are the only means of protection.

- 13.2) To apply for certification for a project without bioengineering, the Applicant must submit complete project information and water quality impacts analysis directly to DEQ in order to undergo individual 401 WQC evaluation and fulfill public participation requirements.

**NWP 14 – Linear Transportation:**

- 14.1) For projects that include bank stabilization, bioengineering must be a component of the project, unless a registered professional engineer provides a written statement that non-bioengineered solutions are the only means to protect an existing structure.
- 14.2) To apply for certification for a project without bioengineering, the Applicant must submit complete project information and water quality impacts analysis directly to DEQ in order to undergo individual 401 WQC evaluation and fulfill public participation requirements.

**NWP 16 - Return Water from Contained Upland Disposal Areas:** Water-quality criteria and guidance values for toxics, per OAR 340-041-0033, are available in Tables 30, 31, and 40 at: <http://www.oregon.gov/deq/Rulemaking%20Docs/tables303140.pdf>.

- 16.1) Discharge of return water from contaminated dredged material that exceeds a chronic or acute toxicity water quality standard is prohibited.
- 16.2) Water removed with contaminated dredged material that could or does exceed chronic water-quality criteria must be contained and disposed of at an appropriately sized and sealed upland facility by evaporation or infiltration.
- 16.3) If a Modified Elutriate Test (MET) is performed for the known contaminants of concern (CoCs) and CoC concentrations are below DEQ chronic water-quality criteria, return water discharge is not limited.
- a. The MET must be performed before dredging.
  - b. DEQ must approve the list of CoCs and analytical method prior to the Applicant performing the MET.
  - c. DEQ must review the results and provide approval of discharge from return water, in writing, prior to dredging.

**NWP 20 – Response Operations for Oil and Hazardous Waste:**

- 20.1) Coordination with DEQ's Emergency Response program is required. See: <http://www.oregon.gov/deq/Hazards-and-Cleanup/env-cleanup/Pages/Emergency-Response.aspx>.

**NWP 22 – Removal of Vessels:**

- 22.1) Coordination with DEQ's Emergency Response program is required. See: <http://www.oregon.gov/deq/Hazards-and-Cleanup/env-cleanup/Pages/Emergency-Response.aspx>.

**NWP 31 – Maintenance of Existing Flood Control Facilities:**



- 31.1) Projects in streams with temperature TMDLs which result in a net reduction of riparian shade are prohibited.

**NWP 38 – Cleanup of Hazardous and Toxic Waste:**

- 38.1) For removal of contaminated material from waters, dredging method is limited to diver assisted hydraulic suction, hydraulic suction, closed-lipped environmental bucket, or excavation in the dry, unless otherwise authorized by DEQ.
- a. For in-water isolation measures, the Applicant is referred to Appendix D of DEQ's Oregon Erosion and Sediment Control Manual, April 2005 (or most current version), at: <http://www.deq.state.or.us/wg/stormwater/docs/escmanual/appxd.pdf>.
- 38.2) Discharge to waters of the state resulting from dewatering during dredging or release of return water from an upland facility is prohibited except as provided below.
- a. All water removed with sediment must be contained and disposed of at an appropriately sized and sealed upland facility by evaporation or infiltration; or,
  - b. A Modified Elutriate Test (MET) may be performed for the known Contaminants of Concern (CoCs) and if CoC concentrations are below DEQ chronic water-quality criteria; return water discharge is not limited.
    - i. The MET must be performed before dredging.
    - ii. DEQ must approve the list of CoCs and analytical method prior to the Applicant performing the MET.
    - iii. DEQ must review the results and provide approval of discharge from dewatering and return water in writing prior to dredging.
- 38.3) Dredged material must be disposed of in compliance with DEQ Rules governing Hazardous Waste (see: <http://www.oregon.gov/deq/Hazards-and-Cleanup/hw/Pages/default.aspx>) or Solid Waste (see: <http://www.oregon.gov/deq/mm/swpermits/Pages/Solid-Waste-Disposal-Sites-and-Landfill.aspx>).
- 38.4) The new in-water surface must be managed to prevent exposure or mobilization of contaminants.

**NWP 41 - Reshaping Existing Drainage Ditches:**

- 41.1) To the extent practicable, the Applicant must work from only one bank in order to minimize disturbance to existing vegetation, preferably the bank with the least existing vegetation;
- 41.2) Following authorized work, the Applicant must establish in-stream and riparian vegetation on reshaped channels and side-channels using native plant species wherever practicable. Plantings must be targeted to address water-quality improvement (e.g., provide shade to water to reduce temperature or provide bank stability through root systems to limit sediment inputs). Planting options may include clustering or vegetating only one side of a channel, preferably the side which provides maximum shade.

**NWP 42 – Recreational Facilities:**

- 42.1) For facilities that include turf maintenance actions, the Applicant must develop and implement an Integrated Pest Management Plan (IPM) that describes pest prevention, monitoring and control techniques with a focus on prevention of chemical and nutrient inputs to waters of the state, including maintenance of adequate buffers for pesticide application near salmonid streams, or coverage under an NPDES permit, if required (information is available at: <http://www.oregon.gov/deq/wq/wqpermits/Pages/Pesticide.aspx>).

**NWP 43 – Stormwater Management Facilities:**

- 43.1) Projects that propose the following elements are denied certification:
- a. In-stream or wetland stormwater facilities;
  - b. Discharge outfalls not subject to an NPDES permit; and,
  - c. Proposals that do not demonstrate pollutant removal to meet water-quality standards prior to discharge to waters of the state.
- 43.2) To apply for certification for a project with in-stream stormwater facilities, without an NPDES permit, or without submittal of an approvable stormwater management plan per DEQ's Guidelines (at: <http://www.oregon.gov/deq/FilterDocs/401wqcertPostCon.pdf>), the Applicant must submit complete project information and water quality impacts analysis directly to DEQ in order to undergo individual 401 WQC evaluation and fulfill public participation requirements.

**NWP 44 – Mining Activities:**

- 44.1) Projects that do not obtain an NPDES 700-PM or Individual permit are denied certification.
- 44.2) To apply for certification for a project without an NPDES permit, the Applicant must submit complete project information and water quality impacts analysis directly to DEQ in order to undergo individual 401 WQC evaluation and fulfill public participation requirements.

**NWP 51 – Land-Based Renewable Energy Generation Facilities:**

- 51.1) For associated utility lines with directionally-bored stream or wetland crossings proposed, condition 12.1 must be applied.

**NWP 54 – Living Shorelines**

- 54.1) Projects that do not include bioengineering are denied certification, unless a registered professional engineer provides a written statement that non-bioengineered solutions are the only means of protection.

If the Applicant is dissatisfied with the conditions contained in this certification, a hearing may be requested. Such request must be made in writing to DEQ's Office of Compliance and Enforcement at 700 NE Multnomah St, Suite 600, Portland Oregon 97232, within 20 days of the mailing of this certification.

The DEQ hereby certifies that this project complies with the Clean Water Act and state rules, with the above conditions. If you have any questions, please contact Anne Kim at 503-229-5623, by email at [Kim.Anne@deg.state.or.us](mailto:Kim.Anne@deg.state.or.us), or at the address on this letterhead.

Sincerely,



Steve Mrazik  
Water Quality Manager  
Northwest Region

ec: Gabriel Vizireanu ([Gabriel.vizireanu@keystone-pacific.com](mailto:Gabriel.vizireanu@keystone-pacific.com))  
Carlee Michelson ([cm@pacifichabitat.com](mailto:cm@pacifichabitat.com))  
Carrie Bond ([Carrie.L.Bond@usace.army.mil](mailto:Carrie.L.Bond@usace.army.mil))